



KENCO HOME INSPECTION

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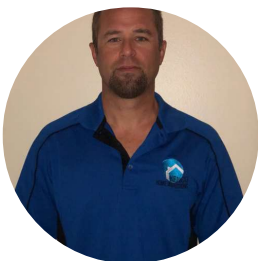


RESIDENTIAL REPORT

1234 Main St.
Palm Beach Gardens Florida 33410

Buyer Name

07/29/2018 9:00AM



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SUMMARY



MAINTENANCE OR COSMETIC



NOTEWORTHY OR REPAIR



HIGH IMPORTANCE

- 2.3.1 Exterior - SOFFITS AND FASCIA: Soffit Vents (painted)
- 2.5.1 Exterior - DOORS (Sliders and Screens): Sliding Glass Door (maintenance)
- 2.6.1 Exterior - WINDOWS AND SCREENS: Exterior windows (delamination)
- 2.6.2 Exterior - WINDOWS AND SCREENS: Window Screens (missing)
- 2.6.3 Exterior - WINDOWS AND SCREENS: Exterior window screens removed/stored
- 2.9.1 Exterior - GATES AND FENCING: Gate Latch (binding)
- 2.10.1 Exterior - VEGETATION, GRADING AND DRAINAGE: Standing water and saturation
- 2.12.1 Exterior - IRRIGATION SYSTEM : Irrigation Maintenance
- 2.14.1 Exterior - OTHER: Outdoor kitchen
- 3.1.1 Roof - ROOF COVERINGS: Cleaning (Maintenance)
- 3.1.2 Roof - ROOF COVERINGS: Evidence of previous repairs
- 3.1.3 Roof - ROOF COVERINGS: Tile Roof (cracked)
- 3.3.1 Roof - Evidence of Leaks (past or present): Evidence of previous leaks
- 4.1.1 Gutters - Gutters, Leaders and Downspouts: Gutters (improper pitch)
- 4.1.2 Gutters - Gutters, Leaders and Downspouts: Restricted leader
- 4.1.3 Gutters - Gutters, Leaders and Downspouts: Gutters (seam leaks)
- 4.1.4 Gutters - Gutters, Leaders and Downspouts: Flag
-
- 6.2.1 Doors, Windows and Interior - COUNTERS AND CABINETS: Thermofoil Cabinets (major delamination)
-
- 6.2.2 Doors, Windows and Interior - COUNTERS AND CABINETS: Thermofoil Cabinets (minor delamination)
- 6.3.1 Doors, Windows and Interior - SHOWERS AND BATHS: Shower Wall (loose tile)
- 6.4.1 Doors, Windows and Interior - DOORS and HARDWARE: Pocket door (broken latch)
- 6.5.1 Doors, Windows and Interior - WINDOWS : Interior window trim
-
- 6.6.1 Doors, Windows and Interior - EVIDENCE OF MOISTURE OR MOLD: Visible mold (no active moisture)
- 6.6.2 Doors, Windows and Interior - EVIDENCE OF MOISTURE OR MOLD: Visible mold (AC registers)
- 7.1.1 Appliances - DISHWASHER: Dishwasher Drain (high loop)
- 7.2.1 Appliances - RANGES/OVENS/COOKTOPS/RANGE HOOD: Display damage

- ⊖ 7.3.1 Appliances - FOOD WASTE DISPOSER: Disposal (splash guard)
- ⊖ 7.3.2 Appliances - FOOD WASTE DISPOSER: Disposal (noisy operation)
- ⊖ 7.5.1 Appliances - REFRIGERATOR: Ice Maker Off
- ⊖
- 8.10.1 Electrical - SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS: No carbon monoxide detector present
- ⊖ 8.10.2 Electrical - SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS: Service smoke
- ⊖ 9.1.1 Plumbing - PLUMBING DRAIN SYSTEMS: Tub Drain Stops
- ⊖ 10.1.1 Heating and Cooling - COOLING/HEAT EQUIPMENT: Mold
- ⊖ 10.5.1 Heating and Cooling - AUTOMATIC SAFETY CONTROLS: Install overflow
- 🔧 10.6.1 Heating and Cooling - CONDENSATION/DRAINAGE SYSTEMS: Condensate drain (modified)
- ⊖ 10.7.1 Heating and Cooling - DISTRIBUTION SYSTEMS : AC Plenum/air handler (condensation buildup)
- ⊖ 10.9.1 Heating and Cooling - OPTIONAL COMPONENTS: UV light
- ⊖ 11.1.1 Insulation and Ventilation - INSULATION AND THERMAL SCANS: Missing
- ⊖ 11.1.2 Insulation and Ventilation - INSULATION AND THERMAL SCANS: Insulation (out of position)
- ⊖ 13.2.1 Garage - GARAGE WALLS: Moisture damage
- ⊖ 13.5.1 Garage - OCCUPANT DOOR FROM GARAGE TO INSIDE HOME: Weatherstrip missing
- ⊖
- 15.1.1 Swimming Pools, Equipment and Safety - GENERAL CONDITION AND NOTES: Staining and discoloration
- ⊖ 15.4.1 Swimming Pools, Equipment and Safety - POOL DECK AND COPING: Brick paver settlement
- ⊖ 15.4.2 Swimming Pools, Equipment and Safety - POOL DECK AND COPING: Glass block (mortar)
- ⊖ 16.1.1 WINDSTORM MITIGATION - Impact Rating Information : Impact rating information

1: GENERAL NOTATIONS

Information

Read All Components

This report includes multiple sections and areas of information, While the summary is typically the heart of the report there do exist limitations that you should be aware of that are included.

2: EXTERIOR

Information

Approximate Age

2003

Siding Style and Materials

Cement stucco

General Description of the predominant siding style and materials

Weather Conditions

Ground is Saturated

Driveway

Pavers

Building Design

SINGLE FAMILY, 2 STORY

Irrigation System

City Water Supply



1. Exterior Photos

General photos of the exterior for your reference



Construction type

CBS

The base wall construction type is a general comment, the specific type may not be identified without review of the building plans, or potentially an invasive inspection. This report does not specifically certify the type of construction

IRRIGATION SYSTEM : Full Evaluation

The irrigation system if present and accessible is evaluated for general condition and operation only. This is not a full system evaluation. Items such as timers can not be evaluated other than on and off operation. All irrigation heads are not located and individually tested for operation, coverage, volume and direction. The system is run through multiple zones to determine general operation only. Underground pipes obviously can not be viewed or tested. Any notations on the system should trigger a full evaluation by a specialist or ordered through this company.

PESTS, RODENTS, ANIMALS: General pests are not covered

We do not typically make notations on general pests such as roaches, ants, silverfish, lizards etc. While notations may be included in the report if the inspector deems it noteworthy, General pest control is not covered.

Limitations

WALLS

WOOD FRAMING MEMBERS NOT VISIBLE

Note that the wood framing members behind the siding are not visible for inspection, Additional damage may be present that may only be discovered during an invasive inspection

SOFFITS AND FASCIA

AREAS OF FASCIA NOT INSPECTED

There may be areas of the exterior fascia that are not fully inspected due to design or location. Areas of the fascia that are not within reach due to height, vegetation, coverings or design may not be physically contacted. Any notations that include wood rot would indicate that all areas of the fascia should be fully evaluated for any additional damage.

SHUTTERS

SHUTTERS ARE NOT INVENTORIED

The storm shutters are not inventoried as part of the inspection. while there may not appear to be any missing shutters, this can not be determined until the shutters are installed and inventoried.

VEGETATION, GRADING AND DRAINAGE

DRAINAGE

Drainage can not be viewed or tested under most conditions, a visual inspection only of the grading and drainage was preformed. This can not take into account the effects during rains and at various times of saturation levels.

PESTS, RODENTS, ANIMALS

LIMITED AREAS OF INSPECTION

The inspection for pests are limited to the areas that are accessible only. Items stored, limited access, areas that area not visible such as framing members behind siding and drywall, areas behind wallpaper or otherwise obstructed from view are not inspected. pest such as ants, fleas, roaches, silverfish and other non wood destroying organisms are not typically reported

Comments

2.3.1 SOFFITS AND FASCIA

 Noteworthy or Repair

SOFFIT VENTS (PAINTED)

There are areas of the soffit vents that have been painted/taped over restricting the air flow to the attic as designed. recommend repair/replace the vents to provide appropriate air flow.

Recommendation

Contact a qualified general contractor.



2.5.1 DOORS (Sliders and Screens)

 Maintenance or Cosmetic

SLIDING GLASS DOOR (MAINTENANCE)

Recommend a maintenance cleaning and lubrication of the sliding glass door tracks rollers and latches using a wax based lubricant such as LC wax Alumaslick or similar product.

Recommendation

Contact a qualified door repair/installation contractor.



2.6.1 WINDOWS AND SCREENS

EXTERIOR WINDOWS (DELAMINATION)

 Noteworthy or Repair

There are windows that show delamination between the panes of glass and will require replacement

Recommendation

Contact a qualified professional.





2.6.2 WINDOWS AND SCREENS

WINDOW SCREENS (MISSING)

There are missing exterior window screens (not inventoried)

Recommendation

Contact a qualified window repair/installation contractor.

 Maintenance or Cosmetic



2.6.3 WINDOWS AND SCREENS

**EXTERIOR WINDOW SCREENS
REMOVED/STORED**

 Maintenance or Cosmetic

Exterior window screens have been removed and were noted to be stored. The window screens are not inventoried or inspected as part of the inspection if they have been removed.

Recommendation

Contact a qualified professional.



2.9.1 GATES AND FENCING

GATE LATCH (BINDING)

 Noteworthy or Repair

The Gate Latch is binding and will need service or repair

Recommendation

Contact a qualified fencing contractor



2.10.1 VEGETATION, GRADING AND DRAINAGE

 Maintenance or Cosmetic

STANDING WATER AND SATURATION

LEFT SIDE RIGHT SIDE

There is noted standing water and saturation of the ground in several areas of the exterior grounds. These areas should be evaluated or modified to allow the water to properly drain away to the appropriate locations

Recommendation

Contact a qualified grading contractor.



2.12.1 IRRIGATION SYSTEM

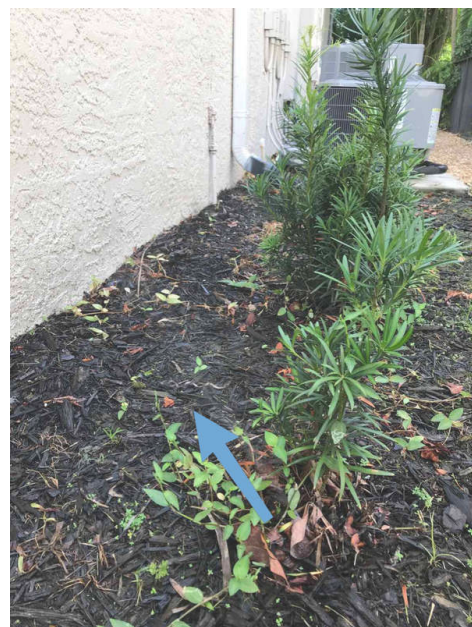
IRRIGATION MAINTENANCE

 Maintenance or Cosmetic

Recommend verify all irrigation heads are adjusted to prevent contact with the structure and watering areas that are not necessary for conservation.

Recommendation

Contact a qualified lawn care professional.



2.14.1 OTHER

OUTDOOR KITCHEN

 Maintenance or Cosmetic

The exterior gas grill will need a full maintenance service, there is visible rust and buildup in the unit. The system was operational

Recommendation

Contact a qualified professional.



