



# INTEGRITY INSPECTION SERVICES LLC

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<http://www.inspectwithintegrity.com>



## HOME INSPECTION REPORT

1234 Main St.  
Naches WA 98937

Buyer Name

09/11/2018 9:00AM



Inspector

**Ryan Franke**

Lic. No. 809

5099612863

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Agent

**Agent Name**

555-555-5555

[agent@spectora.com](mailto:agent@spectora.com)

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# SUMMARY

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- ⊖ 16.1.1 Shop - Heat Source : Condensate Leak
- ⊖ 16.4.1 Shop - Garage Doors: Opener Noisy

# 1: INSPECTION DETAILS

## Information

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**Weather Conditions**

Clear

**Temperature**

Cool (50-70°F)

**Type of Building**

Single family

**Stories**

One

**Bedrooms/Bathrooms**

3/2

**Occupancy**

Furnished, Occupied

**Approximate Age**

2006

**Age Based On**

Listing

**In Attendance**

Client, Client's Agent

**Shop/Outbuildings**

Inspected

**Irrigation/Sprinkler System**

Not Inspected

Inspection of Sprinkler/Irrigation system falls outside the scope of a Home Inspection and is excluded from this Report. Inspector does not attempt to operate sprinkler system. Inspector may note observations if system is operational at time of inspection.

# 2: SITE

## Information

### Site Grading

Mostly Level

### Vegetation

Generally Maintained

### Driveway

Asphalt

### Walkways

Concrete

### Patios

Concrete

### Stoops / Steps

Concrete

### Retaining Walls

Rock/Stone

## Observations

### 2.1.1 Vegetation & Grading

 Recommendations

### VEGETATION AGAINST HOME

Trees, shrubs and/or vegetation in contact with home may cause undue wear and trap moisture against home leading to eventual compromise. Recommend all vegetation be maintained with a minimum of 8" clearance from home/exterior siding.

