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ALTO HOME INSPECTION, LLC

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Buyer Name
03/05/2019 9:00AM



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SCOPE OF THE INSPECTION:

Alto Home Inspection, LLC endeavours to perform all inspections in compliance with the New York State Home Inspector Standards of Practice, and as detailed within the preinspection agreement. As such, we inspect the readily accessible, visually observable, installed systems and components of a home. This report contains observations of those systems and components that, in the professional judgement of the inspector, are not functioning properly, significantly deficient, unsafe, or are near the end of their service lives. If the cause for the deficiency is not readily apparent, the suspected cause or reason why the system or component is at or near end of expected service life is reported, and recommendations for correction or monitoring are made as appropriate.

USE OF PHOTOS:

Your report includes many photographs. Some pictures are informational and of a general view, to help you understand where the inspector has been, what was looked at and the condition of the item or area at the time of the inspection. Some of the pictures may be of problem areas, these are to help you better understand what is documented in this report and to help you see areas or items that you normally would not see. Not all problem areas or conditions will be supported with photos.

CATEGORIES:

This report divides deficiencies into three categories; Maintenance Items (colored in blue), Recommendations (in orange), and Significant Defects (in red).

MAINTENANCE ITEMS: Include components that were found to be in need of recurring or basic general maintenance to protect either a the component or the occupants. Also included in this section are items that were beginning to show signs of wear, but were, in the opinion of the inspector, still functional at the time of inspection. Typically these items are considered to represent a less significant immediate cost than those listed in the following two categories.

RECOMMENDATIONS: Include comments of a deficiency, a latent defect or a suggested improvement of a system which may have appeared functional at the time of inspection, however some benefit may be achieved by adhering to the recommendation.

SIGNIFICANT DEFECTS: Will denote a brief comment of a significantly deficient component or a condition which, will require a relatively short term correction and/or expense. These will typically fall into one of the following four categories:

1. Major defects. An example of this would be a structural failure.
2. Things that may lead to major defects, such as a small roof-flashing leak, for example.
3. Things that may hinder your ability to finance, legally occupy, or insure the home
4. Safety hazards

This categorization is the opinion of the inspector and is based on what was observed at the time of inspection. It is not intended to imply that items documented in any one category are not in need of correction. Maintenance items or latent defects left

unrepaired can soon become significant defects. It should be considered very likely there will be other issues you personally may consider deficient, and you should add these as desired. There may also be defects that you feel belong in a different category, and again, you should feel free to consider the importance you believe they hold and act accordingly.

Please review the report in its entirety. It is ultimately up to your discretion to interpret its findings and to act accordingly. This report does not offer an opinion as to whom among the parties to this transaction should take responsibility for addressing any of these concerns. As with all aspects of your transaction, you should consult with your real estate agent for further advice regarding the contents of this report.

SUMMARY

- 🔧 2.6.1 Grounds - Stairs: handrail missing
- 🚫 3.1.1 Exterior - Siding, Flashing & Trim: seal gap in siding
- 🔧 3.1.2 Exterior - Siding, Flashing & Trim: Damaged siding
- 🚫 3.1.3 Exterior - Siding, Flashing & Trim: Non-functional item
- 🔧 3.7.1 Exterior - Gas service entrance: Rusted gas piping
- 🔧 3.7.2 Exterior - Gas service entrance: Cracked sealant
- ⚠️ 5.3.1 Garage - Occupant Door (From garage to inside of home): NOT SELF-CLOSING
- 🔧 5.6.1 Garage - Garage Floor: Spalling
- ⚠️ 6.4.1 Kitchen - Sink(s), Faucet(s), Sprayer & Drain: Handle direction reversed
- 🔧 6.5.1 Kitchen - Cabinets & Countertops: hinges not operating properly
- 🔧 7.2.1 Laundry Area - Cabinets & Countertop: Damaged hinge
- 🚫 7.4.1 Laundry Area - Visible Plumbing: active leak
- 🚫 7.4.2 Laundry Area - Visible Plumbing: replace flexible supply line
- 🔧 8.1.1 Bathroom(s) - Ventilation: ventilation fan noisy
- 🚫 8.2.1 Bathroom(s) - Sink(s): Slow drain
- 🔧 8.3.1 Bathroom(s) - Visible Bathroom Plumbing: Replace flexible supply hoses
- 🔧 8.6.1 Bathroom(s) - Toilet(s): replace flexible supply line
- 🚫 8.6.2 Bathroom(s) - Toilet(s): toilet loose
- 🚫 9.4.1 Interior - Steps, Stairways & Railings: loose handrail
- 🔧 9.4.2 Interior - Steps, Stairways & Railings: handrail returns missing
- 🚫 9.4.3 Interior - Steps, Stairways & Railings: missing stairway lighting
- 🔧 10.1.1 Attic & Roof Structure - Attic Access: access hatch missing insulation
- 🚫 10.2.1 Attic & Roof Structure - Attic Ventilation: insufficient attic ventilation
- 🚫 10.4.1 Attic & Roof Structure - Attic Insulation & Air Leakage: Microbial growth
- 🔧 11.5.1 Heating & Cooling - Forced-Air Furnace: Condensation leak
- 🔧 11.5.2 Heating & Cooling - Forced-Air Furnace: Cover furnace openings
- 🔧 14.2.1 Electrical - Main Panel/Service Equipment: missing panel screws
- ⚠️ 14.3.1 Electrical - Distribution Panel/Sub-Panel: Ground wire installed on neutral bus in subpanel
- 🚫 14.3.2 Electrical - Distribution Panel/Sub-Panel: Uncapped and exposed wiring
- 🔧 14.6.1 Electrical - Branch Wiring: Broken cover
- 🚫 14.7.1 Electrical - Receptacles: cover plate(s) damaged
- ⚠️ 14.8.1 Electrical - GFCI Protection: GFCI Protection Missing in Bathroom
- 🚫 14.9.1 Electrical - Switches, Lights: Loose fixture

1: INSPECTION OVERVIEW

Information

In Attendance

Client(s)

Occupancy

Furnished, Occupied

Type of Residence

Single-Family

**Year of Construction
(approximate)**

2001

**Temperature at Time of
Inspection**

10-20 Degrees Farenheit

Weather Conditions

Cloudy

Ground Condition

Snow Covered

Orientation

For the purposes of this inspection, the front of the home will be considered as the portion pictured in the cover photo. References to the left of right of the home should be construed as standing in the front yard, viewing the front of the home.

2: GROUNDS

Information

Driveway and Walkway

Condition: Driveway Material

Concrete

Driveway and Walkway

Condition: Walkway Material

Concrete

Grading and Lot Drainage:

Grading Types

Positive Grading (slopes away from structure, Flat Grading

Retaining Wall(s): Retaining Wall

Material (visible areas)

Concrete Blocks, Poured

Concrete

Limited Inspection of Grounds - Snow or Ice Covering

Snow or ice were covering significant portions of the home's exterior grounds, including the driveway, walkways, grounds, decks, porches, patios and stairs. Inspection of these areas was limited. It is recommended that these areas are reinspected after snow or ice fully melt, and critical areas such as surface grading, walkway and stairs are given particular attention.

Driveway and Walkway Condition: Driveway & Walkway Information

The driveways and any walkways were inspected to determine their overall condition, including the presence of significant and visible cracking, damage or safety concerns. No deficiencies were observed at the time of inspection unless otherwise noted in this report.

Grading and Lot Drainage: Grading & Surface Grading Limitation - Snow Covered

The inspection of the lot's grading and surface grading was limited due to snow covering the ground. It is recommended that the lot is inspected at a time when snow has fully melted in order to determine if grading and drainage are appropriate.

Retaining Wall(s): Retaining Wall Information

Retaining walls are inspected in terms of general condition. The structural integrity or load bearing capacities of retaining walls are beyond the scope of a home inspection. No deficiencies were observed in the retaining walls unless otherwise noted in this report.

Vegetation Observations: Vegetation Information

Vegetation was examined around the home to ensure that it had adequate clearance from the structure, and was not impacting the structure. No deficiencies were observed unless otherwise noted in this report.

Decks, Porches & Patios: Deck, Porch & Patio Information

The deck, porches or patios were inspected for overall condition, including visually apparent water related damage, construction related deficiencies, and safety hazards. Exterior stairs were inspected by examining their construction, attachment, risers and treads, applicable railings, etc. No deficiencies were observed at the time of inspection unless otherwise noted in this report.

Stairs: Outside Stairs Information

The stairs were inspected by looking at their construction, attachment, risers and treads, applicable railings, etc. No deficiencies were observed at the time of inspection unless otherwise noted in this report.