3: ROOF

Information

Roof Materials

Tile

Roof-Type

Hip

Viewed Roof From

Walked roof

Roof Structure

Prefabricated Wood Trusses

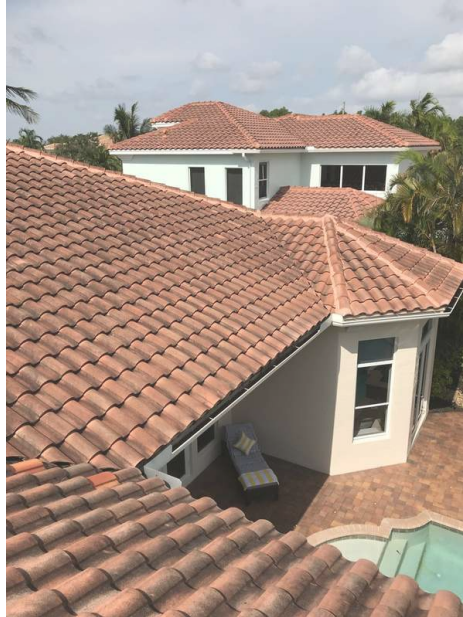
Chimney (exterior)

N/A

Sky Light(s)

None

1.0 ROOF PHOTOS





Evidence of Leaks (past or present): Current Conditions

Visible evidence of leaks from the roof and components may not be apparent during all conditions. Leaks may be verifiable only during or after rains or specific conditions. Leaks may or may not be present that may not be visible for identification at the time of inspection and may appear during specific conditions. This inspection does not constitute a warranty.

Limitations

FLASHINGS, PENETRATIONS and COMPONENTS

LIMITED VIEW

Flashing and penetrations are only partially visible due to design

Evidence of Leaks (past or present)

CURRENT CONDITIONS

Visible evidence of leaks from the roof and components may not be apparent during all conditions. Leaks may be verifiable only during or after rains or specific conditions. Leaks may or may not be present that may not be visible for identification at the time of inspection and may appear during specific conditions. This inspection does not constitute a warranty

ROOF STRUCTURE

NOT ALL AREAS VISIBLE

Note that all areas of the attic and roof components may not be visible during the inspection due to design and condition limitations. All accessible areas are visually inspected and reported based on conditions at the time of inspection

Comments

3.1.1 ROOF COVERINGS

CLEANING (MAINTENANCE)

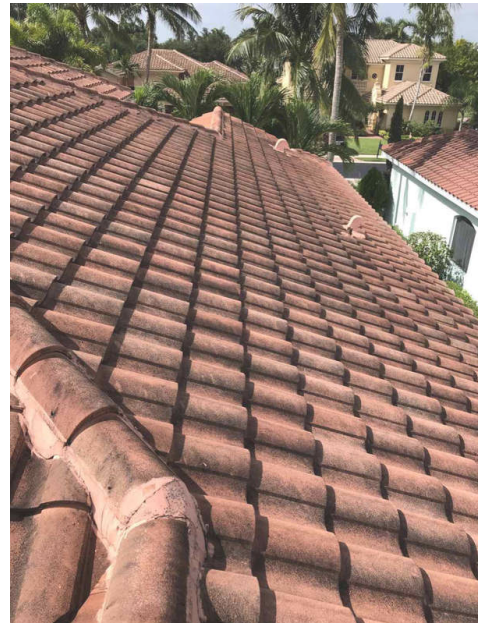


Maintenance or Cosmetic

The roof surface will require a full maintenance cleaning.

Recommendation

Contact a qualified roofing professional.



3.1.2 ROOF COVERINGS

EVIDENCE OF PREVIOUS REPAIRS

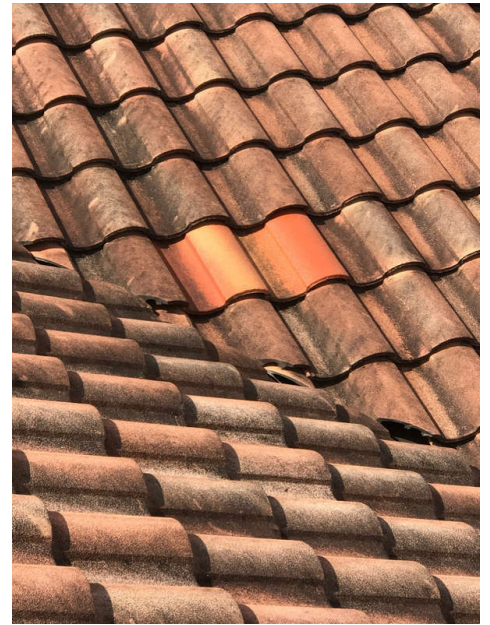


Noteworthy or Repair

There are areas that show evidence of previous repairs

Recommendation

Contact a qualified professional.



3.1.3 ROOF COVERINGS

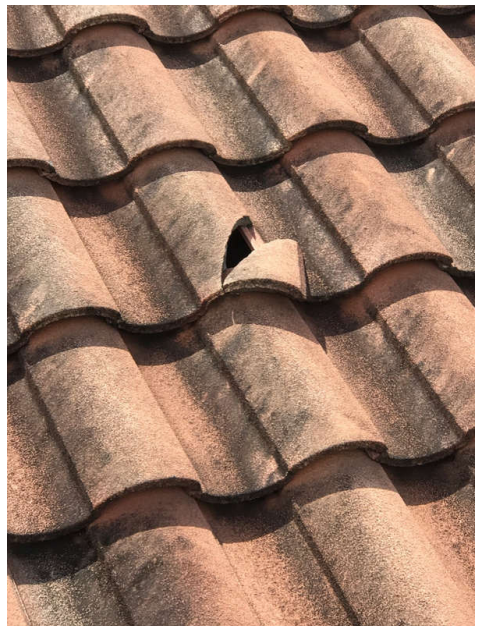
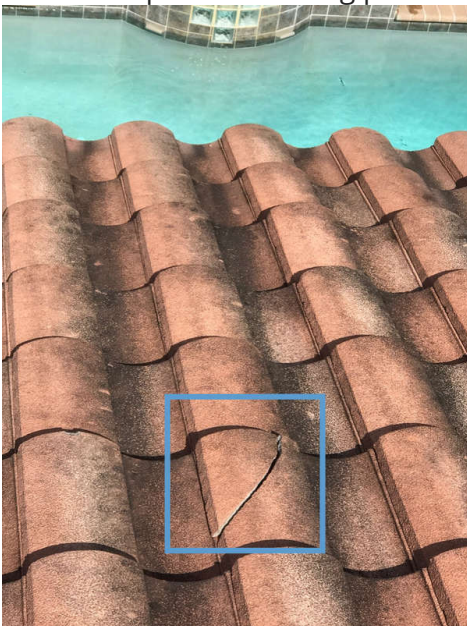
TILE ROOF (CRACKED)

 Maintenance or Cosmetic

There are cracked roof tiles in various areas of the surface, these are typically considered cosmetic in nature with no signs of visible leaks as a result

Recommendation

Contact a qualified roofing professional.





3.3.1 Evidence of Leaks (past or present)

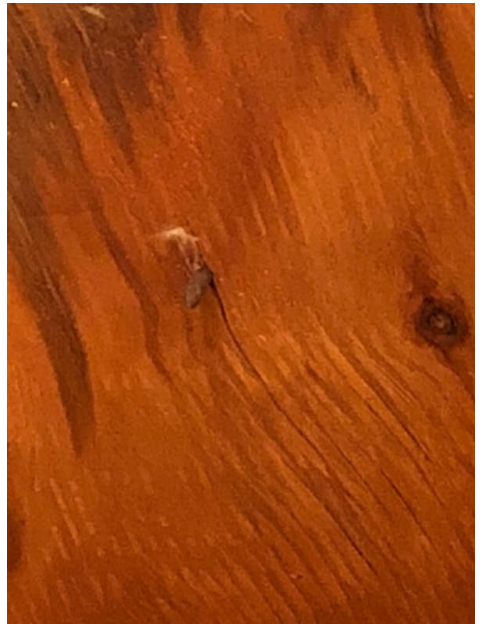
 Noteworthy or Repair

EVIDENCE OF PREVIOUS LEAKS

There is visible evidence that there have been previous leaks. While no active moisture was detected in these areas at the time of inspection and all areas were not fully visible. This is typically an indication that repairs have either been performed or may need performance in the future

Recommendation

Contact a qualified professional.





4: GUTTERS

Information

Description

Metal

Termination

Underground

Noted Underground leader operation or termination can not be tested for operation or function



Limitations

General

UNDERGROUND LEADERS

The gutter system is equipped with underground leaders, operation of the leaders cannot be verified during the course of inspection. Also noted termination points may not be specifically visible

Comments

4.1.1 Gutters, Leaders and Downspouts

GUTTERS (IMPROPER PITCH)

FRONT RIGHT

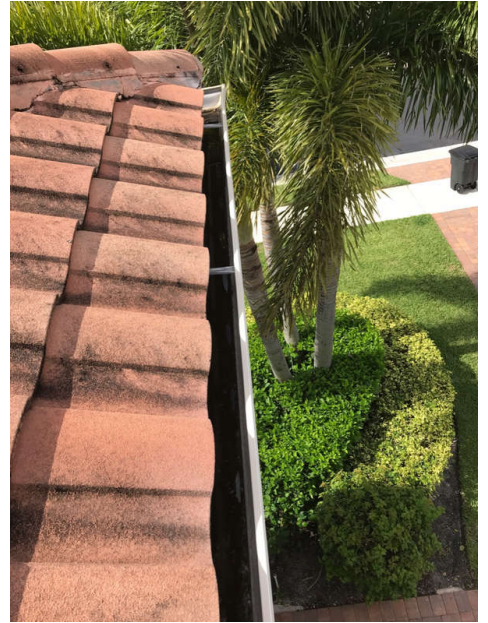
There are areas of the gutters that are improperly pitched toward the outlets and will require repair to prevent water and debris retention

Recommendation

Contact a qualified gutter contractor



Noteworthy or Repair



4.1.2 Gutters, Leaders and Downspouts

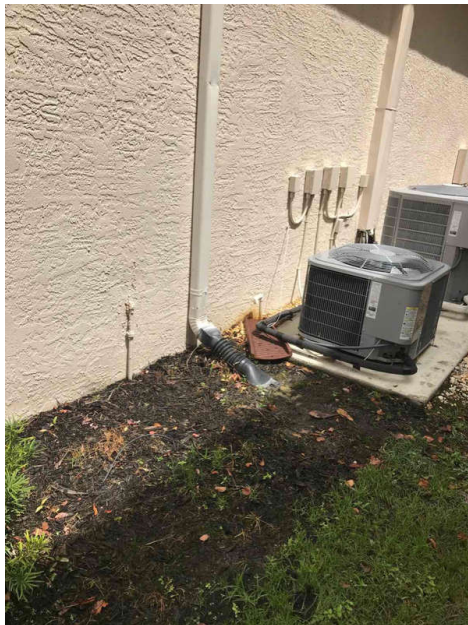
RESTRICTED LEADER

The gutter leader is restricted by grading and vegetation

Recommendation

Contact a qualified professional.

 Noteworthy or Repair



4.1.3 Gutters, Leaders and Downspouts

GUTTERS (SEAM LEAKS)

There are multiple areas of the gutter seams that are leaking and require maintenance re-sealing

Recommendation

Contact a qualified professional.

 Noteworthy or Repair



4.1.4 Gutters, Leaders and Downspouts

FLAG

Recommendation

Contact a qualified professional.