Recommendation

Contact a qualified landscaping contractor



# 3: EXTERIOR

## Information

### Siding

Brick Veneer, Cottage Lap

### Trim

Wood Composite

### Exterior / Entry Doors

Fiberglass Hinged, Fiberglass Franch

### Windows

Vinyl

### Decks / Balconies

N/A

### Eaves, Soffits and Fascia

Wood

## Observations

### 3.2.1 Exterior Doors & Windows

#### ADJUSTMENT NEEDED

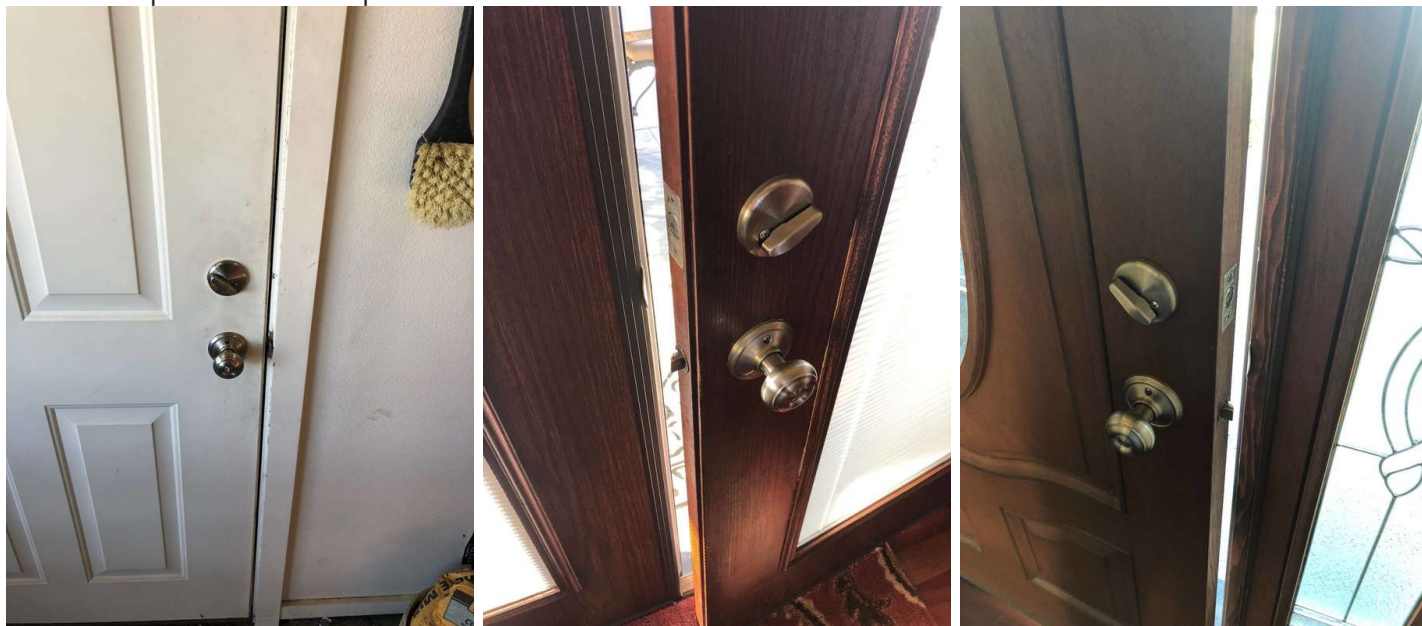
GARAGE ENTRY, FRONT ENTRY, BACK ENTRY

 Recommendations

Entry door hardware throughout was not operating smoothly/properly and may be in need of adjustment or repair.

Recommendation

Contact a qualified door repair/installation contractor.



# 4: ROOFING

## Information

### Inspection Method

Walked on Roof

### Roof Type

Gable, Hip, Combination

### Roof Covering

Architectural Asphalt Shingle

### Approximate Age

0-10 Years

### Ventilation Type

Soffit Vents, Gable Vents, Ridge Vents

### Flashing

Metal

### Skylights

Not Present

### Chimney

Metal

### Gutter Material

Metal

### Coverings: Servicable

Roof covering appears to be in good serviceable condition.



## Observations

### 4.2.1 Gutter Systems

#### CLEAN GUTTERS

Gutters contain dirt or debris that may restricting proper drainage. Full gutters may also add unneeded weight to gutter system leading to potential failure. [Here is a DIY resource](#) for cleaning your gutters.

Recommendation

Contact a handyman or DIY project

 Maintenance / Information





## 5: INTERIORS

### Information

#### Walls & Ceilings

Drywall

#### Floor Coverings

Carpet, Tile, Hardwood

#### Interior Doors

Hinged, Wood

#### Windows

Vinyl, Single-hung

#### Cabinetry

Wood

#### Countertops

Granite/Quartz

#### Installed Safety Equipment

Smoke Detectors

#### Ceilings: Soot Staining / Streaking

Garage

Soot streaking at interior walls and/or ceilings is typically evidence of inefficient burning of a fossil fuel appliance and/or open flame such as a candle or incense.

\*See HWT notes.



### Observations

#### 5.5.1 Windows

#### WINDOW BLINDS DAMAGED

MASTER BEDROOM

Some window blinds were damaged or did not operate properly and may be in need of adjustment or repair.

Recommendation

Contact a qualified handyman.

 Recommendations



#### 5.6.1 Doors

#### HARDWARE MISSING

KITCHEN

Some interior closet door hardware was missing or not installed and was not operating smoothly/properly.

 Recommendations

Recommendation

Contact a qualified door repair/installation contractor.



## 6: APPLIANCES

### Observations

6.11.1 Wall Oven

#### **BURNER NOT OPERATING**

Inspector was unable to confirm operation of Broil function at lower oven.

Recommendation

Contact a qualified appliance repair professional.