Observations

2.6.1 Stairs

HANDRAIL MISSING

BACK SIDE OF HOME

For safety purposes, it is recommended to have stairway handrails on both the left and right sides. To improve safety, add a handrail to the left side.

Recommendation

Contact a qualified deck contractor.



3: EXTERIOR

Information

Siding, Flashing & Trim: Siding Material

Vinyl, Stone Veneer

Window Exteriors: Window Covering Material

Vinyl

Exterior Door(s): Door Material

Fiberglass, Aluminum

Electrical Service Entrance: Service Entrance Type

Underground Service Lateral

Outdoor Faucets: Exterior faucets not tested

Due to freezing temperatures, exterior water faucets were not tested.

Exterior Limitations

A representative sample of exterior components were inspected rather than every occurrence of components. When present, seasonal accessories, recreational facilities, outbuildings and fences are not inspected unless specifically agreed upon and documented in this report. A home inspection does not include an assessment of geological, geotechnical, or hydrological conditions or environmental hazards.

Siding, Flashing & Trim: Wall & Siding Information

The exterior walls and siding were inspected looking for significant damage, presence of proper flashing, and potential water entry points. No deficiencies were visibly present at the time of inspection unless otherwise noted in this report.

Window Exteriors: Window Information

The exterior portions of the windows were inspected for damage and other visible conditions. No reportable deficiencies were observed at the time of inspection unless otherwise noted in this report.

Exterior Door(s): Door Information

All exterior doors were inspected by looking for damage, deficiencies with their operation, etc. No reportable deficiencies were observed at the time of inspection unless otherwise noted in this report.

Eaves, Soffit & Fascia: Eaves, Soffit & Fascia Information

The eaves, soffit and fascia were inspected at visible portions looking for any water damage or other significant defects. No conditions were observed at the time of inspection unless otherwise noted in this report.

Observations

3.1.1 Siding, Flashing & Trim



Recommendation

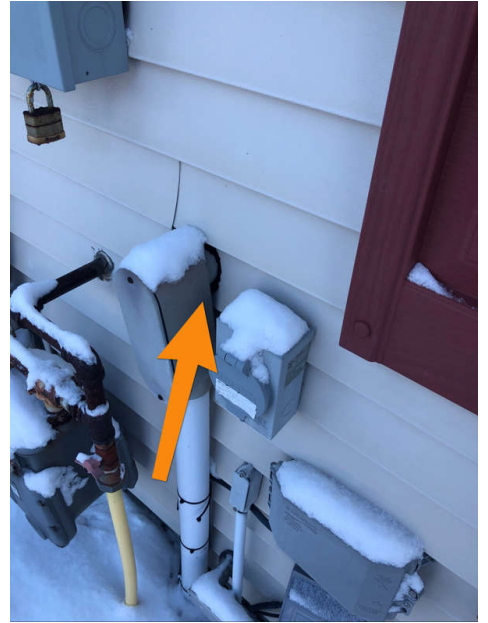
SEAL GAP IN SIDING

RIGHT SIDE OF HOME

Gaps in the siding were observed which were not properly sealed. It is recommended that these gaps are properly sealed in order to prevent moisture intrusion and damage to underlying building materials.

Recommendation

Contact a qualified siding specialist.



3.1.2 Siding, Flashing & Trim

DAMAGED SIDING

Recommendation

Contact a qualified professional.



3.1.3 Siding, Flashing & Trim

NON-FUNCTIONAL ITEM

RIGHT SIDE OF HOME

Recommendation

Contact a qualified professional.



3.7.1 Gas service entrance

RUSTED GAS PIPING

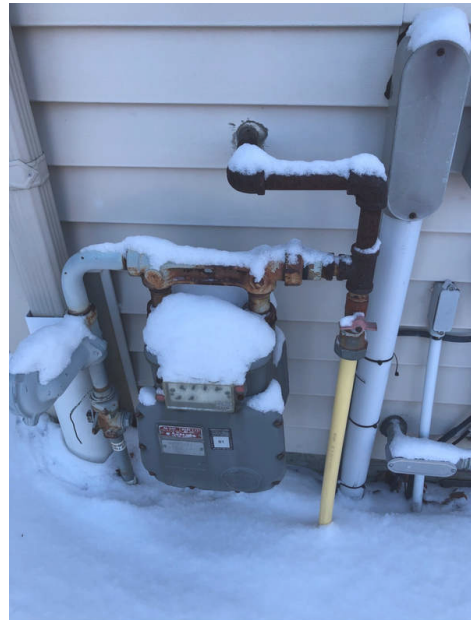
RIGHT SIDE OF HOME



Rust was present on the exterior gas piping that services the home. Have a plumber replace this piping, it is recommended that paint is touched up annually to help prevent future rust on new piping.

Recommendation

Contact a qualified plumbing contractor.



3.7.2 Gas service entrance

 Maintenance Item

CRACKED SEALANT

RIGHT SIDE OF HOME

Cracked sealant was present at the exterior wall penetration where the gas line piping enters the home. This sealant will further disintegrate and may provide an access path for insects and rodents.

This sealant should be removed and replaced with an appropriate product.

Recommendation

Contact a handyman or DIY project



4: ROOF

Information

Method of Inspection

Roof Fully Covered With Snow -
Not Inspected

Vents & Protrusions: Vent

Type(s)
Plumbing Stack Vent(s)

Flashings: Observed Flashing

Types
Aluminum

Vents & Protrusions: Vents Information

The plumbing stack vents, their related rain boots, and other roof penetrations were inspected by looking at their clearance, the integrity of their boots, for proper installation, or any significant defects. No significant conditions were observed at the time of inspection unless otherwise noted in this report.

Gutters & Downspouts: Gutters Information

The gutters were inspected for proper attachment, debris in the channel, standing water and damage. Leaking gutters can not be diagnosed if an active rain was not occurring at the time of inspection, and if leaks are noticed after taking ownership of the home, sealing may be needed at seams or end caps. No deficiencies were visibly present observed at the time of inspection unless otherwise noted in this report.

Gutters & Downspouts: Downspouts Information

The downspouts were inspected to ensure they were diverting rainwater away from the foundation walls. Testing for blockages in downspouts or drainpipes is beyond the scope of a home inspection, as is locating their termination point. No deficiencies were present at visible portions at the time of inspection, unless otherwise noted in this report.

Gutters & Downspouts: Gutter Maintenance is Suggested

It would be a good idea to clean debris from the gutters to prevent downspouts from clogging. Clogs in downspouts can allow the gutters to overflow; damaging roof sheathing, fascia boards, and saturating grounds at the foundation.

Flashings: Flashing Information

Visible portions of the flashings were inspected for installation related deficiencies or damage (drip edge, sidewall). Typically most areas of flashings are not visible as they are covered by the roof covering material, and therefore functionality has to be determined by looking for moisture intrusion on the sheathing in the attic, or ceilings where the flashing was presumed to be in place. No deficiencies were observed at visible portions, at the time of inspection, unless otherwise noted in this report.

5: GARAGE

Information

Garage View(s)



Garage Door(s): Garage Door Type(s)
Steel

Garage Door(s): Opener Drive Type
Belt Drive

Ceiling/Framing: Ceiling Material Walls: Visible Wall Material(s)

Drywall

Drywall

Garage Area to Living Space Separation Information

Current building standards for homes require "garage to living space separation". This separation helps to slow a garage fire and to help prevent carbon monoxide gas from entering living areas. This is achieved by the installation of a steel or solid wood door between the garage and living areas measuring no less than 1 3/8" thick, or a 20 minute fire rated door. The walls require the installation of 1/2" drywall, and the installation of 5/8" Type X drywall on the ceiling (if living areas are overhead). No protrusions should be present on the walls and/or ceiling in the area unless properly sealed with an approved sealant. These upgrades are recommended for safety if not present, and a qualified contractor can be consulted for more information.

Garage Door(s): Garage Door Information

The garage door(s) were tested by operating the wall mounted transmitter and checking for proper operation. The door(s) were examined for significant damage or installation-related deficiencies. The rollers, brackets, door panels, springs, and tracks were inspected for damage or loose components. No significant conditions were observed at the time of inspection unless otherwise noted in this report.

No significant conditions were observed at the time of inspection unless otherwise noted in this report.

Garage Door(s): Garage Door Opener Information

The garage door opener(s) were inspected by depressing the wall mounted transmitter and observing the openers functionality (remote transmitters are not tested). No reportable conditions were present at the time of inspection unless otherwise noted in this report.

Garage Door Opener(s) & Safety: Eye Beam(s) Information

The safety eye beam(s) were inspected by closing the garage door and breaking the path of the eye beam(s) to ensure the door auto-reversed properly. The system was functional unless otherwise noted in this report.