 Noteworthy or Repair



5: ATTIC

Information

Attic info

Attic access, Scuttle hole, Light in attic

Method used to observe attic

From entry, Walked, Partially Inaccessible, Not all areas were visible

1.0 Attic Views



Limitations

General

LIMITED ACCESS

The entire area of the attic cannot be viewed due to limited access, mechanical items, insulation and design prevent full view

Limited Access

LIMITED ACCESS

Due to the design there were multiple areas of the attics that were not fully accessible for inspection and evaluation

6: DOORS, WINDOWS AND INTERIOR

Information

Cabinetry

Wood



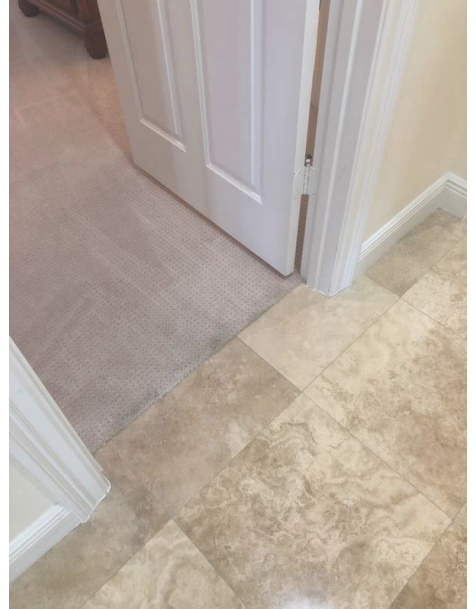
Countertop

Granite



Floor Covering(s)

Tile, Carpet



Wall Material

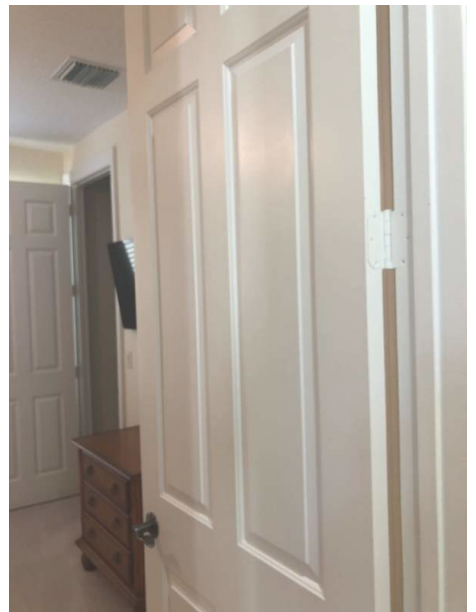
Drywall

Ceiling Materials

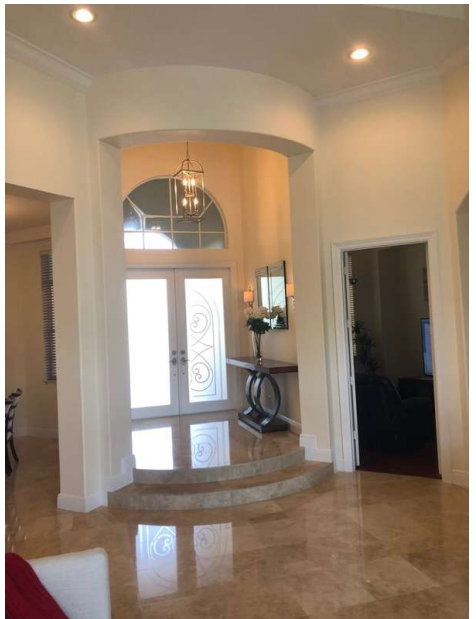
Drywall

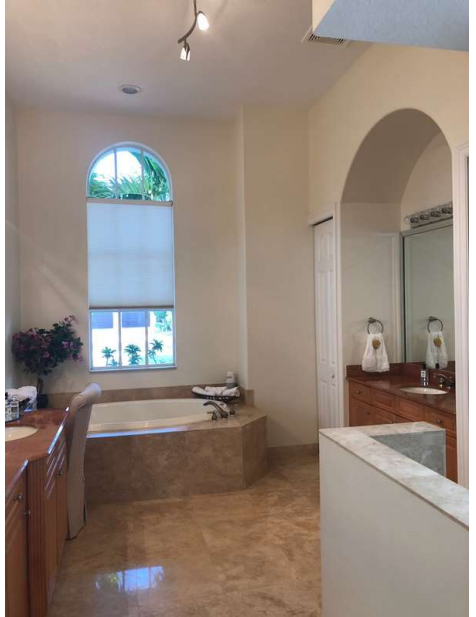
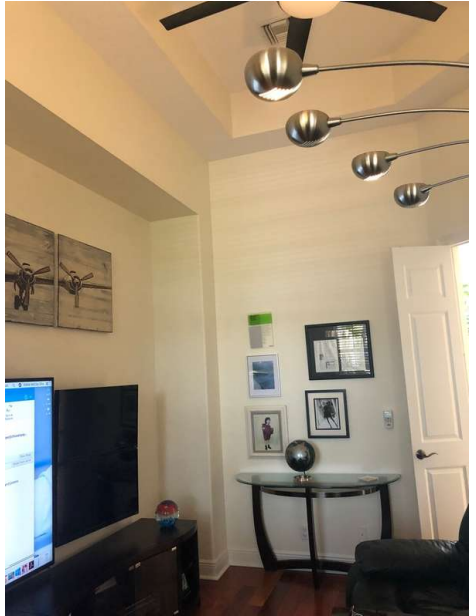
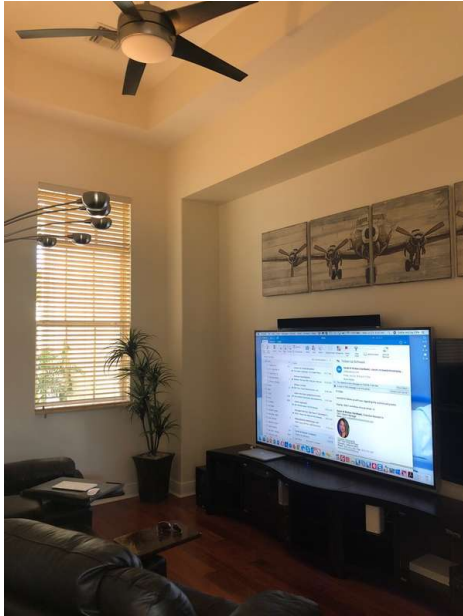
Interior Doors

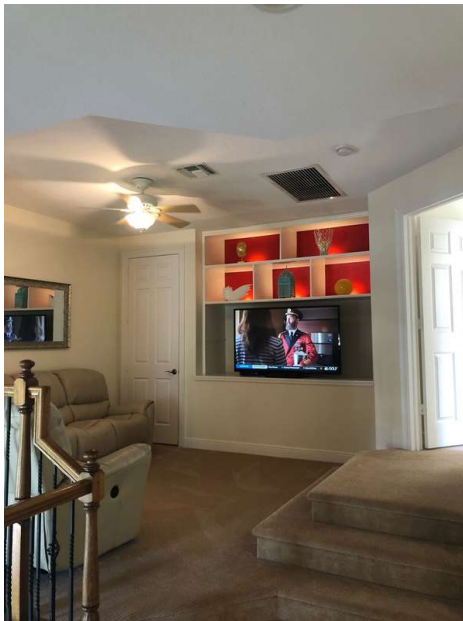
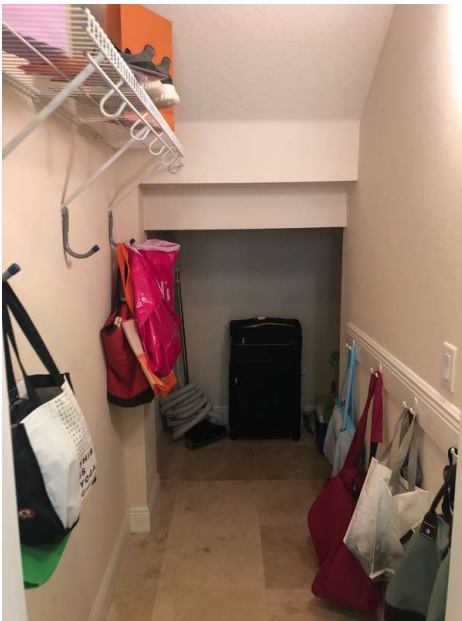
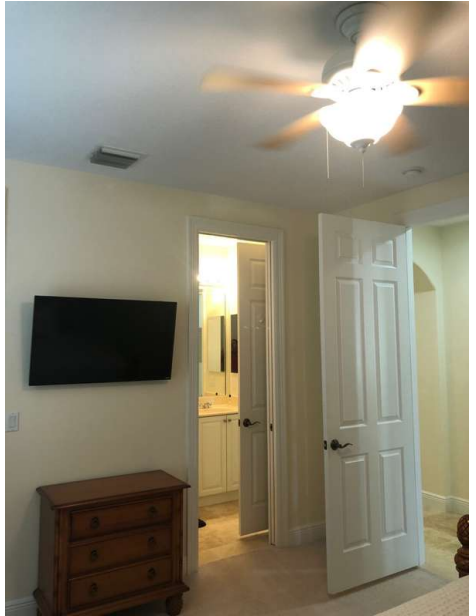
Solid, Raised panel, Masonite

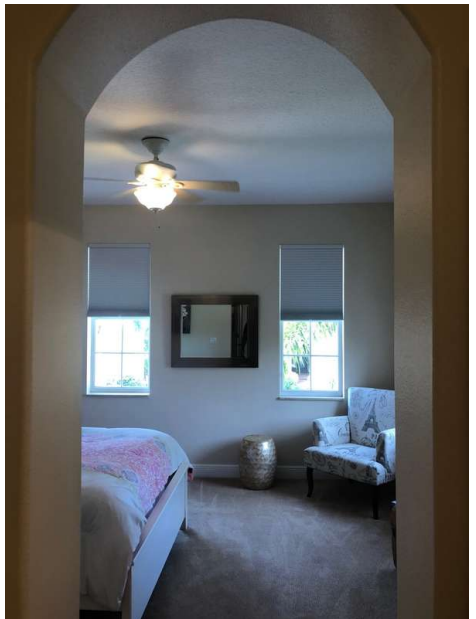
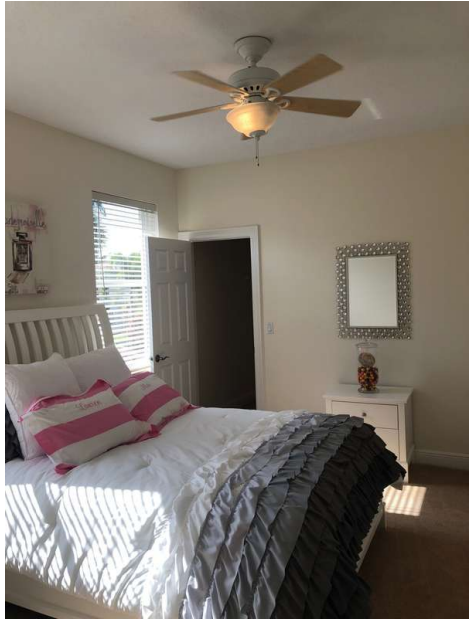
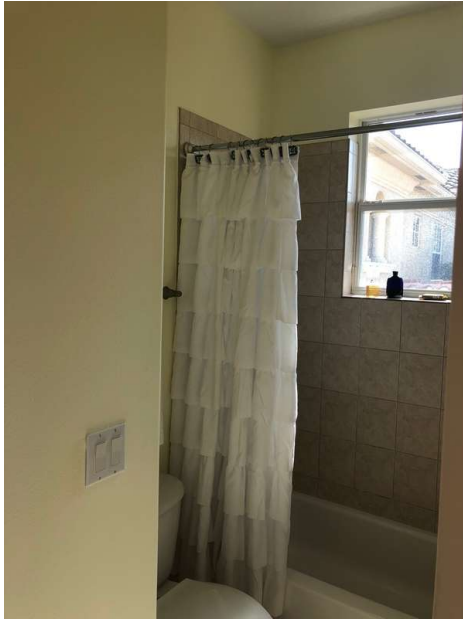
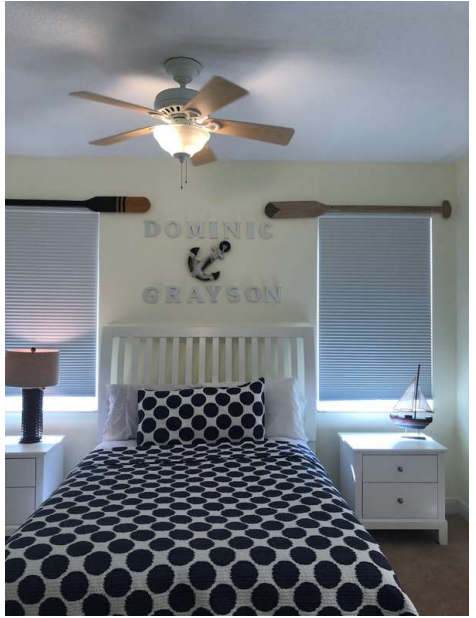