— Recommendations



# 7: FIREPLACES

## Information

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**Type**

Gas Stove

**Inspection Method**

Tested, Operational

**Blower/Fan**

Installed



# 8: ELECTRICAL

## Information

### Electrical Service Conductors

Underground, Aluminum, 240 volts

### Main Disconnect Location

Service Panel

### Panel Locations

Garage



### Panel Manufacturer

Square D

### Panel Type / Capacity

Breakers, 200 amp

### Service Panel Grounding Conductor

Present

### Ground Source

Foundation Ground

### Branch Circuit Conductors

Copper

## Observations

### 8.4.1 Connected Devices & Fixtures

#### LIGHT INOPERABLE

#### LIVING ROOM

Inspector was unable to confirm operation of one or more lights at time of inspection. New light bulb possibly needed. Recommend further evaluation and repair as needed.

#### Recommendation

Contact a qualified electrical contractor.



# 9: PLUMBING

## Information

### Source

Community Well

### Main Water Supply

PEX

### Main Water Shut-Off Location

Utility Room

Near Hot Water Tank



### Supply Distribution

PEX

### Filters/Softener

Installed

### Drain / Waste & Vent System

ABS

### Sump Pump / Sewage Ejector

N/A

### Main Fuel Shut-Off Location

At Equipment, At Tank

## Observations

### 9.1.1 Supply Plumbing

#### HIGH WATER PRESSURE

High water pressure may put unneeded stress/strain on your plumbing system (pipes and fixtures). The generally recommended safe water pressure for residential application is 60-80 P.S.I. Recommend adjusting water pressure at Booster Pump. Here is a helpful [article](#) on Water Reducing Valves.

Recommendation

Contact a qualified plumbing contractor.





9.2.1 Fixtures & Faucets

 Recommendations

**FIXTURE DAMAGED**

KITCHEN

Fixture damaged or not operating properly and may be in need of repair.

Recommendation

Contact a qualified handyman.



9.2.2 Fixtures & Faucets

 Recommendations

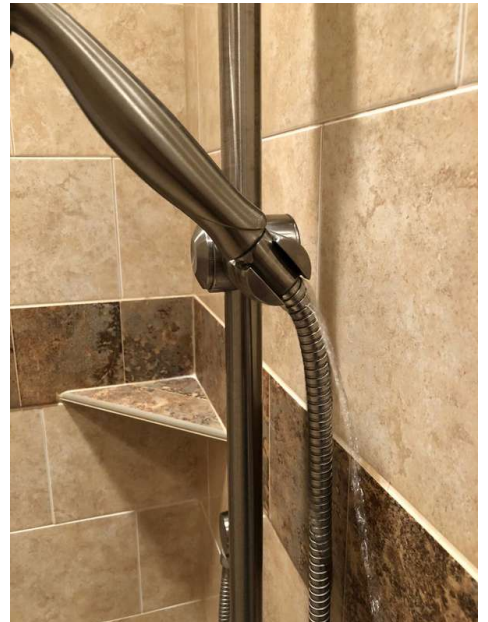
**SHOWER HEAD LOOSE/LEAKING**

MASTER BATHROOM

Shower head leaking and may be in need of adjustment or repair.

Recommendation

Contact a qualified handyman.





# 10: WATER HEATER

## Information

<b>Type</b> Water Storage Tank	<b>Manufacturer</b> Rheem	<b>Approximate Age</b> 2006
<b>Capacity</b> 75 gal	<b>Fuel Source</b> Propane	<b>Location</b> Garage, Utility Closet
<b>Seismic Strapping</b> Not present	<b>TPR Valve</b> Proper (w/ Discharge Piping)	
<b>Water Temperature</b> More than 120°F - safety hazard The generally accepted maximum safe water temperature to avoid potential scalding is 120F		

## Observations

### 10.1.1 Equipment

 Maintenance / Information

#### DEFERRED COST ITEM

Hot Water Tank appears to be 12 years old or more and may be within 5 years of its estimated useful life. This comment is based off an estimated useful life of 12-15 years. Recommend Monitor. Anticipate maintenance and/or future replacement.