Garage Door Opener(s) & Safety: Resistance Auto-Reverse Not Tested

The "Resistance" test of the garage door(s) was not conducted due to the possibility of damaging the door and/or the opener, should the resistance feature not function properly.

Garage doors contain two safety measures to prevent someone from being injured or pinned by a closing garage door. Photoelectric eyes, and the ability to auto reverse, if the door meets resistance or a solid object. I recommend testing this feature for functionality once taking ownership of the home. The test can be conducted by placing a 2" X 4" laid on the ground, underneath of the door. When the door is closed, it should contact the 2" X 4", and auto-reverse. If it does not, adjustments to the "force close" setting on the opener may need to be made, and/or a garage door contractor should evaluate.

Occupant Door (From garage to inside of home): Interior Garage Door Information

The door between the garage and living areas was in satisfactory condition at the time of inspection. Current safety standards require for these doors to be comprised of steel or solid wood measuring at least 1 3/8" thick for proper garage to living space separation. These doors built on homes prior to 2006 (dependent on local municipality) may not meet these standards and may be upgraded as desired for safety. No reportable conditions were present at the time of inspection unless otherwise noted in this report.

Ceiling/Framing: Ceiling Information

The ceiling area was inspected looking for indications of leaks or other deficiencies. No notable conditions were present at the time of inspection unless otherwise noted in this report.

Ceiling/Framing: Ceiling Information - Separation

The framing in the garage is required to be covered with a 5/8" type X drywall if living areas are overhead and the home was constructed after 2006 (year dependent on local municipality). Confirmation of the proper drywall is not possible in a "visual only home inspection", but the presence of drywall will be reported on. Homes built prior to 2006 were not required to meet these requirements but upgrading to proper drywall is recommended as desired for safety.

Walls: Walls Information

Garage walls were inspected for overall condition, including integrity of wall coverings, visible leaks and other damage. No deficiencies were observed at visible portions unless otherwise noted in this report.

Garage Floor: Slab Information

Visible portions of the concrete slab were inspected for significant deficiencies and significant cracking. No significant conditions were visible at the time of inspection unless otherwise noted in this report.

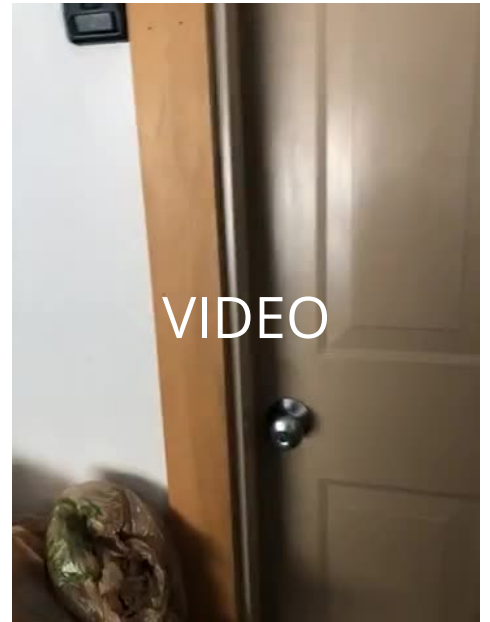
Observations

5.3.1 Occupant Door (From garage to inside of home)



NOT SELF-CLOSING

Door from garage to home should have self-closing hinges to help prevent spread of a fire to living space. Recommend a qualified contractor install self-closing hinges.



5.6.1 Garage Floor



SPALLING

The garage floor concrete showed signs of spalling, which commonly occurs in older concrete when exposed to frequent moisture and road salt. If desired, this section of concrete can be removed and replaced.

Recommendation

Contact a qualified concrete contractor.



6: KITCHEN

Information

Kitchen View



Oven/Range/Cooktop: Energy Source
Gas

Exhaust Fan: Fan Type
Vent Hood Direct Vent

Dishwasher: Dishwasher In Operation By Homeowner

The dishwasher in use by the homeowner and was not tested. The surrounding area was inspected for leaks, however. Any leaks will identified within this report.

Oven/Range/Cooktop: Heating Elements Information

All of the heating elements on the range were turned on, and were functional at the time of inspection. No indications of deficiencies were observed unless otherwise noted in this report.

Oven/Range/Cooktop: Oven Information

The oven was operated by placing into "bake" mode, and heat was produced from the element(s). Other oven modes were not tested. No indications of deficiencies were observed at the time of inspection, unless otherwise noted in this report.

Exhaust Fan: Exhaust Fan Information

The kitchen exhaust fan was inspected to determine it responded to normal operating controls. No deficiencies were observed unless noted elsewhere in this report.

Sink(s), Faucet(s), Sprayer & Drain: Kitchen Sink Information

The kitchen sink was inspected by operating the faucet, sprayer (if present), and drain. No significant conditions were observed at the time of inspection unless otherwise noted in this report.

Cabinets & Countertops: Cabinet & Countertop Information

The cabinets and counter tops were inspected for significant damage and by testing a representative number of doors and drawers for their operation. No conditions were visible at the time of inspection unless otherwise noted in this report.

Visible Kitchen Plumbing: Kitchen Visible Plumbing Information

The supply and drain pipes were inspected looking for leaks, improper installation, and other deficiencies. No reportable conditions were observed at the time of inspection unless otherwise noted in this report.

Observations

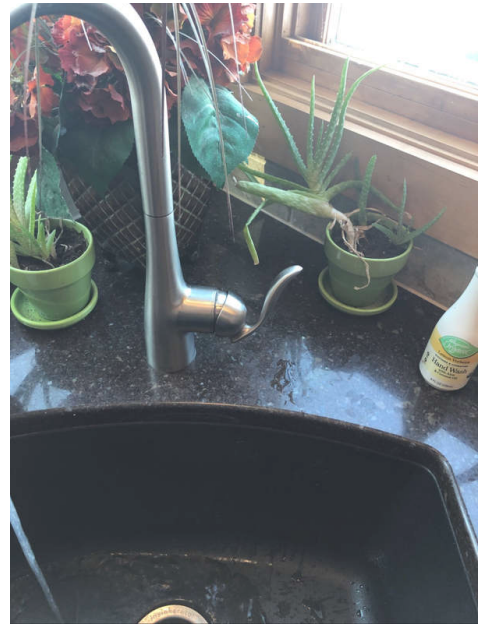
6.4.1 Sink(s), Faucet(s), Sprayer & Drain
HANDLE DIRECTION REVERSED



The kitchen sink faucet handle was installed so that hot water is produced when the handle is pulled toward the operator. This presents a safety concern for small children who are able to reach the handle, and may expect cool water to be produced. Typically the faucet can be reconfigured by a plumber at low cost.

Recommendation

Contact a qualified plumbing contractor.



6.5.1 Cabinets & Countertops

HINGES NOT OPERATING PROPERLY



Maintenance Item

The hinges on at least one kitchen cabinet door are not operating properly. Most likely, they have suffered an internal break and need to be replaced.

Recommendation

Contact a handyman or DIY project



7: LAUNDRY AREA

Information

Dryer Energy Source

Gas

Laundry View



Dryer Vent: Dryer Vent

Termination Point

Exterior

Dryer Vent: Dryer Vent Information

The dryer vent was inspected to ensure that it terminated to the exterior of the home, that the ducting material is appropriate, and that no damage was present at visible portions. No deficiencies with the dryer vent were visible unless otherwise noted in this report.

Cabinets & Countertop: Laundry Cabinet & Countertop Information

Any laundry room cabinets and counter tops were inspected for significant damage and by testing a representative number of doors and drawers for their operation. No conditions were visible at the time of inspection unless otherwise noted in this report.

Wash Basin: Wash Basin Information

The wash basin was inspected by operating the faucet and faucet valves looking for deficiencies or leaks. No deficiencies were observed at the time of inspection unless otherwise noted in this report.

Visible Plumbing: Laundry Room Visible Plumbing Information

The laundry room supply and drain pipes, including for the washing machine and under the wash basin (if present) were inspected for leaks, improper installation, and other deficiencies. Washing machine supply valves and drain functionality are not operated during the inspection. No significant conditions were observed at the time of inspection unless otherwise noted in this report.

Observations

7.2.1 Cabinets & Countertop

DAMAGED HINGE



Maintenance Item

A cabinet hinge is not allowing a door to completely close. This is a common problem with certain hinges and may be remedied by replacing the hinge.

Recommendation

Contact a handyman or DIY project



7.4.1 Visible Plumbing

 Recommendation

ACTIVE LEAK

1ST FLOOR

An active leak in the exposed plumbing under the laundry sink was observed.