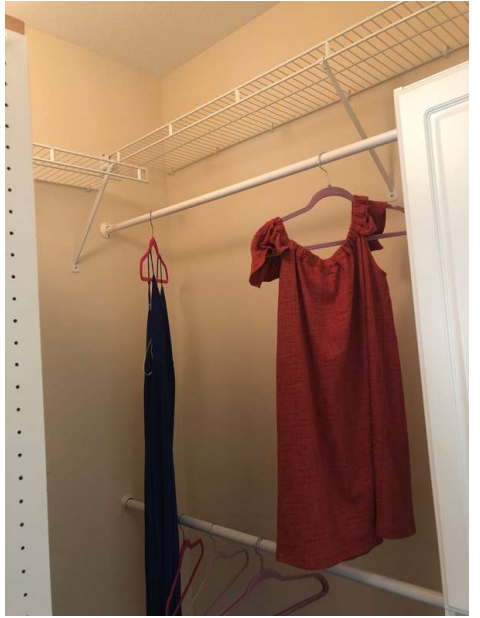
1.0 Interior Photos











Window Types

Single-hung, Fixed Pane, Impact Glass, Tilt feature



WINDOWS : Alumaslick

Recommend the use of a wax based lubricant such as LG wax brand Alumaslick or similar product for lubrication and maintenance of the windows and locking components.

Limitations

FIRE AND SAFETY

RECOMMEND FIRE SAFETY REVIEW

A complete fire safety review was recommended. Proper placement of fire extinguishers, escape plans, knowledge of electrical and water shut off locations, placement of flashlight and emergency lighting And other safety protocols is recommended

Comments

6.2.1 COUNTERS AND CABINETS

THERMOFOIL CABINETS (MAJOR DELAMINATION)

 Noteworthy or Repair

GUEST BATHROOM

There are areas of the thermofoil cabinets that have major areas of delamination that will likely require replacement

Recommendation

Contact a qualified cabinet contractor.



6.2.2 COUNTERS AND CABINETS

THERMOFOIL CABINETS (MINOR DELAMINATION)

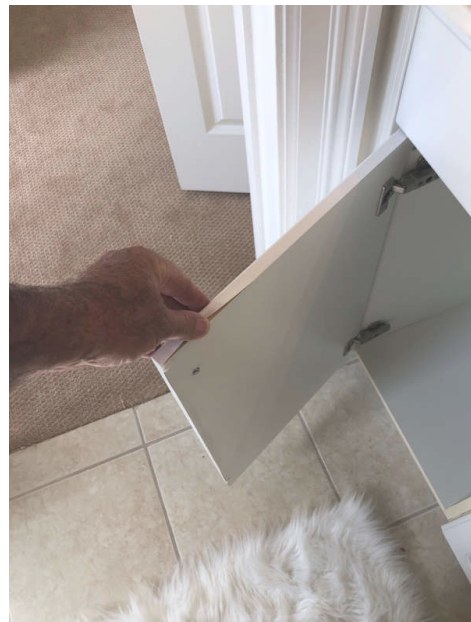
 Noteworthy or Repair

GUEST BATHROOM

There are areas of the thermofoil cabinets that are delaminating at the edges. These areas should be repaired to prevent further damage.

Recommendation

Contact a qualified cabinet contractor.



6.3.1 SHOWERS AND BATHS

SHOWER WALL (LOOSE TILE)

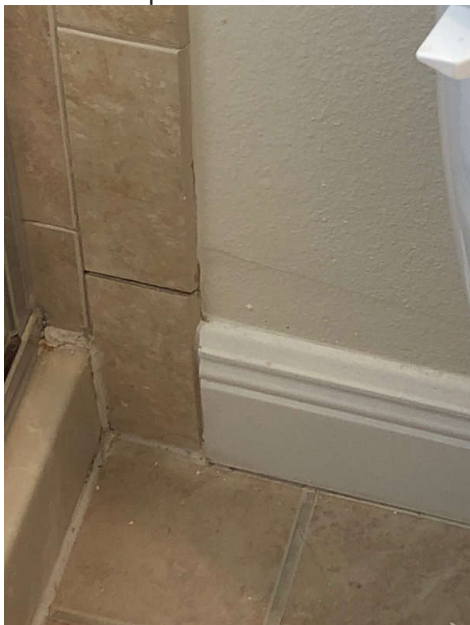
RIGHT SIDE REAR UPSTAIRS GUEST BATHROOM

 Noteworthy or Repair

Multiple areas of the bathroom shower have loose tiles, this indicates the tiles have lost the bond to the substrate likely due to water intrusion, possible hidden damage behind the tiles is likely.

Recommendation

Contact a qualified tile contractor



6.4.1 DOORS and HARDWARE

POCKET DOOR (BROKEN LATCH)

UPSTAIRS GUEST BATHROOM RIGHT SIDE

 Noteworthy or Repair

The pocket door latch is physically damaged and does not operate

Recommendation

Contact a qualified professional.



6.5.1 WINDOWS

Noteworthy or Repair

INTERIOR WINDOW TRIM

The plastic trim on the interior windows is deteriorating in several areas. While this may not effect performance it is a cosmetic failure

Recommendation

Contact a qualified professional.



6.6.1 EVIDENCE OF MOISTURE OR MOLD

High Importance

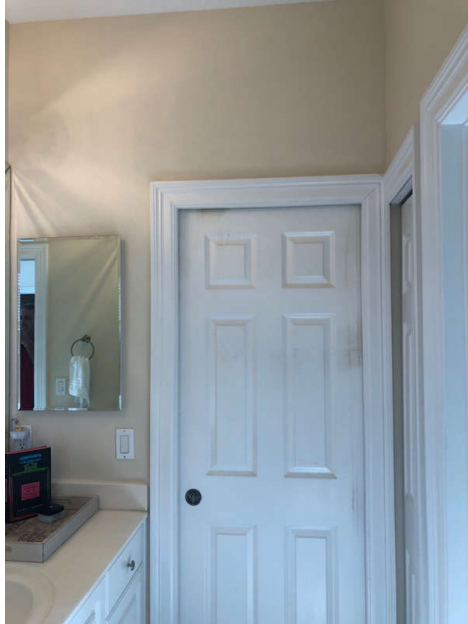
VISIBLE MOLD (NO ACTIVE MOISTURE)

GUEST BEDROOM GUEST BATHROOM UPSTAIRS RIGHT SIDE

There is visible mold or indications of mold on the interior of the home. There is no active moisture in the area at the time of inspection. However this does indicate either a previous moisture event, or excessive humidity in the area has occurred. It is highly recommended that a fall mold assessment be performed, to determine the extent of damage in the proper course of repair

Recommendation

Contact a qualified professional.





6.6.2 EVIDENCE OF MOISTURE OR MOLD

VISIBLE MOLD (AC REGISTERS)

GUEST BATHROOM UPSTAIRS RIGHT SIDE

There is visible mold around the AC registers. While no active moisture was detected in these areas at the time of inspection, this indicates a previous moisture event. This could be as a result of condensation forming on the metal registers, however the specific cause could not be determined. Recommend further evaluation to determine the specific cause and course of repairs

Recommendation

Contact a qualified professional.





7: APPLIANCES

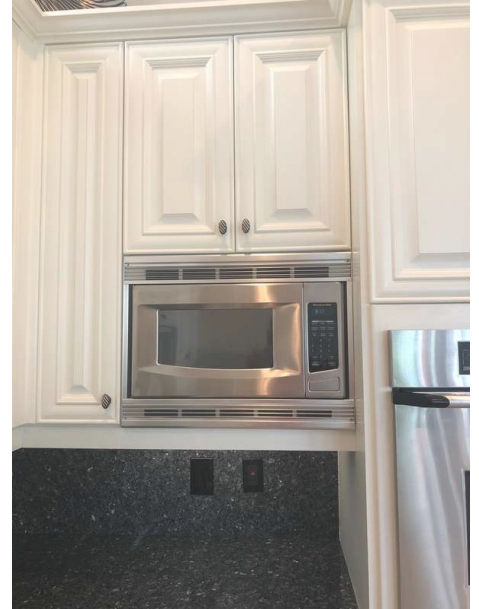
Information

APPLIANCE PHOTOS

Disposer Brand
WASTE KING



Built in Microwave
KITCHEN AIDE



Wine cooler

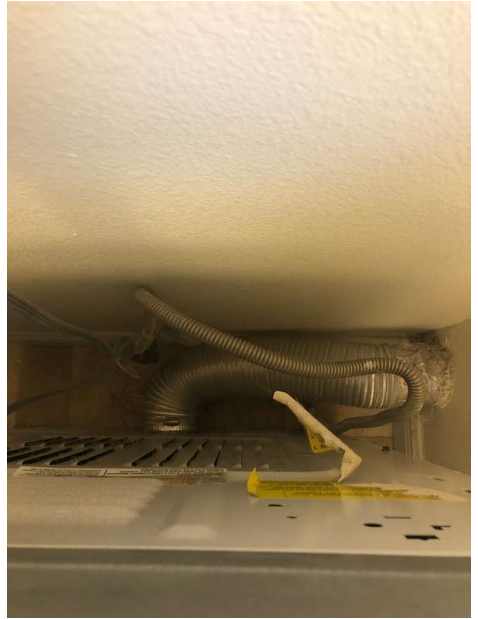


OTHER: Central Vac



Washing Machine and Dryer

Present, Not Matching, Samsung, Maytag



Dishwasher Brand

BOSCH, Avallon



Exhaust/Range hood
VENTED, KITCHEN-AIRE



Range/Oven
DAYCOR, THERMADOR



Refrigerator

KITCHENAIDE



WASHING MACHINE AND DRYER: Front Load Washing Machine

Noted that the design of Front Load Washing machines (if equipped) have a tendency to retain moisture in the drum and gasket after use. This can lead to mold in the unit. Recommend wiping and cleaning the gasket after use and leaving the door ajar when not in use to allow the moisture to dissipate.