Recommendation  
Recommend monitoring.



### 10.1.2 Equipment

 Safety Hazard

#### FLAME ROLL-OUT

Scorching or evidence of flame roll-out noted at Hot Water Tank. Flame roll-out may be an indication of poor operation or other defects. Recommend further evaluation by a qualified professional and repair or replace as needed.

Recommendation  
Contact a qualified plumbing contractor.



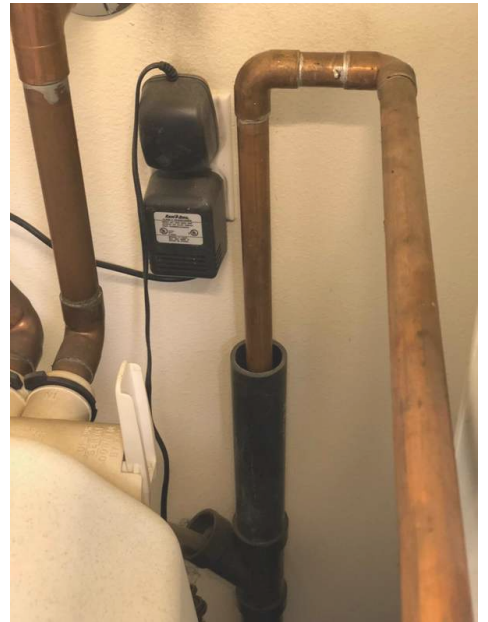
## 10.1.3 Equipment

**NO AIR GAP AT TPR DISCHARGE**

Temperature Pressure Relief Valves terminating in waste drains must have a visual air gap to ensure waste drain plumbing cannot exchange with potable water supply. Recommend a proper air gap be provided at TPR discharge piping.

## Recommendation

Contact a qualified handyman.



## 10.1.4 Equipment

**EXPANSION TANK LEAKING**

Rust or evidence of leaking noted at expansion tank. Recommend repair or replace as needed.

## Recommendation

Contact a qualified plumbing contractor.



## 10.3.1 Safety Features

**SEISMIC STRAPPING NOT INSTALLED OR IMPROPER**

Modern safety standards requires seismic strapping at top and bottom thirds of installed Hot Water Tanks. See this helpful [link](#) for approved strapping and anchoring techniques. Recommend repair.

## Recommendation

Contact a qualified appliance repair professional.



10.3.2 Safety Features

 Safety Hazard

**WATER TEMPERATURE HIGH**

Water temperature was measured above maximum recommended safe water temperature of 120°F. Recommend adjusting water temperature to no more than 120°F to prevent potential scaling.

Recommendation

Contact a qualified appliance repair professional.



# 11: HEATING SYSTEM

## Information

**Type**

Forced air, Heat Pump

**Location**

Garage

**Approximate Age**

2006

**Manufacturer**

Trane

**Energy Source/Type**

Propane

**Filter Type**

Electronic Air Cleaner



**Distrabution**

Central

**Recorded Temperature**

Not Recorded

**Operation**

Tested, Operational

Inspector attempts to operate Heating System/s using normal operating controls (i.e. Thermostat).

## Observations

11.1.1 Heating Equipment



### CONDENSATE LEAK

Evidence of a condensate leak noted at furnace. Condition conducive to rust/deterioration and potential compromise. Recommend a qualified professional further evaluate and repair.

Recommendation

Contact a qualified HVAC professional.



# 12: COOLING SYSTEM

## Information

### Type

Heat Pump

### Approximate Age

2006

### Manufacturer

Trane



### Energy Source

Electric

### Configuration

Split System

### Distrabution

Central

### Operation

Tested, Operational

### Temperature Split / Differential

14-21°F

The AC or Heat Pump Temperature Split is the comparison of the Return Air (air going into the system) as compared to the Supply Air (air coming out of the system). A healthy AC/Heat Pump should be operating with a 14-21°F Temperature Split.