Recommendation

Contact a qualified plumbing contractor.



VIDEO

7.4.2 Visible Plumbing

 Recommendation

REPLACE FLEXIBLE SUPPLY LINE

Burst flexible water supply lines that connect faucets, toilets, laundry washing machines and dishwashers to the home's plumbing system are a large cause of water damage to homes. Over time, the rubber in these becomes brittle, and the stainless steel that reinforces the rubber in certain types loses its integrity because of corrosion. It is recommended that these supply lines are replaced, unless it can be confirmed that they are less than five years old.

Recommendation

Contact a qualified plumbing contractor.



8: BATHROOM(S)

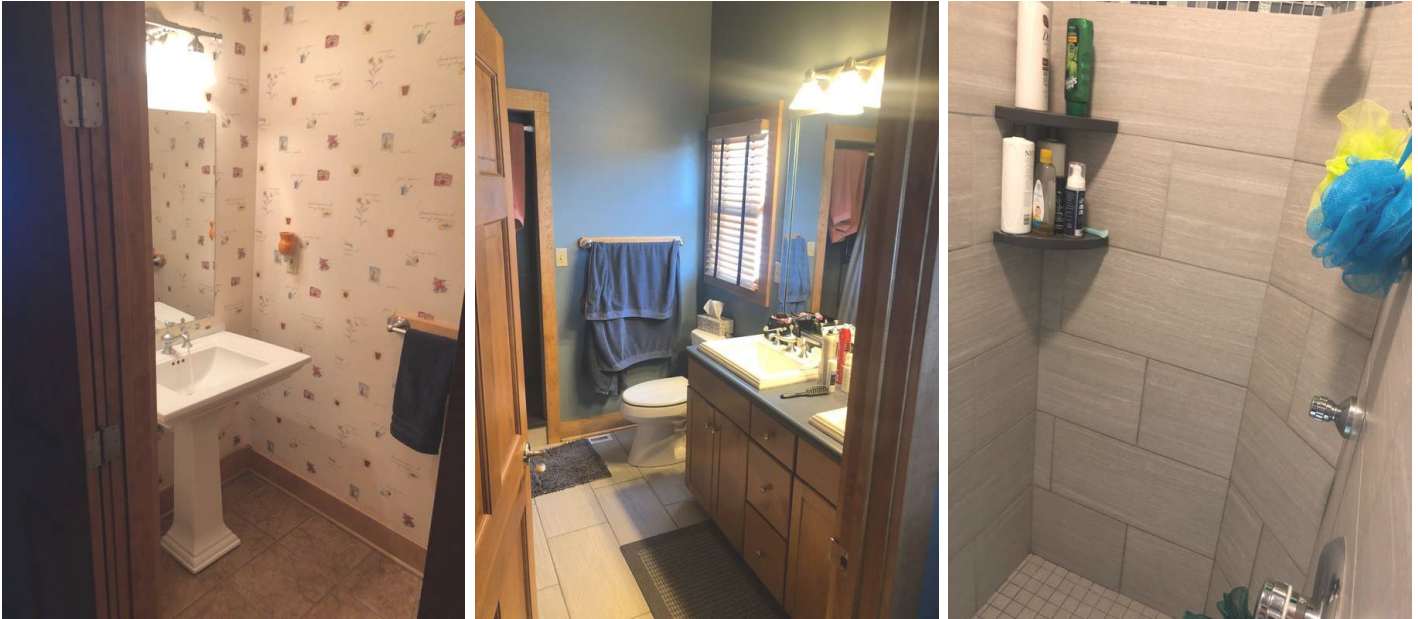
Information

Ventilation: Ventilation

Source(s)

Ventilation Fan(s)

Bathroom View(s)



Shower Pan Limitations

Showers are operated as normal and attempts are not made to perform an exhaustive fill test of shower pans as such a test may subject the home to water damage, should a problem be uncovered. Such a test would involve filling the shower pan with 1-2" of water. Testing during the home inspection involves running the shower for a short duration, and checking the area near and under the shower for visible evidence of leaks.

Tub and Shower Drain Information

Water was run through the drains of tubs and showers for a reasonable period of time, and the areas under these drains (if accessible) were then inspected for indications of leaks. No leaks were observed at the time of inspection unless otherwise noted in this report. Be aware that when showering or bathing the forces from weight can put strain on gaskets or joints on the drain pipes that can possibly result in leaking, this can be even more likely if the home has been vacant for an extended period of time.

Tub and Sink Overflow Limitation

Tub and sink overflows are not tested for functionality due to the possibility that gaskets will leak. Care should be exercised in filling tubs to not allow water into the overflow. While they will likely drain away the bulk of water, some amount of leaking should be anticipated.

Ventilation: Ventilation Information

The bathroom ventilation is reported on by its source. Windows or ventilation fans are acceptable forms of ventilation for bathrooms containing a tub or shower. If fans are present they will be tested by operating the switch and listening for proper air flow. Although windows in a bathroom can substitute for a fan, a fan is considered ideal. Any deficiencies observed with the ventilation will be noted within this report.

Sink(s): Sink Information

The bathroom sinks were inspected by operating the faucet water valves and checking for proper flow and drainage, looking for leaks, operating pop-ups, etc. No reportable conditions were observed at the time of inspection unless otherwise noted in this report.

Visible Bathroom Plumbing: Sink Plumbing Information

The visible portions of the sink plumbing were inspected by running water through the drain pipe and looking for leaks from the drain pipe and trap assembly, water supply lines, and areas underneath of the sink area. No significant conditions were observed unless otherwise noted in this report.

Mirror(s): Mirror Information

The bathroom mirror(s) were inspected looking at their attachment to the wall and for any damage. No reportable conditions were present at the time of inspection unless otherwise noted in this report.

Cabinets and Countertops: Cabinet(s) & Countertop(s) Information

The cabinets and countertops were inspected for significant problems. No deficiencies were observed at the time of inspection unless otherwise noted in this report.

Toilet(s): Toilet Information

The toilets were inspected by determining if they appeared to flush adequately and by examining them for leaks, presents of a shut-off valve, and for adequate attachment to the floor. No deficiencies were observed at the time of inspection unless otherwise noted in this report.

Bathtub(s) & Showers: Shower Information

Shower(s) and bathtub(s) were inspected by operating water valves and ensuring proper flow and drainage were present, looking for leaks, and/or any significant defects. No visible deficiencies were present at the time of inspection unless otherwise noted in this report.

Observations

8.1.1 Ventilation



Maintenance Item

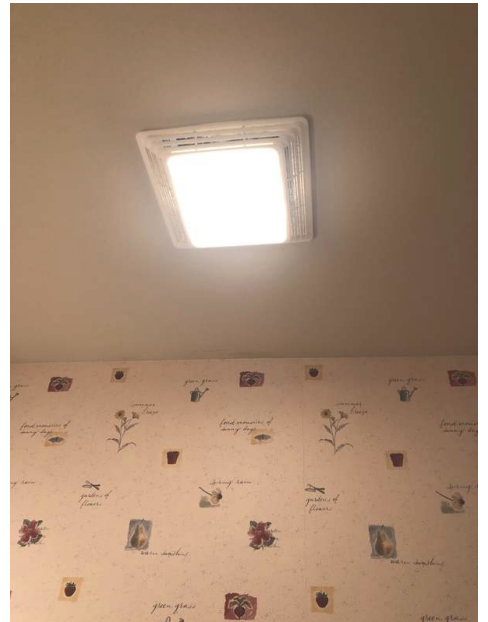
VENTILATION FAN NOISY

1ST FLOOR

A bathroom ventilation fan operated, but produced noise that is not typical. Replace the fan or motor to alleviate this concern.

Recommendation

Contact a qualified electrical contractor.



8.2.1 Sink(s)



Recommendation

SLOW DRAIN

2ND FLOOR

A bathroom sink drained slowly. Most likely, the drain needs to be cleaned.

Recommendation

Contact a qualified plumbing contractor.



8.3.1 Visible Bathroom Plumbing

REPLACE FLEXIBLE SUPPLY HOSES

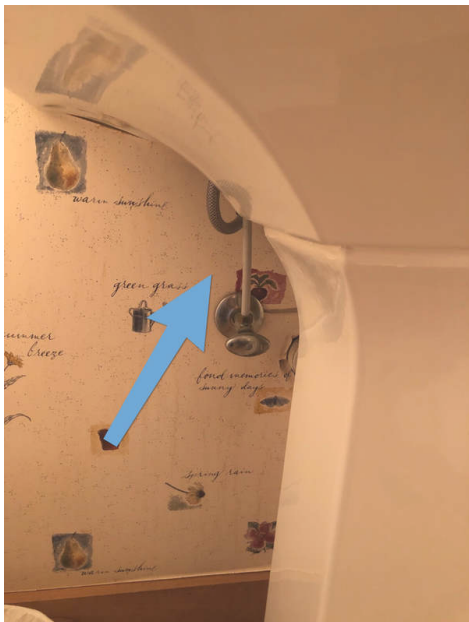
1ST FLOOR MASTER BATHROOM



Flexible rubber supply lines were used to connect water service to the faucet. This type of line is known to burst without warning, and can lead to significant water damage. Replace these lines with braided stainless steel ones, which are stronger and less likely to burst.