Limitations

REFRIGERATOR

ICE MAKER OFF

Noted the ice maker was off at the time of inspection. The unit was not turned on because the unit would not produce ice by the end of the inspection. Recommend further evaluation for confirmation of function.

Comments

7.1.1 DISHWASHER

DISHWASHER DRAIN (HIGH LOOP)



The dishwasher drain line should be routed with a high loop to the drain connection to prevent potential odor

Recommendation

Contact a qualified professional.



7.2.1 RANGES/OVENS/COOKTOPS/RANGE HOOD



Noteworthy or Repair

DISPLAY DAMAGE

The display is damaged and does not operate properly. This will require repair or replacement

Recommendation

Contact a qualified appliance repair professional.



7.3.1 FOOD WASTE DISPOSER



Noteworthy or Repair

DISPOSAL (SPLASH GUARD)

The garbage disposal splash guard is missing/damaged and will require replacment.

Recommendation

Contact a qualified appliance repair professional.



7.3.2 FOOD WASTE DISPOSER

DISPOSAL (NOISY OPERATION)

 Noteworthy or Repair

The disposal is noisy during operation and will require service/repair or replacement

Recommendation

Contact a qualified appliance repair professional.



7.5.1 REFRIGERATOR

ICE MAKER OFF

 Noteworthy or Repair

The Ice maker was off upon initial inspection. The unit was turned on but did not make ice during the inspection and will require further evaluation

Recommendation

Contact a qualified appliance repair professional.

8: ELECTRICAL

Information

Electrical Service Conductors

Below ground, 220 volts



Electric Panel Manufacturer

SQUARE D



PANEL LOCATION

GARAGE

Panel Type

Circuit breakers

Branch wire 15 and 20 AMP

Copper

Wiring Methods

Romex

Generator interface

None

LOW VOLTAGE COMPONENTS:

General photos



1.0 Electric System Photos



Panel capacity

(2) 200 AMP service panel



Surge Protection System

Recommended

If the home is not currently protected with a Surge Protection System we highly recommend installation. We currently recommend use of the FPL SurgeShield system. This is a program that protects the home from Lightning-Caused power surges. This system also comes with a protection policy that will over a warranty on included appliances against failure as a result. There is a Promotional code that offers 2 Months of free protection with the use of the code INS012 you can apply for coverage directly with you Home Inspector or visit www.surgeshield.com and enter promo code INS012



LOW VOLTAGE COMPONENTS: Alarm System Offer

If you would like to have a monitored alarm system, we have partnered with ADT to provide offers to you for installation, repair and monitoring. If you would like someone to contact you please feel free to click the following link and someone will contact you with an offer from ADT. [Alarm system offer](#)

Comments

8.10.1 SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS

Noteworthy or Repair

NO CARBON MONOXIDE DETECTOR PRESENT

Carbon Monoxide Detectors are Recommended to be installed in the appropriate locations as a precaution.

Here is an article to get you started [on CO Alarm Placement](#)

Recommendation

Contact a qualified professional.

8.10.2 SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS

Noteworthy or Repair

SERVICE SMOKE

Recommend maintenance battery replacement in the smoke detectors and testing. Smoke detectors have a life expectancy of approximately 10 years. Any smoke detector that is beyond 10 years of age should be replaced. Recommend replacing the smoke detectors with carbon oxide/smoke detector combination units

Recommendation

Contact a qualified professional.

9: PLUMBING

Information

MAIN WATER SHUT OFF LOCATION

LEFT SIDE

Drain system components

PVC

Plumbing Water Supply (into home)

Copper

Water Heater Capacity

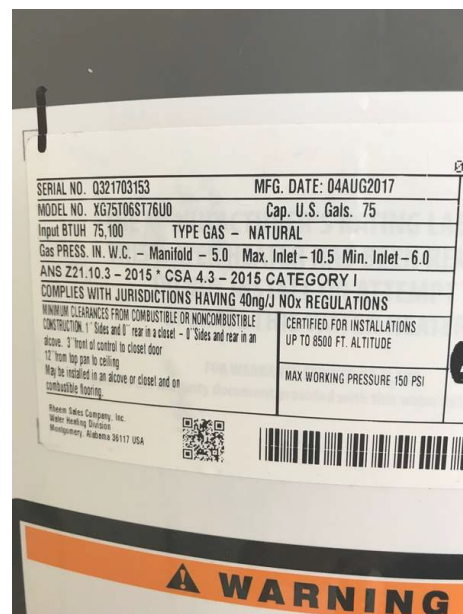
73 gallon

Water Source

Public

Water Heater Age

2017



Plumbing Water Distribution (inside home)

Copper, Where Visible, CPVC

Washer Drain Size

2" Diameter

Water Filters

None

1.0 Plumbing Photos



**FUEL SHUT OFF VALVE LOCATION
AT THE METER**



Water Heater Power Source
Gas (quick recovery), Recirculation system



Water Heater Manufact

RHEEM



WATER HEATER SYSTEM: Water Heater Operational

120

The water heater temperature reached a minimum of 110 degrees considered for safe operation

Comments

9.1.1 PLUMBING DRAIN SYSTEMS

TUB DRAIN STOPS

DOWNSTAIRS GUEST BATHROOM

Tub Drain Stops are damaged or missing components

Recommendation

Contact a qualified plumbing contractor.

 Noteworthy or Repair



10: HEATING AND COOLING

Information

Central Air Manufacturer

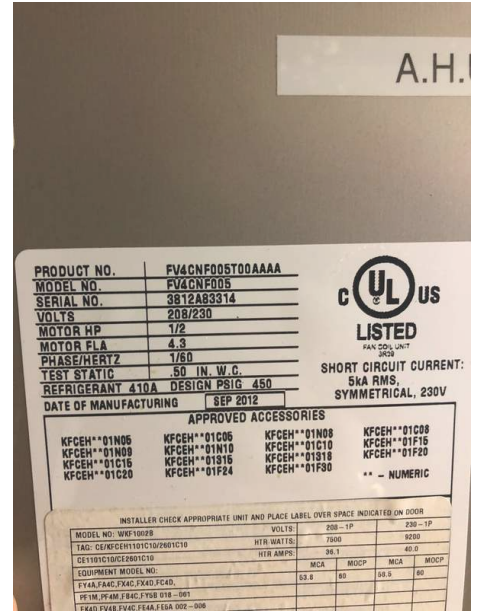
CARRIER

Cooling Equipment Type

Air conditioner unit

System Age

2012, 2017, 2016



System Size

4 Ton, 3 ton, 5 ton

Number of AC Units

Three

Heat Type

Electric heat

CHIMNEYS, FLUES AND VENTS:

Fireplace type

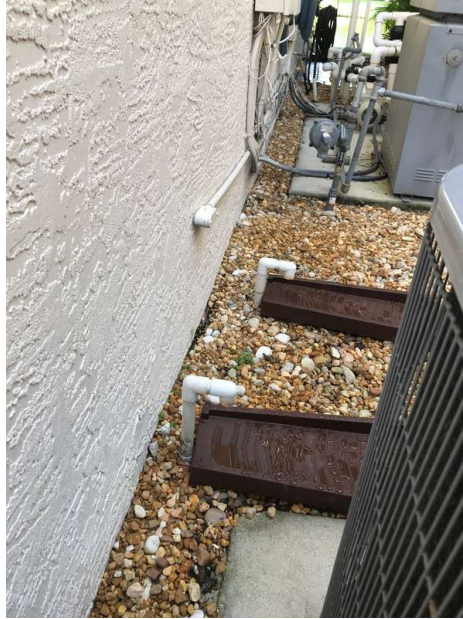
None

Woodburning, gas logs

1.0 HVAC Photos



View of condensate drains



Inline Condensate Shut Off Switch

Present, NOT Present



Accessories

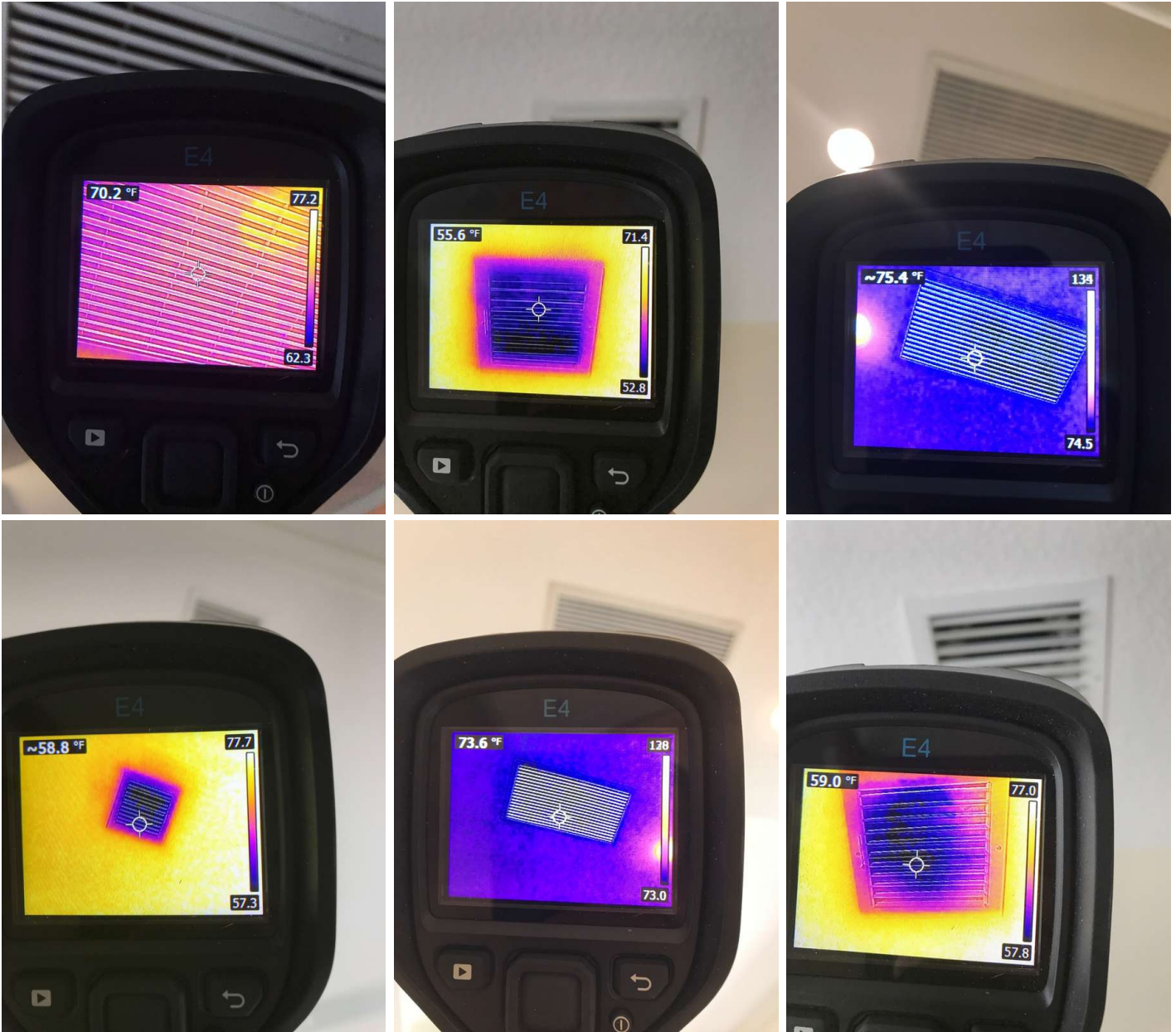
UV Light, Dehumidifier



AC SYSTEM PERFORMANCE (DIFFERENTIAL): Cooling system performance

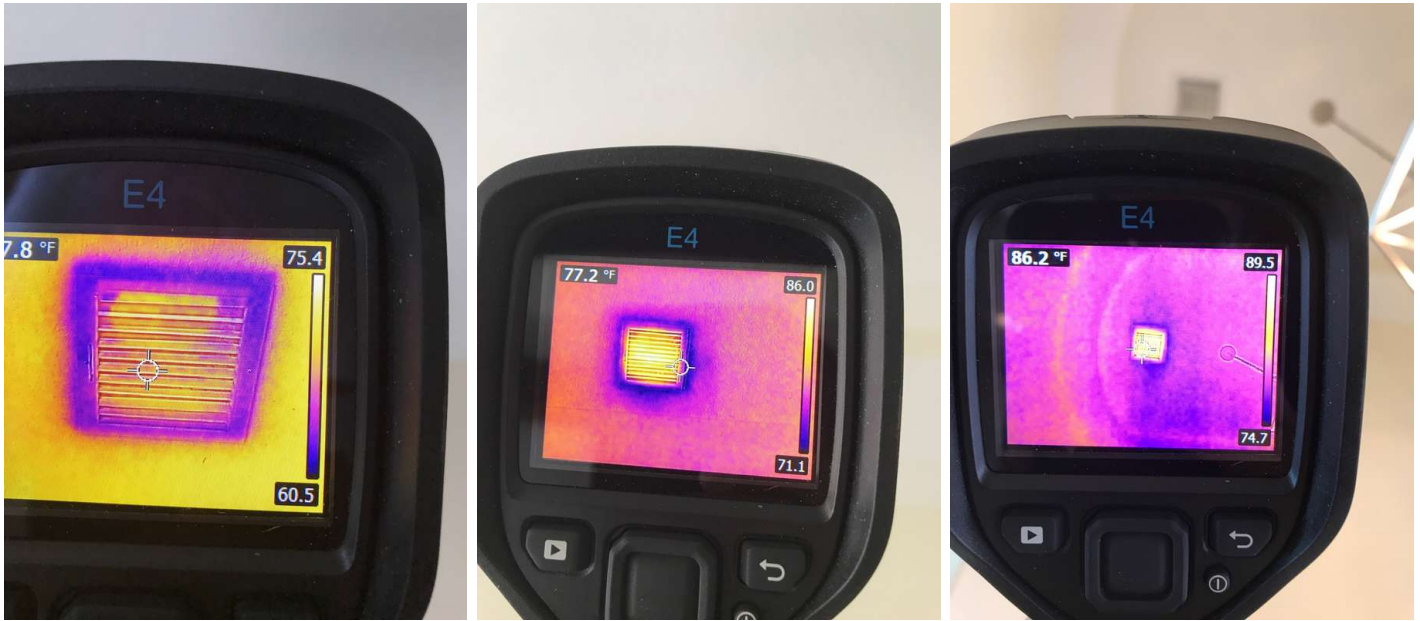
14-18 degrees

The AC system temperature differential is a portion of the performance evaluation. The differential measurement of the supply and return air should typically be between 14 and 20 degrees depending on various factors. Temperatures below 14 and above 24 degrees indicate the system will need a more detailed evaluation.



HEATING SYSTEM PERFORMANCE: Heating System Performance

Operational

**DISTRIBUTION SYSTEMS : Interior of system is not visible**

Note that the interior of the system is not visible due to design without an invasive inspection. The home inspection is limited to the areas that are visible without disassembly of the components. Invasive inspections of the AC system are regulated by contractor law and will need to be performed by a licensed HVAC technician.

Note that the AC system is one of the primary sources for dust accumulation that can allow mold growth on the surface of the dust that can not be seen during a visual inspection

Limitations

General

INTERIOR OF SYSTEM (NOT VISIBLE)

The majority of the interior of the system is not visible by design and not inspected beyond the accessible locations. Systems are not disassembled or otherwise opened and entered beyond designed access points. Any notations about the system should be followed up with a full evaluation by a licensed professional

DISTRIBUTION SYSTEMS

INTERIOR OF SYSTEM IS NOT VISIBLE

Note that the interior of the system is not visible due to design without an invasive inspection. The home inspection is limited to the areas that are visible without disassembly of the components.

Comments

10.1.1 COOLING/HEAT EQUIPMENT

MOLD

There is visible mold around the plenum and the air handler in the garage. Recommend for maintenance service, cleaning and evaluation

Recommendation

Contact a qualified professional.



10.5.1 AUTOMATIC SAFETY CONTROLS

Noteworthy or Repair

INSTALL OVERFLOW

Recommend installation of an inline condensate overflow switch. This is a safety device that helps to prevent damage due to an overflow of the condensate drain pan.

Recommendation

Contact a qualified professional.



10.6.1 CONDENSATION/DRAINAGE SYSTEMS

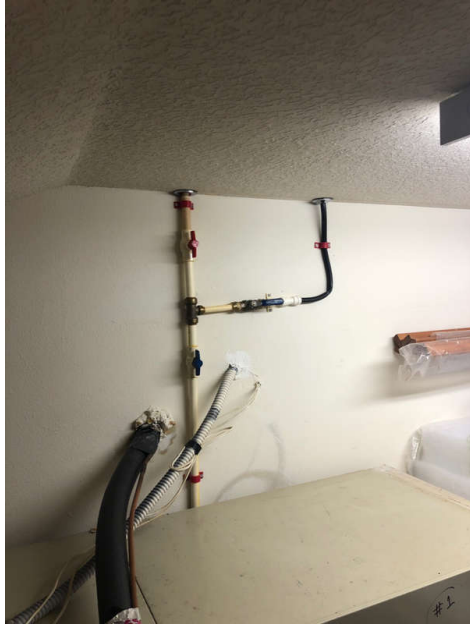
Maintenance or Cosmetic

CONDENSATE DRAIN (MODIFIED)

The AC condensate drain has been modified to tie in with a drain for the attic mounted aftermarket installed dehumidifier. It was noted there was audible noise from the drain pan in the attic unit while the AC system that it is connected to was operating.

Recommendation

Contact a qualified professional.



10.7.1 DISTRIBUTION SYSTEMS

AC PLENUM/AIR HANDLER (CONDENSATION BUILDUP)

 Noteworthy or Repair

There is notable condensation buildup on the AC Plenum and air handler. This may indicate improper Insulation, These areas have notable visible organic growth and active moisture. The system will require maintenance service, cleaning, and periodic maintenance. The notable air leaks should be resolved and the Plenum properly insulated to prevent further damage

Recommendation

Contact a qualified professional.





10.9.1 OPTIONAL COMPONENTS

UV LIGHT

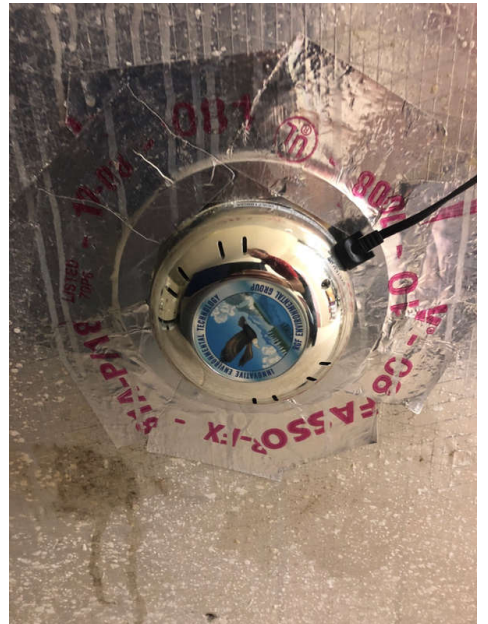
NUMBER ONE AND NUMBER TWO UNIT

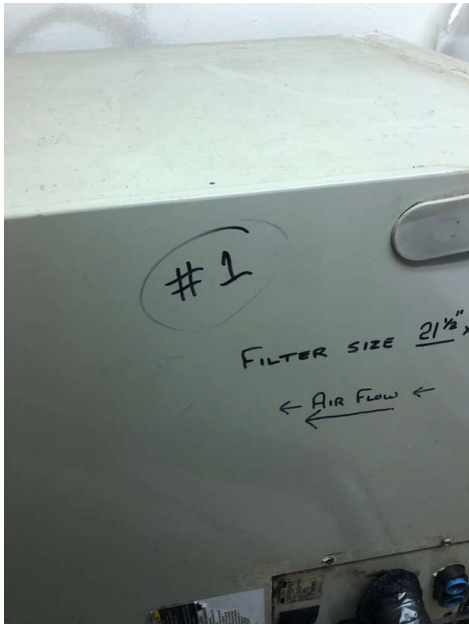
Noteworthy or Repair

The UV light system is apparently inoperative And will require repair/replacement for further diagnosis

Recommendation

Contact a qualified professional.





11: INSULATION AND VENTILATION

Information

Attic Insulation

Batt



Ventilation

Soffit Vents

Dryer Power Source

Gas Connection

Dryer Vent

Flexible Metal

Exhaust Fans

Electric Fan

Comments

11.1.1 INSULATION AND THERMAL SCANS

MISSING

RIGHT FRONT GUEST BEDRM

The majority of the attic insulation is missing, is damaged or improperly installed. Recommend full evaluation to properly insulate the attic.

Recommendation

Contact a qualified professional.

 Noteworthy or Repair



11.1.2 INSULATION AND THERMAL SCANS
INSULATION (OUT OF POSITION)

 Noteworthy or Repair

There are areas of the insulation in the attic that are out of position and will need to be properly re-applied to provide proper coverage

Recommendation

Contact a qualified professional.



12: FOUNDATION, CRAWLSPACE AND STRUCTURE

Information

Foundation

Poured concrete

Ceiling Structure

Prefabricated Wood Trusses

The majority of the ceiling structure are not typically visible, all visible areas are inspected

Floor Structure

Slab

The floor structure is normally not fully visible. All areas visible are inspected and reported

Wall Structure

Masonry

Wood framing members are not typically visible for inspection due to cladding.

13: GARAGE

Information

Auto-opener Manufacturer

MARANTEC

Reversing Sensors

Present

Garage Door Material

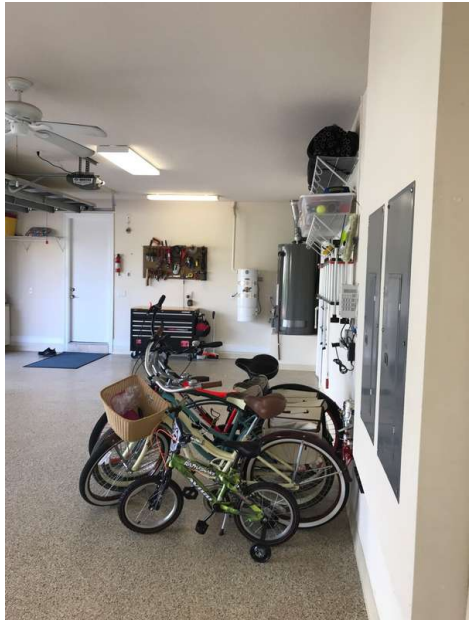
Metal

Garage Door Type

Two automatic



1.0 Garage Photos



Comments

13.2.1 GARAGE WALLS

MOISTURE DAMAGE

There is visible moisture damage at the right hand side front of the garage wall. The source of the moisture cannot be determined. There is visible areas of peeling or bubbling paint.

Recommendation

Contact a qualified professional.