## Observations

### 12.2.1 Distribution Systems

#### CONDENSATE LEAK

##### CRAWLSPACE

Leaking observed at Furnace Plenum and/or ducting. Probable condensate leak. Condition conducive to eventual deterioration and loss of system efficiency. Recommend a qualified professional further evaluate and repair/remedy as needed.

##### Recommendation

Contact a qualified HVAC professional.



# 13: STRUCTURAL COMPONENTS

## Information

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**Roof Type**

Gable, Hip

**Roof Structure**

Truss System

**Roof Sheathing**

OSB

**Foundation**

Poured Concrete

**Floor Structure**

Wood I-Joists

**Sub-floor**

OSB

**Wall Structure**

Wood Framed

**Attic Inspection**

Traversed

**Crawlspace Inspection**

Traversed

**Crawlspace View**

Photo of post/footing for your information.





**Attic View****Foundation: Typical Cracks**

Small vertical cracks known as shrinkage cracks or typical cracks were noted. These small vertical cracks are not considered to be related to structural compromise. If any vertical cracks begin to grow then further evaluation would be required. Recommend monitor. Cracks may be sealed from exterior to prevent moisture intrusion.



**Floor Structure & Crawlspace: Evidence of Past Moisture**

Evidence of past moisture noted in crawlspace at plastic vapor barrier. Possible past plumbing leak or moisture intrusion through foundation vents. No standing moisture observed at time of inspection. No evidence of compromise resulting from moisture noted. Recommend further inquiry and monitor.



# 14: INSULATION AND VENTILATION

## Information

### Attic Insulation

Blown Fiberglass

### Attic Ventilation

Gable Vents, Ridge Vents, Soffit Vents

### Crawlspace Insulation

Fiberglass Batt

### Foundation Venting

Present

### Vapor Barrier

Installed

### Ductwork Insulation

Present

### Plumbing Insulation

Present

## Observations

### 14.3.1 Crawlspace

#### FOUNDATION VENT/S RESTRICTED

THROUGHOUT EXTERIOR

 Recommendations

Some foundation vents throughout are blocked or restricted with landscaping, leaves/debris and/or insulation. Recommend opening/clearing all foundation vents to ensure adequate crawlspace ventilation.

Recommendation

Contact a qualified handyman.



# 15: GARAGE

## Information

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**Garage Type**

Attached

**Appliance Safety Features**

Elevated 18", Installed In Alcove

**Garage Door Safety Features**

Photoelectric Eye, Edge Sensor  
(force)

# 16: SHOP

## Information

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### Heat Source : Installed Filter Size

16x24x1"



### Excessive Contents

Garage/Shop interior inspection was limited/restricted by excessive contents and stored items. Inspector was unable to access some outlets, windows, etc. at time of inspection.



## Observations

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### 16.1.1 Heat Source

#### CONDENSATE LEAK

Evidence of condensate leak noted at furnace cabinet. Recommend further evaluation/inquiry and repair as needed.

#### Recommendation

Contact a qualified HVAC professional.





16.4.1 Garage Doors

 Recommendations

**OPENER NOISY**

Garage door opener was noisy when operating and may be at or nearing the end of its useful life. Recommend further evaluation and maintenance or repair.

Recommendation

Contact a qualified garage door contractor.



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# STANDARDS OF PRACTICE

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## Inspection Details

Thank you for choosing Integrity Inspection Services to conduct your Home Inspection. We understand that the function of this Report is to assist you in understanding the condition of the home including fire, health and safety issues as well as any potential unforeseen major out-of-pocket expenses.