Recommendation

Contact a qualified plumbing contractor.



8.6.1 Toilet(s)

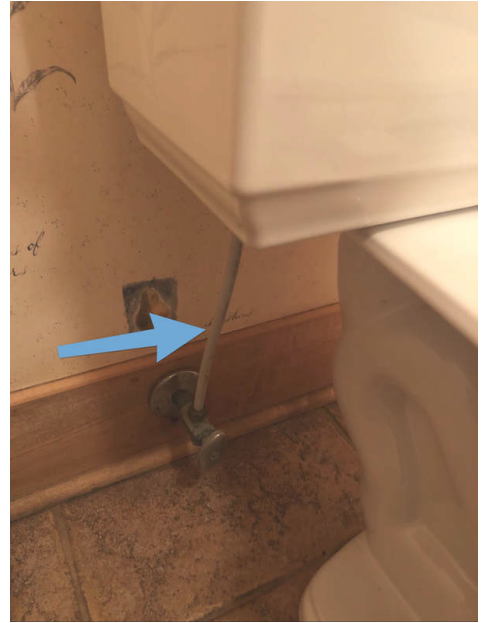
REPLACE FLEXIBLE SUPPLY LINE



Burst flexible water supply lines that connect faucets, toilets, laundry washing machines and dishwashers to the home's plumbing system are a large cause of water damage to homes. Over time, the rubber in these becomes brittle, and the stainless steel that reinforces the rubber in certain types loses its integrity because of corrosion. It is recommended that these supply lines are replaced, unless it can be confirmed that they are less than five years old.

Recommendation

Contact a qualified plumbing contractor.



8.6.2 Toilet(s)

TOILET LOOSE

2ND FLOOR

A toilet was loosely attached to the floor. Generally, tightening the floor bolts will correct this condition.

Recommendation

Contact a handyman or DIY project



9: INTERIOR

Information

Smoke Alarms: Smoke Alarms Present at All Recommended Locations?

Yes

CO Detectors: CO Alarms Present at All Recommended Locations?

Yes

Wall, Ceiling & Floor Surfaces: Ceiling Material(s)

Drywall

Wall, Ceiling & Floor Surfaces: Floor Covering Material

Carpet, Ceramic Tile, Hardwood

Wall, Ceiling & Floor Surfaces: Wall Material(s)

Drywall

Door Bell: Doorbell Information

The doorbell was tested by depressing the button and listening for a chime. No indications of deficiencies were observed at the time of inspection unless otherwise noted in this report.

Smoke Alarms: Smoke Alarm Information

Smoke alarms are not tested as part of the home inspection, however recommended locations are checked for the presence or absence of them. Smoke alarms are recommended for each sleeping room and (1) outside of each sleeping room(s), and one per level including habitable attics and basements. Testing the smoke alarms before spending your first night in the home, and monthly thereafter is recommended. Several other recommendations relating to smoke alarms and fire safety are recommended by the National Fire Protection Association, a non-profit organization.

<http://www.nfpa.org/public-education/by-topic/smoke-alarms/installing-and-maintaining-smoke-alarms>

CO Detectors: CO Alarm Information

Carbon monoxide (CO) is a colorless, odorless toxic gas produced by fuel-fired appliances during the combustion process. This gas is especially dangerous because its presence can only be detected by specialized instruments. You can't see it or smell it. Inefficient combustion, such as that caused by automobiles, furnaces, boilers or wood stoves with components that are dirty or out of adjustment can create elevated levels of carbon monoxide in exhaust gasses. Carbon monoxide can cause sickness, debilitating injury, and even death.

CO detectors are recommended to be installed outside of each sleeping area, in the area(s) of any gas appliances, and any fireplace(s). CO alarms are recommended if any gas appliances are present in the home or if the home contains a garage. More information about CO detectors and recommendations can be found here:

<https://www.nfpa.org/Public-Education/By-topic/Fire-and-life-safety-equipment/Carbon-monoxide>

Steps, Stairways & Railings: Steps, Stairways & Railings Information

Steps, stairway(s) and railings were inspected for overall integrity, appropriate rise, run, nosing, railing and balusters. No significant conditions were observed, unless otherwise noted in this report.

Windows: Window Information

Windows were inspected by operating a representative number. Their operation was tested, along with inspecting for damage, broken glass, failed seals, etc. No reportable deficiencies were present unless otherwise noted in this report.

Closets: Closets Information

The closets were inspected by testing the operation of their doors and looking for significant defects. No reportable conditions were visibly present at the time of inspection unless otherwise noted in this report.

Interior Doors: Interior Doors Information

A representative number of interior doors were inspected by operating them ensuring that they opened and closed properly, as well as latched properly without binding. No significant conditions were present at the time of inspection unless otherwise noted in this report.

Wall, Ceiling & Floor Surfaces: Surfaces Information

Visible portions of the interior wall, floor, and ceiling surfaces were inspected for indications of moisture intrusion, settlement, or other significant defects. Cosmetic and minor deficiencies are not typically reported on, but may be noted while looking for significant defects. Any listing of these items should not be construed as an all-inclusive listing. No reportable conditions were observed at the time of inspection unless otherwise noted in this report.

Wall, Ceiling & Floor Surfaces: Floors Information

Visible portions of the floors throughout the home were inspected for significant deficiencies. No significant conditions were observed at the time of inspection unless otherwise noted in this report.

Wall, Ceiling & Floor Surfaces: Ceilings Information

The ceilings throughout the home were inspected looking for staining due to roof leaks or leaking plumbing pipes. Settlement cracks, and significant defects were also inspected for. No reportable conditions or potential moisture stains were visible at the time of inspection unless otherwise noted in this report.

Wall, Ceiling & Floor Surfaces: Walls Information

Visible portions of the interior walls were inspected looking for signs of moisture infiltration, settlement cracking, significant damage, or other significant deficiencies. No significant deficiencies were observed at the time of inspection unless otherwise noted in this report.

Observations

9.4.1 Steps, Stairways & Railings



LOOSE HANDRAIL

The railing at the loft area moved more than expected when shaken. It is recommended to bolster the strength of the handrail in order to better protect small children from potentially breaking the railing.



Recommendation
Contact a qualified carpenter.

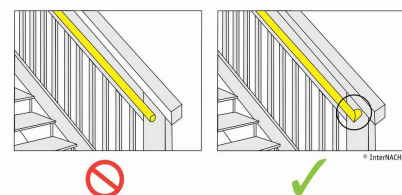
9.4.2 Steps, Stairways & Railings



HANDRAIL RETURNS MISSING

BASEMENT

For safety purposes, it is recommended that stair handrails end at the wall instead of in free air. Engage a carpenter to discuss options for making this safety improvement.



Recommendation
Contact a qualified carpenter.

9.4.3 Steps, Stairways & Railings

MISSING STAIRWAY LIGHTING

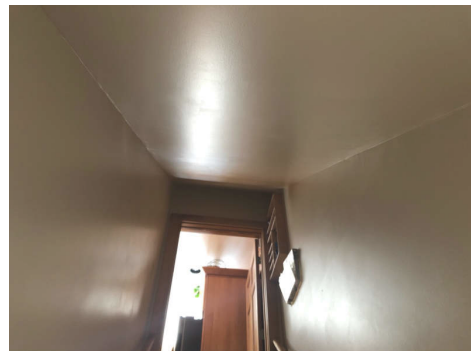
BASEMENT

Recommendation

Contact a qualified professional.



Recommendation



10: ATTIC & ROOF STRUCTURE

Information

Attic Access: Access

Accessed via Ladder at Ceiling Hatch

Attic Access: Inspection Method

Walked or Crawled Where Possible

Attic Ventilation: Ventilation Type(s)

Ridge Vents, Soffit Vents

Roof Structure: Roof Structure Type(s)

Rafters, Plywood Sheathing

Attic Insulation & Air Leakage: Insulation Type

Fiberglass Batts

Attic Insulation & Air Leakage: Insulation Depth (approximate)

5-9"

Attic Views



Attic Access: Attic Access Hatch Information

Any attic access hatches were inspected by examining their location and type, as well as looking for any significant defects in association with the access. No adverse conditions were observed at the time of inspection unless otherwise noted in this report.