 Noteworthy or Repair



13.5.1 OCCUPANT DOOR FROM GARAGE TO INSIDE HOME

WEATHERSTRIP MISSING

The weatherstrip at the threshold for the garage pedestrian entry door is missing in the door does not properly seal

Recommendation

Contact a qualified professional.

 Noteworthy or Repair



14: PERMIT INFORMATION AND ADDITIONS

Information

PERMIT OR ADDITION PHOTOS

Limitations

General

INFORMATION ONLY

This section is for information only that is collected in the process of the inspection procedure. We do not do official and certified permit searches and changes to the property such as additions or enclosures are not specifically covered under the inspection however information that is noted or obtained is relayed as a courtesy and a full permit search is always recommend.

Permits

GENERAL PERMIT SEARCH

A general online permit search may have been preformed. This is not a full or certified permit search and only displays the information available online and is not technically exhaustive. It is always recommended that a full permit search be preformed.

15: SWIMMING POOLS, EQUIPMENT AND SAFETY

Information

PUMP TYPE

Variable Speed

HEAT SYSTEM TYPE

Gas-fired Pool Heater

Wall Material

Diamond Bright



ACCESSORIES

Saline Chlorination System,
Automatic Fill System, Automatic
Cleaner

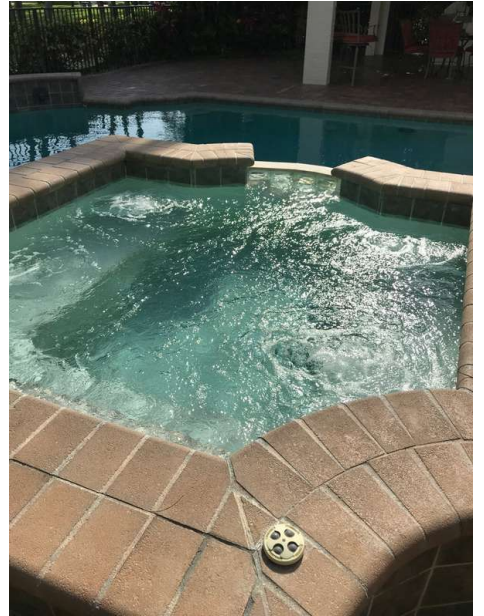


LIGHTS: Pool light is operational

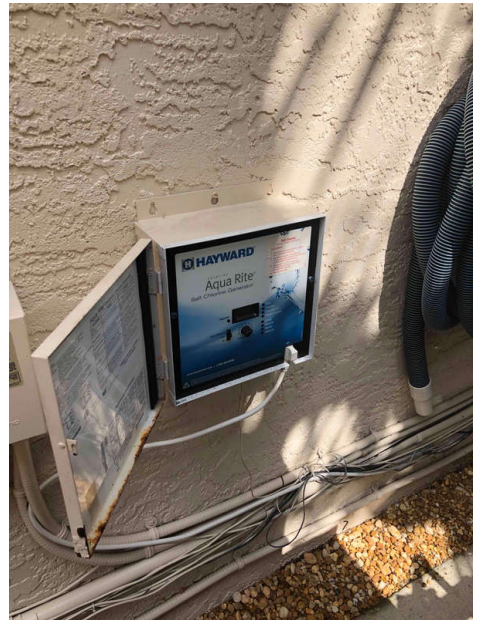
The pool light was operational



1.0 General Photos



CHLORINATION AND FILTRATION SYSTEMS
CARTRIDGE FILTER, SALINE SYSTEM



STYLE

In ground, Built in spa, Water feature



ACCESSORIES: Water feature



Comments

15.1.1 GENERAL CONDITION AND NOTES

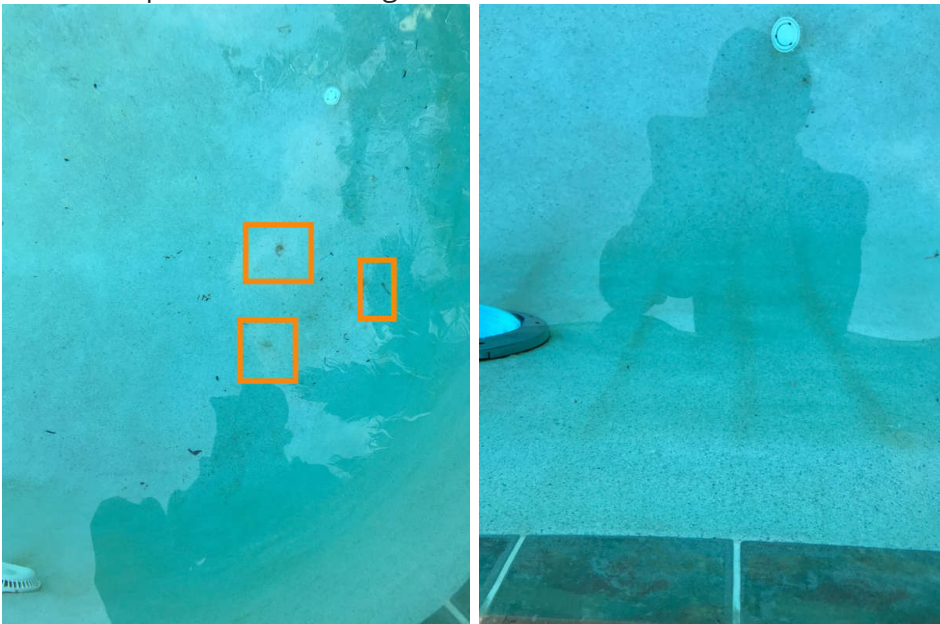
STAINING AND DISCOLORATION

The pool surface shows multiple areas of staining and discoloration.

Recommendation

Contact a qualified Swimming Pool Contractor

Noteworthy or Repair



15.4.1 POOL DECK AND COPING

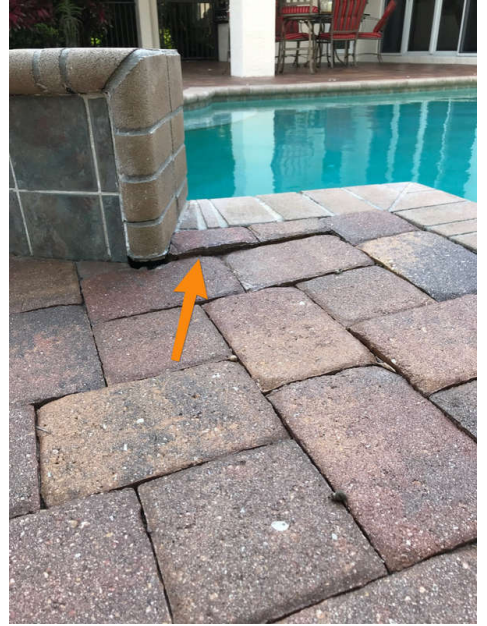
BRICK PAVER SETTLEMENT

There are multiple areas of uneven surfaces on the brick pavers around the pool. Specifically around the skimmer, the paver is loose and creates a potential trip hazard. Recommend removal of the pavers identifying the cause and repair

Noteworthy or Repair

Recommendation

Contact a qualified professional.



15.4.2 POOL DECK AND COPING

GLASS BLOCK (MORTAR)

POOL WATERFALL

Moisture penetration and deterioration of grout glass block of waterfall. Recommend replair of grout to prevent further deterioration.

Recommendation

Contact a qualified professional.



Noteworthy or Repair



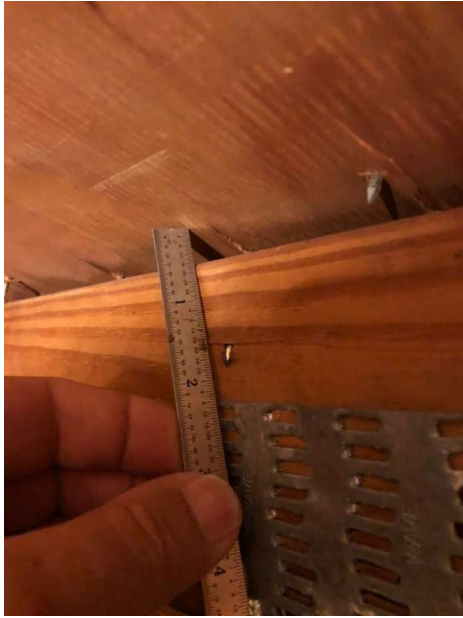
16: WINDSTORM MITIGATION

Information

WINDSTORM PHOTOS

This section is designed for gathering information for a windstorm mitigation inspection and is not complete without the official form

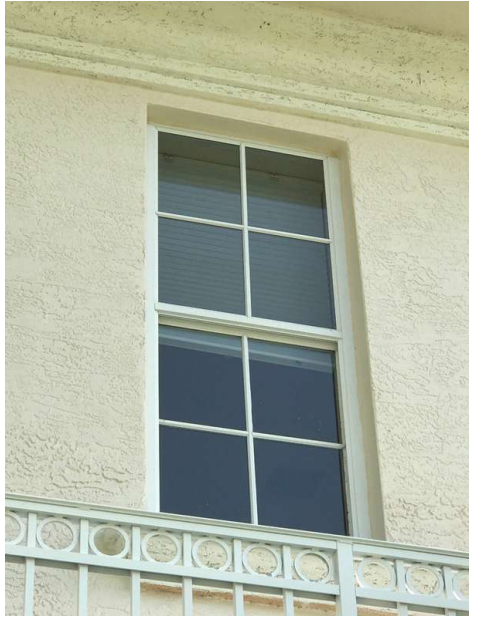


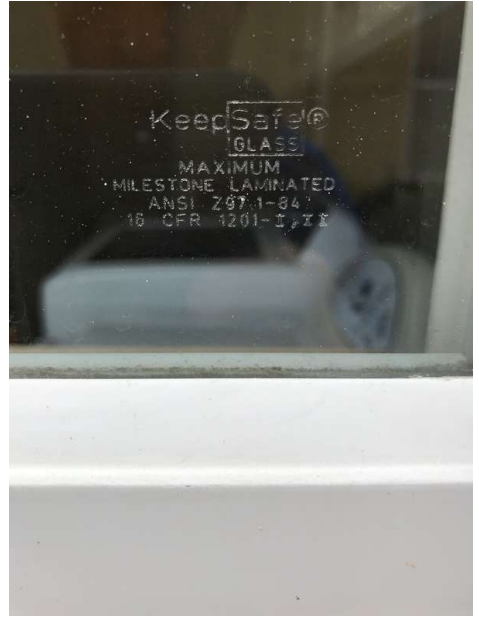
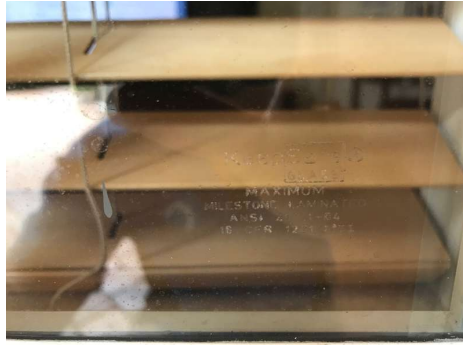












Comments

16.1.1 Impact Rating Information

IMPACT RATING INFORMATION

 Noteworthy or Repair

There are multiple areas of the impact rating information/stickers that have either been partially removed, or are missing. The stickers are required to verify compliance with large missile impact rating for insurance purposes

Recommendation

Contact a qualified professional.



STANDARDS OF PRACTICE

General Notations

Please note that this inspection is not considered to be technically exhaustive. This means that there are specific items that are covered but all possible items can not be addressed or noted.