Attic Ventilation: Ventilation Information

The attic ventilation was inspected for appropriate ventilation sources and for indications of improper ventilation. Measurements of ventilation sources are beyond the scope of a home inspection and were not conducted. No indications of inadequate ventilation were observed at the time of inspection unless otherwise noted in this report.

Roof Structure: Roof Structure Information

The roof structure was inspected at visible portions for signs of moisture infiltration, damage, or other deficiencies. No indications of past or present leaks were observed at the time of inspection unless otherwise noted in this report.

Attic Insulation & Air Leakage: Attic Insulation & Air Leakage Information

The attic was inspected to determine approximate depth and type of insulation, and for visible signs of air leakage from the interior of the home. No deficiencies were observed unless otherwise noted in this report.

Exhaust Vent(s): Exhaust Vent Information

Accessible attic areas are investigated in an attempt to determine if kitchen and bathroom vents are connected to ducting and, ultimately, the outdoors. Venting these spaces directly into the attic may lead to condensation build-up in the attic, as well as unwanted heat escape from the conditioned areas of the home.

Plumbing Vent Stack(s): Vent Stack Information

Visible portions of the plumbing stack vent(s) were inspected for any disconnected portions and the condition of the sheathing or decking surrounding them for indications of past or present leaks. No reportable conditions were present at the time of inspection unless otherwise noted in this report.

Observations

10.1.1 Attic Access



ACCESS HATCH MISSING INSULATION

The attic access was uninsulated. Insulating the access hatch is an easy and inexpensive way to gain heat efficiency in the home.

Recommendation

Contact a qualified handyman.

10.2.1 Attic Ventilation



INSUFFICIENT ATTIC VENTILATION

Ridge and soffit vents were installed in the home, however microbial growth in the underside of the roof sheathing was present. Less than adequate ventilation is a large contributor to microbial growth. Install addition ventilation in the attic, potentially at the gable ends of the roof.

Recommendation

Contact a qualified roofing professional.

10.4.1 Attic Insulation & Air Leakage



MICROBIAL GROWTH

Signs of microbial growth were present. Improving air flow and insulation may reduce the likelihood of this condition worsening. Monitor the area and contact a mold assessment company for evaluation if it remains present.

Recommendation

Contact a qualified mold inspection professional.



11: HEATING & COOLING

Information

Thermostat(s): Location(s)

Living room, Bedroom

Forced-Air Furnace:

Manufacturer

Airquest

Forced-Air Furnace: Rated Heat

Input

Unable to Determine

General Info: HVAC Testing Information

The inspection of the HVAC system is limited to the response of the system at the thermostat in both heating and cooling modes (if available); a visual observation of interior and any exterior equipment, and the removal of any access panels made for removal by a homeowner. If a more thorough inspection is desired, an HVAC contractor should be consulted. If an air conditioning system is present, it will not be tested if the outdoor temperature is at or below 65 degrees Fahrenheit.

General Info: Split System HVAC Present

This home contains a split system for heating and cooling which typically consists of four main parts:

- An Exterior unit (Heat Pump or AC Unit)
- An Interior unit (Electric Air Handler or Gas Furnace)
- Thermostat(s)
- Interior ductwork to distribute conditioned air throughout the home

Thermostat(s): Thermostat Information

Thermostat(s) were operated at the time of inspection only necessary to trigger operation of the heating or cooling system. Advanced thermostat functions such as scheduling features were not tested. Any deficiencies with basic thermostat operation will be noted within this report.

Visible Ductwork & Registers: Register Information

A representative number of registers or radiators were inspected in the home for functionality. Any observable deficiencies will be detailed within this report.

Visible Ductwork & Registers: Ductwork Information - Finished Ceilings

Portions of the ductwork were not visible due to finished ceiling surfaces in the basement. No deficiencies were present at visible portions unless otherwise noted in this report.

Visible Exhaust Pipes: Exhaust Pipe Information

Visible portions of HVAC exhaust piping was inspected to ensure safe installation, proper slope and to determine if corrosion was present. Any concerns in these areas will be noted within this report.

Forced-Air Furnace: Forced Air Furnace Information

The forced-air furnace was inspected visually and tested by ensuring that it responded to normal operating controls at the thermostat, and that heated air was produced. Panels designed to be removed by the homeowner were removed, and exposed parts of the furnace interior were assessed. The unit(s) responded to normal operating controls and no indications of deficiencies were observed at the time of inspection, unless otherwise noted in this report.

Air Conditioner Compressor: Winterized

The air conditioner condenser, the exterior part of the system, has been winterized by a protective blanket. A visual inspection could not be performed.

Observations

11.5.1 Forced-Air Furnace

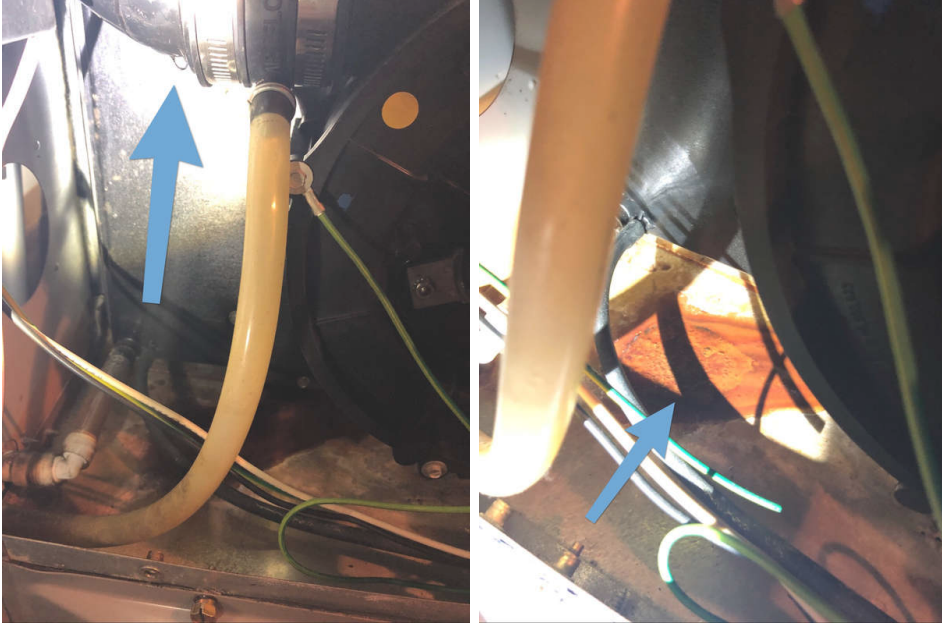
 Maintenance Item

CONDENSATION LEAK

Leaking condensation was observed in the furnace. This may be caused by a clogged condensate line or weak exhaust pipe connections.

Recommendation

Contact a qualified professional.



11.5.2 Forced-Air Furnace

 Maintenance Item

COVER FURNACE OPENINGS

Unused openings were present on the furnace. Cover these openings to prevent dust and vermin from entering the furnace combustion chamber.

Recommendation

Contact a qualified heating and cooling contractor



12: WATER HEATER

Information

Water Heating Condition: Water Heater Location

Basement

Water Heating Condition: System Type

Storage tank

Water Heating Condition: Storage Tank Capacity

50 Gallon



Water Heating Condition: Energy Source

Natural Gas

Water Heating Condition: Manufacturer

A.O. Smith

Water Heating Condition: Exhaust Vent Type

Power Vent

TPR Valve: TPR Valve Information

A TPR valve was in place, however testing it is out of scope of the home inspection. These valves allow the water heater to expel water and pressure if the tank reaches a pressure over 150psi, or the water temperature exceeds 210 degrees. No deficiencies were observed with the valve unless otherwise noted in this report.

Water Pipes: Water Heater Pipes

The visible portions of the water pipes connected to the water heater were inspected for leaks, corrosion and general condition. No deficiencies were observed at the time of inspection unless otherwise noted in this report.

13: PLUMBING

Information

Main Shut-off Valve: Shut-Off Valve Location

Basement

Water Distribution System: Distribution Pipe Material (visible portions)

Copper

Drain, Waste & Vent System: Drain, Waste & Vent Pipe Material (Visible Portions)

PVC

Sump Pit & Pump: Sump Pump Present?

Not at Visible Locations

Water Distribution System: Water Supply

Municipal Supply

Drain, Waste & Vent System: Wastewater System Type

Private Septic System

Functional Flow: Functional Flow?

Yes

Sump Pit & Pump: Location

Basement

Water Distribution System: Service Piping Material (visible portions)

Copper

Drain, Waste & Vent System: Sewer/Septic Lateral Material (Visible Portions)

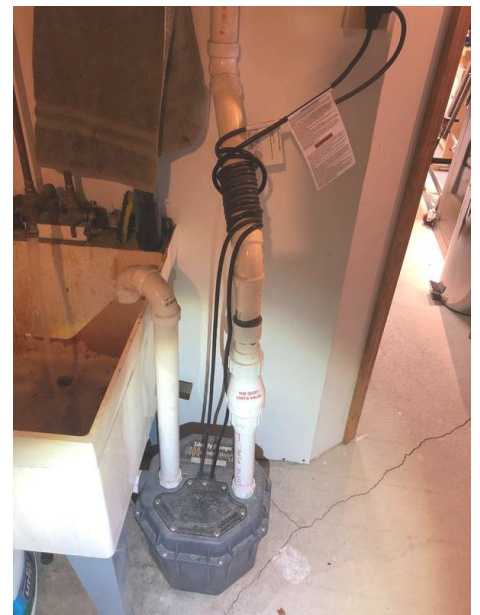
PVC

Functional Drainage: Functional Drainage?

Yes

Waste Water Ejector Pump: Location

Basement



Waste Water Ejector Pump: Pump Present

Fuel Storage and Distribution: Fuel Distribution Type(s) of Piping

Black steel

Fuel Storage and Distribution: Combustible Fuel Type

Natural Gas

Fuel Storage and Distribution: Location of Fuel Shut-off Valve

At Gas Meter on Outside Wall of Home

Main Shut-off Valve: Main Shut-off Information

The shut off valve appeared to be in satisfactory condition at the time of inspection. No deficiencies were observed unless otherwise noted in this report. The valve is not operated to test it's functionality.

Water Distribution System: Water Distribution Pipes Information

Visible portions of the water distribution pipes were inspected looking for leaks or other deficiencies. If present, visible hot water distribution piping used by the boiler will be visually assessed also. No significant and visible conditions were observed at the time of inspection unless otherwise noted in this report.

Drain, Waste & Vent System: Drain, Waste & Vent Pipes Information

Visible portions of the (DWV) drain, waste, and vent pipes were inspected looking for leaks or indications of other deficiencies. No significant concerns were visible unless otherwise noted in this report.

Drain, Waste & Vent System: Septic Tank Information

Testing of the septic tank and related underground piping is a specialized area and is not part of the home inspection. It is recommended that a check-up of the septic system is performed by a septic tank service company shortly after moving into the home.

Functional Drainage: Functional Drainage Information

Functionality of the plumbing drainage system was tested by running water several minutes. During the inspection, drainage appeared to be operational. Only a sewer video camera inspection of the interior of drain and sewer pipes can reveal the true condition of the drainage system. Tree roots and other conditions can interfere with pipes and cannot be discovered during the home inspection.

Sump Pit & Pump: Sump Pit Gravity Drain Information

The home is equipped with a sump pit, but without a sump pump. From appearances, the pit may be designed to operate without a pump and instead rely on gravity to drain the water out of it.

It would be prudent to discuss with the home seller if this is indeed the case, and for you to assume that a sump pump is required should you not receive confirmation.

Fuel Storage and Distribution: Fuel Storage and Distribution Information

Inspection of fuel distribution and storage includes fuel piping, shutoff valves and the exterior of any propane or heating oil storage tanks. Items of concern in these areas will be detailed within this report.

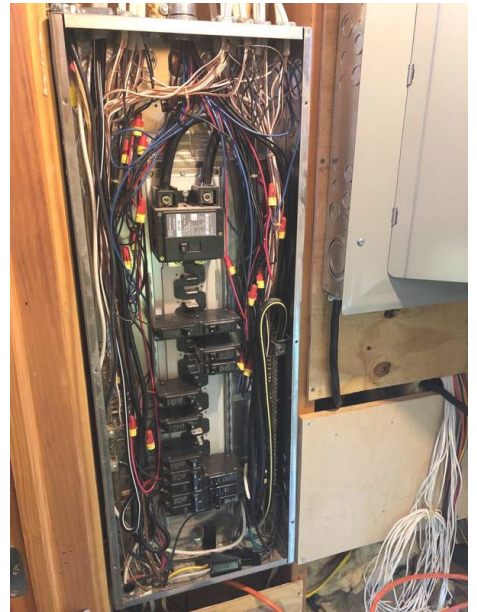
14: ELECTRICAL

Information

Service Disconnect: Main Breaker/Service Disconnect Location
Within Main Panel in Basement

Service Disconnect: Service Rating
200 Amp

Main Panel/Service Equipment: Main Panel/Service Equipment Location
In Basement



Distribution Panel/Sub-Panel: Distribution Panel / Sub-panel Location(s)
In Basement



Information

Load calculation are not performed to determine service capacity or adequacy. The inspection does not involve any electrical stress tests on the system to determine if a breaker trips properly. Labeling of electric circuit locations on electrical panel is not checked for accuracy. Electrical components concealed behind finished surfaces are not visible and cannot be inspected. Determination of the type of branch circuit wiring used in this home was made by inspection of the electric panels only. Inspection of the wiring in or at the receptacles, switches, fixtures, junction boxes, walls, ceilings and floors is beyond the scope of a home inspection and is excluded from this report.

Low-voltage system in the home were not inspected, including cable TV, telephone, Ethernet, alarm system and low-voltage wiring.

Transfer Switch Not Inspected

The inspection of generator transfer switches is beyond the scope of a general home inspection and the unit was not tested.

Generator and Related Components Not Inspected - Limitation

The standby generator and associated electrical panels and wiring are beyond the scope of the home inspection and were not inspected or tested. Testing of these systems requires specialized knowledge and tools. Standby generators typically are scheduled to run an automatic test weekly to ensure that their engines and transfer switches operate as intended. They also require annual maintenance that includes oil, filter, spark plug changes as well as tests of voltages throughout the system. It is recommended that maintenance records are requested from the seller, and that the schedule of the weekly testing procedure is understood.

Service Disconnect: Service Disconnect Information

The service disconnect or main over-current protection device was inspected looking for any deficiencies and reporting on its location. This disconnect can be a breaker, fuse block, or kill switch. This is the means of shutting off all electricity entering the home.

Service Disconnect: Service Amperage Information

The service amperage is determined by inspecting the service entrance conductors size as well as the service disconnects size. Voltages are not tested and therefore are not confirmed, so 120/240VAC is assumed. In some situations the sizing of the service entrance conductors will not be legible or marked and the stated amperage will be followed by "presumed" as it could not be verified.

Main Panel/Service Equipment: Electrical Panel / Service Equipment Information

The main electrical panel (called service equipment when it contains the service disconnect) was inspected looking for any wiring deficiencies or damage that may be present in the panel. No indications of reportable conditions were present at the time of inspection unless otherwise noted in this report.

Distribution Panel/Sub-Panel: Distribution Panel Information

The distribution panel was inspected to ensure all distribution panel rules were followed; that a 4-wire feed was present, that the EGC's and grounded conductors were isolated, that the grounded conductors were floating, that the EGC's were bonded, etc. No significant deficiencies were present in the panel(s) at the time of inspection, unless otherwise noted in this report.

Service Grounding/Bonding: Grounding Connector Present

The grounding electrode conductor (GEC) was present and connected in the service equipment panel. Typically the attachment point to a grounding rod, is not visible. No indications of deficiencies were observed at visible portions.

Service Grounding/Bonding: Water Pipe Bonding Not Visible - Finished Ceilings

Water pipe bonding was not visible and could not be confirmed due to finished ceilings in the basement. Further evaluation is recommended by a licensed electrician.

Breakers: Breaker Information

The breakers were inspected for visible signs of damage due to arcing, heat, etc. Corresponding conductors were inspected looking for multiple lugging, sizing, damage, and other visible conditions. No deficiencies were observed unless otherwise noted in this report.

Branch Wiring: Branch Wiring Information

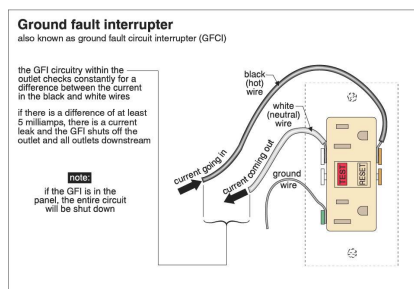
The branch wiring was inspected at visible portions looking for any significant deficiencies or defects that could be a fire or safety hazard; including but not limited to: connections made outside of a junction box, wiring terminations, open junction boxes, damage, the wiring material, improper support, etc. The majority of branch feeders are not visible due to being behind wall and ceiling coverings, insulation, etc. No significant deficiencies were visible at the time of inspection unless otherwise noted in this report.