Exterior

The inspector shall inspect: all of the visible and readily accessible exterior systems and components. Exterior systems and components include the following: Exterior wall cladding/siding, flashing and trim; all exterior doors; attached decks, balconies, stoops, steps, porches, and the associated railings; eaves, soffits and fascias where accessible from the ground level; Walkways, patios, and driveways leading to the dwelling entrances; Garages and carports. The inspector shall inspect all of the visible and readily accessible site conditions that affect the structure. Site conditions include the following: Vegetation; Grading; Surface drainage: and retaining walls on the property when any of these are likely to adversely affect the structure. The Inspector is Not required to inspect: Geological, geotechnical or hydrological site conditions: Erosion control and earth stabilization measures.

The inspector is not required to inspect: Windows and door screening, shutters, awnings, and similar seasonal or protective accessories and devices; Fences; Recreational Facilities; Outbuildings, with the exception of garages and carports; Swimming pools, seawalls, break-walls, boat lifts and or docks. The inspector is not required to move furniture, appliances, lawn and garden equipment, tools, stored items, wall decorations, floor coverings, clothing or any items that block the view and access to components or structures.

Notes The exterior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments and if a comments is noted in the report then ALL connected system should also be evaluated by the contractor. Note that some items may not be notable without specific weather conditions, such as rain, heavy rain, windstorms or temperature changes.

Roof

The inspector shall inspect from ground level or eave: Roof covering systems and components to include the following: Roofing materials; flashings; skylights, chimneys and roof penetrations: Roof drainage systems: Ventilation of attics; and insulation of attics. The inspector shall inspect all of the visible and readily accessible roof covering systems and components.

The inspector is not required to inspect: Components or systems that are not readily accessible; Antenna or other installed accessories; Interiors of flues or chimneys wick are not readily accessible. The inspector is not required to walk on the roof surface when, in the opinion of the inspector, the following conditions exist: Roof slope is excessive to safely walk on; There is no safe access to the roof; Climatic conditions render the roof unsafe to walk on; condition of the roofing material or roof decking renders the roof unsafe to walk on; walking the roof may cause damage to the roof covering materials; and walking will place any liability or danger to the homeowner or other representatives involved in the home inspection process. The inspector is not required to disturb insulation.

Notes: The roof was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving insulation or other items in the attic area that may obstruct view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

Gutters

The Gutters and drainage systems are included in the Roof section for the standard of practice. These systems are inspected visually from the ground or accessible areas for general operation, termination and function under the conditions present. The gutter system capacity can not be determined. Underground systems can not be tested and the termination points may not be visible. The gutters are observed for suspected leaks at the seams and joints, erosion at the downspouts, improper or poor termination. recommendation may be made for better performance.

Doors, Windows and Interior

The inspector shall inspect: Interior walls, ceilings, and floors; steps, stairways, and railings; countertops and representative number of installed cabinets; garage doors; Interior and exterior doors and windows and their operating locks and latches or other opening mechanisms; Insulation and vapor retarders in unfinished spaces; fireplaces and solid fuel burning appliances; vent systems, flues and chimneys; household appliances. The inspector shall inspect all of the visible and readily accessible interior components. When inspecting doors and windows, the inspector may inspect a representative number of doors and windows. The inspector shall inspect household appliances for normal operation- unind normal operating controls to activate a primary funtion. Inspectors will not operate system or appliances with owners belowngings, or if there is a resk to the property being inspected. Inspectors will first review the system to be operated and use professional judgment as to whether it is safe to operate using normal operating controls and report accordingly.

The inspector is not required to inspect:Paint, wallpaper, window treatments and other specialty finish treatments; carpeting; window treatments; central vacuum systems. recreational facilities. fire screens and doors, if not permanently attached. seals and gaskets on fireplaces; automatic fuel feed devices. mantles and fireplace surrounds. combustion make-up air devices. heat distribtuion assists whether gravity controlled or fan assisted in fireplaces. The inspector is not required to: Open or operate any windows or doors and access covers that are permanently or temporarily secured by mechanical means, are panted shut, or are blocked by stored items or furniture; Ignite or extinguish fires; Light gas fireplaces or heaters, or other unlit pilot light devices; Determine draft characteristics for fireplaces and chimneys; Move fireplace inserts or stoves or firebox contents; Disturb insulation; Activate any system or appliance that is shut down, disconnected or otherwise rendered inoperable; operate or evaluate any system, component or appliance that does not respond to normal user controls; Operate any gas appliance that requires the manual lighting of a pilot light or burner device; Operate any system, appliance or feature that requires the use of special coes, keys, combination, or devices or where user manual reference is required; Operate any system, component, or appliance where in the opinion of the inspector, damage may occur; Determine thermostat (s) calibration, adequacy of heating elements, operate or evaluate self cleaning cycles, door seals, indicator lights, timers, clocks or timed features, defrost cycles or frost free features, or other specialist features as it applies to the appliance device; determine leakage from microwaves ovens; determine the presence or operation of back draft damper devices in exhaust devices; move any appliance;Confirm operation of every control or feature of a system or appliance.

Appliances

The home inspector shall: observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven.

The home inspector is not required to:Test Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable nor can the inspector determine the effectiveness of any appliance

Electrical

The inspector shall inspect: Electrical systems and components to include the following: Service entrance conductors, drip loo, cables and raceways; Main service equipment and main disconnects; Service grounding; Interior components of main service panels and sub panels; Conductors; Over current protection devices; Readily accessible installed lighting fixtures, switches and receptacles; Ground fault circuit interrupters; Amperate and voltage rating of electrical Service;Main disconnect(s); Methods or types of wiring; Smoke detectors; Carbon monoxide detectors;Arc fault circuit interrupters. The inspector shall inspect all of the visible and readily accessible electrical systems and components.

The inspector is not required to inspect:Remote control devices; security alarm systems and components;low voltage wiring, systems and components, ancillary wiring and systems and components not a part of the primary electrical power distribution system; Photovoltaic, solar collectors, or battery or electrical storage devices and associated equipment. The inspector is not required to: Measure amperage, Voltage or Impedance; perform a load calculation; Insert any tool, probe or devide into any electrical component; determine the accuracy of circuit labeling

Plumbing

The inspector shall: inspect all of the visible and readily accessible plumbing systems and components. The plumbing systems and components include the following: Interior water supply piping and distribution systems including all fixtures, faucets and components; drain, waste and vent systems, including all plumbing fixtures; plubing related vent systems, flues and chimneys, drainage sumps, sump pumps, and related piping; materials used for waters supply, drain, wast and vent piping; water heating equipment including energy source; Main water and main fuel shut-off valves.

The inspector is not required to inspect: Wells or water storage related equipment; water conditioning systems; Solar water heating systems; Fire sprinkler systems; Irrigation system(s). The Inspector is not required to: test shower pans, tub and shower surround for leakage; Operate safety valves or shut-off valves; Determine whether water supply or waste disposal systems are public or private; determine the quantity or quality of the water supply or the function flow at time of the inspection or thereafter will meet the client's needs.

Heating and Cooling

The inspector shall inspect: (1) The heating and air conditioning systems and components. (a) The heating and air conditioning (HVAC) systems and components include the following: Installed heating equipment; fuel storage and fuel distribution systems; vent systems, flues and chimneys; ductwork and air distribution components; mechanical ventilation systems. heating systems energy source(s); heating system in BTUs or Kilowatts. (b) The inspector shall inspect all readily accessible heating and air conditioning systems and components. (3) HVAC distribution systems and components. (a) The heating and air conditioning (HVAC) distribution systems and components include the following: Energy source; Cooling method by its distinguishing characteristics; the presence of condensate over flow warning/shutoff devices. (b) the inspector shall inspect readily accessible HVAC distribution systems.

The inspector is not required to inspect:(c) Interiors of flues or chimneys which are not readily accessible; heat exchangers; humidifiers or dehumidifiers; electronic air filters, sanitizers, or UV lights; Solar space heating systems; Internal components such as coils and pans. (3) The inspector is not required to: determine heat supply adequacy or distribution balance; Operate heat pump systems when ambient temperatures pose a potential for damage to the air conditioning system; Determine cooling system adequacy, distribution balance or indoor air quality; Operate an air conditioning system when ambient temperature pose the potential for damage to the air conditioning system.

Insulation and Ventilation

The inspector shall inspect: The insulation in unfinished spaces. The ventilation of attic spaces. Mechanical ventilation systems. And report on the general absence or lack of insulation.

The inspector is not required to:

Enter the attic or unfinished spaces that are not readily accessible or where entry could cause damage or pose a safety hazard to the inspector in his or her opinion. To move, touch, or disturb insulation. To move, touch or disturb vapor retarders.

Break or otherwise damage the surface finish or weather seal on or around access panels and covers. Identify the composition of or the exact R-value of insulation material. Activate thermostatically operated fans. Determine the types of materials used in insulation/wrapping of pipes, ducts, jackets, boilers, and wiring. Determine adequacy of ventilation.

Foundation, Crawlspace and Structure

The inspector shall inspect: The foundation; Floor Structure; wall structure; roof structure; posts; beams; columns; joists; rafters; trusses; and other framing ; and ventilation of foundation areas. The inspector shall inspect all of the visible structural systems and components by probing structural components where deterioration is visible or suspected or where clear indications of possible deterioration exist. Probing is not required when, in the opinion of the inspector, probing would only further damage any area already identified as defective or where no deterioration is visible or presumed to exist.

The inspector is not required to: Enter or traverse any under-floor crawl space or attic, if in the opinion of the inspector: an unsafe or unsanitary condition exists; Enter areas in which inadequate clearance exists to allow the inspector safe entry or traversing; or the potential exists to cause damage to insulation, ductwork, or other components or stored items. The inspector is not required to provide any engineering or architectural services or offer an opinion as to the adequacy of any structural system or component.

Garage

The inspector shall: Inspect garage doors and garage door openers by operating by the installed automatic door control. And report as in need of repair any installed electronic sensors that are not operable or not installed at proper heights above the garage door. And report as in need of repair any door locks or side ropes that have not been removed or disabled when garage door opener is in use. Inspect and report on the garage pedestrian entry door seals and apparent fire rating.

PERMIT INFORMATION AND ADDITIONS

All notations in reference to permits, general information or additions in this section are for general information only that may have been gathered in the process and relayed to the customer. This report does NOT constitute a full search of the presence or lack of permits. A full permit search should be completed by a specialist in the field prior to the end of the inspection period.

Swimming Pools, Equipment and Safety

Pools are fun, but children and adults can lose their life quickly. Over 4000 lives annually are lost with one-third under the age of 14. A child can drown in the time it takes to answer a phone. A swimming pool is 14 times more likely than a motor vehicle to be involved in the death of a child age 4 and under. An estimated 5,000 children ages 14 and under are hospitalized due to near-drownings each year; 15 percent die in the hospital and as many as 20 percent suffer severe, permanent brain damage. Of all preschoolers who drown, 70 percent are in the care of one or both parents at the time of the drowning and 75 percent are missing from sight for five minutes or less. Drowning surpasses all other causes of death to children age 14 and under in Arizona, California, Florida, Hawaii, Montana, Nevada, Oregon, Utah and Washington.

**A pool alarm with a loud speaker system to sound outside as well as inside the home could save a life. Even if you do not have children you should be concerned. 35% of children that drowned did so in someone else's pool. For more info, do an Internet search on pool safety or visit this website:
http://www.ihf.org/foryourhealth/article_children.html**

WINDSTORM MITIGATION

Information only about items noticed that may affect the windstorm mitigation inspection. This is optional and for information purposes only