Receptacles: Receptacle Information

A representative number of receptacles were tested with a polarity tester to confirm proper wiring. No wiring deficiencies were observed unless otherwise noted in this report.

GFCI Protection: GFCI Information

Ground Fault Circuit Interrupter (GFCI) is a protection feature that allows a circuit or receptacle to "trip" or "shut off" if as little as a 5 milliamp differential is detected between the "hot" and "neutral" conductors. This protection is required at locations near a water source or where something plugged into the receptacle could come into contact with water, including: bathrooms, kitchens, on the exterior, in garages, and basements. Although GFCI protection may not have been required in some or all of these areas when the home was built, their installation is highly recommended and is typically inexpensive. This protection, if present, was tested and was in satisfactory condition at the time of inspection, unless otherwise noted in this report.



Switches, Lights: Switches & Lights Information

A representative number of switches and lights were tested throughout the home. No deficiencies were observed unless otherwise noted in this report.

Switches, Lights: Certain Lights Not Tested

Any exterior dusk-to-dawn lights, motion lights, landscape lighting, or any light not attached to the structure are not included in a home inspection, and were not tested for functionality.

Ceiling Fans: Ceiling Fan Information

A representative number of ceiling fans were inspected by ensuring they powered on and did not wobble excessively, as well as for other deficiencies. No significant conditions were visible at the time of inspection unless otherwise noted.

Observations

14.2.1 Main Panel/Service Equipment

MISSING PANEL SCREWS



Panel cover screw(s) were missing. All panel cover screw locations are required to be utilized to adequately secure the cover to the panel. Replacement of the screws is recommended.

Recommendation

Contact a qualified electrical contractor.



14.3.1 Distribution Panel/Sub-Panel

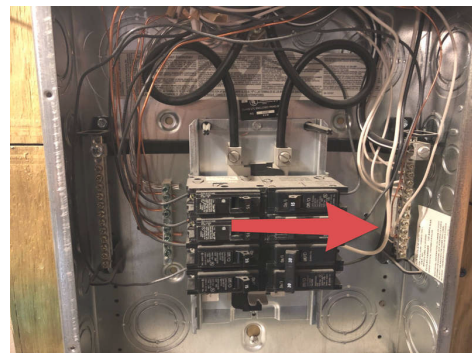
GROUND WIRE INSTALLED ON NEUTRAL BUS IN SUBPANEL

The sub panel has separate ground and neutral bus bars, as required. However, a circuit was wired to have its ground and neutral wired attached to the same bus bar. Have an electrician relocate the ground wire to the correct bus bar.

Recommendation

Contact a qualified electrical contractor.

 Significant Defect



14.3.2 Distribution Panel/Sub-Panel

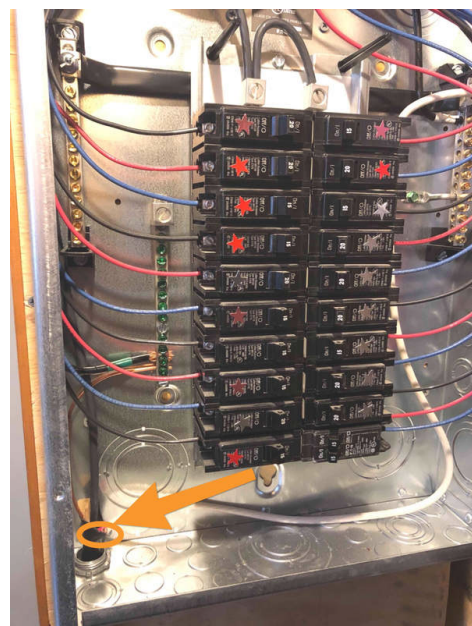
UNCAPPED AND EXPOSED WIRING

A stray uncapped wire was visible in the panel adjacent and to the right of the main service service panel. This wire should be capped or otherwise protected.

Recommendation

Contact a qualified electrical contractor.

 Recommendation



14.6.1 Branch Wiring

BROKEN COVER

 Maintenance Item

Recommendation

Contact a qualified professional.



14.7.1 Receptacles

 Recommendation

COVER PLATE(S) DAMAGED

A damaged electrical cover plate was observed. Cover plates are intended to keep hands, fingers, pets and vermin away from live electricity and are meant to contain any sparks or fires within the box. Replacement of the damaged cover plate by a qualified electrician is recommended.

Recommendation

Contact a qualified electrical contractor.



14.8.1 GFCI Protection

 Significant Defect

GFCI PROTECTION MISSING IN BATHROOM

2ND FLOOR

GFCI protection was missing from a receptacle in the bathroom. GFCI protection is an important safety feature of a home's electrical system, and is recommended to be installed on all outlets in bathrooms. Installing GFCI protection is a simple upgrade and involves replacing one or more receptacles in the bathroom, or breakers in the service panel.

Recommendation

Contact a qualified electrical contractor.

14.9.1 Switches, Lights

 Recommendation

LOOSE FIXTURE

LEFT SIDE OF HOME FRONT OF HOME

Recommendation

Contact a qualified professional.



15: BASEMENT, CRAWL SPACE & FOUNDATION

Information

Foundation Type

Poured Concrete

Floor Structure Visual Obstructions

HVAC Ductwork, Plumbing Pipes

Personal Items Blocking View of Foundation - Limitation

Personal items within the home restricted view of the foundation.

Framing/Floor Structure: Floor Structure Materials

Floor Joists, Steel Beam(s)

Subfloor: Subfloor Material

Plywood

Foundation Walls: Foundation Wall Material

Poured Concrete

Insulation: Insulation Present at Unfinished Areas?

At Rim Joist

Basement View(s)



Visual Limitations Information

The referenced visual obstructions listed above may block or hinder visual accessibility of the floor structure and other areas. The inspection of the foundation area and floor structure is limited to visual portions only. Any items or areas not visible are excluded from this inspection. Insulation or any other item is not moved or disturbed for visual accessibility.

Moisture Presence: Moisture Infiltration Information - Basement

Visible areas of the basement, including foundation walls and floors, were inspected for signs of past or present water intrusion. No signs of water or moisture intrusion were present at visible portions at the time of inspection in the basement area unless otherwise noted in this report. Only conditions as they existed at the time of inspection can be reported upon, and water may infiltrate this area at a future time due to a heavy rain or changes in conditions. It is not uncommon for homes where no water or indications of water intrusion was present at the time of an inspection to exhibit water penetration days later. It is recommended to consult with the sellers as to prior moisture infiltration into this area, and reading the sellers disclosure which should list such a condition.

Framing/Floor Structure: Floor Structure Information

Visible portions of the framing and floor structure were inspected for damage or other significant deficiencies. None were observed unless otherwise noted in this report.

Subfloor: Subfloor Information

Visual portions of the subfloor were inspected for damage or other significant deficiencies. No reportable conditions were observed at the time of inspection unless otherwise noted in this report.

Foundation Walls: Foundation Wall Information

Visible portions of the foundation walls were inspected for significant cracking, moisture intrusion, or other indications of damage or significant deficiencies. No reportable conditions were observed at the time of inspection unless otherwise noted in this report.

Foundation Walls: Foundation Wall Cracks Information/Limitations

Cracks are reported on by their presence and visual condition as existing at the time of inspection only. A professional opinion as to a cracks severity, cause, or whether it has been recently active is not part of the home inspection and will not be offered. Only a Structural Engineer can render a judgement on a cracks severity and repercussions and they should be consulted as desired. All foundation wall or floor cracks may leak, no matter how small.

Floor/Slab Condition: Slab Information

The concrete slab was inspected for irregular cracking, signs of moisture, or significant deficiencies. No reportable conditions were present at visible portions, at the time of inspection unless otherwise noted in this report.

Stairs: Stair Information

The stairs were inspected by evaluating the risers and treads, applicable railings, etc. No deficiencies were observed at the time of inspection unless otherwise noted in this report.

Wash Basin: Wash Basin Information

The wash basin was inspected by operating the faucet and faucet valves looking for leaks or any significant deficiencies. No significant conditions were observed at the time of inspection unless otherwise noted in this report.

16: ENVIRONMENTAL INFORMATION

Information

Microbial Growth

An area of the home was observed which had suspected microbial growth. This area may contain mold spores, something else, or may be innocuous. This area was noted in the report as a courtesy. It is recommended that a New York State licensed mold assessor is consulted to evaluate the area and recommend remediation methods.

New York State maintains information for homeowners regarding mold here:

<https://www.health.ny.gov/publications/7287/>