WA State Standard of Practice state:

*"The purpose of a home inspection is to assess the condition of the residence at the time of the inspection using visual observations, simple tools and normal homeowner operational controls; and to report deficiencies of specific systems and components. Inspectors must perform all inspections in compliance with the SOP set forth by the Washington state department of licensing."*

This report contains a review of components in the following basic categories: **site, exterior, roofing, structure, insulation/ventilation, electrical, HVAC, plumbing and interior**. Additional categories may or may not be included depending on the particular home. This Report is designed to be easy to read and comprehend, however it is important to read the entire Report to obtain a full understanding of the scope, limitations and exclusions of the Inspection. In addition to the descriptive items of the Report there are comments which are meant to help you further understand certain conditions observed. Comments in **BLUE are primarily informational do not reflect any kind of defect**. Comments in **ORANGE are typically defects but are not necessarily urgent or safety related** **RED comments are to be considered urgent and/or safety related and should be addressed as soon as possible**. It is always recommended that you call a licensed and qualified professional when contracting repairs on your home.

*\*A home inspection is not to be considered technically exhaustive nor does it identify concealed conditions or latent defects. A home inspection should be considered a "snap-shot" of the home from one single point in time. As all homes age and are in a continual state of deterioration, the homeowner must perform regular inspection and maintenance of their home to maintain and repair systems and components as they age, or contract qualified professionals to perform such regular inspection and maintenance as needed.*

*\*\*This Inspection Report reflects a contracted agreement between Integrity Inspection Services LLC and the Client who's name appears on the Report. Any use of this Inspection Report by parties not reflected in the original agreement is made at that users own risk and Integrity Inspection Services LLC has no obligation or contractual agreement with that party. Integrity Inspection Services LLC retains the rights to all information found in this Report.*

**If you have any questions with your Home Inspection Report, please do not hesitate to call or email.**

**Ryan Franke**

**509-823-1677**

**ryan@inspectwithintegrity.com**

## Site

The inspection of the site includes the building perimeter, land grade, and water drainage directly adjacent to the foundation; trees and vegetation that adversely affect the structure; walks, grade steps, driveways, patios, and retaining walls contiguous with the structure.

## Exterior

An inspection of the exterior includes the visible wall coverings, trim, protective coatings and sealants, windows and doors, attached porches, decks, steps, balconies, handrails, guardrails, carports, eaves, soffits, fascias and visible exterior portions of chimneys.

## Roofing

An inspection of the roof includes the roof covering materials; gutters and downspout systems; visible flashings; roof vents; skylights, and any other roof penetrations; and the portions of the chimneys and flues visible from the exterior.

## Interiors

The inspection of the interior includes the walls, ceilings, floors, windows, and doors; steps, stairways, balconies and railings.

**Fireplaces**

Includes solid fuel and gas fireplaces, stoves, dampers, fireboxes and hearths.

**Electrical**

The inspection of the electrical system includes the service drop through the main panel; sub-panels including feeders; branch circuits, connected devices, and lighting fixtures.

**Plumbing**

An inspection of the plumbing system includes visible water supply lines; visible waste/soil and vent lines; fixtures and faucets; domestic hot water system and fuel source.

**Heating System**

The inspection of the heating system includes the fuel source; heating equipment; heating distribution; operating controls; flue pipes, chimneys and venting; auxiliary heating units.

The inspection of the air conditioning system includes the cooling equipment; cooling distribution equipment and the operating controls.

**Cooling System**

The inspection of the heating system includes the fuel source; heating equipment; heating distribution; operating controls; flue pipes, chimneys and venting; auxiliary heating units.

The inspection of the air conditioning system includes the cooling equipment; cooling distribution equipment and the operating controls.

**Structural Components**

An inspection of the structure will include the visible foundation; floor framing; roof framing and decking; other support and substructure/superstructure components; stairs; ventilation (when applicable); and exposed concrete slabs in garages and habitable areas.

**Insulation and Ventilation**

The inspection of the insulation and ventilation includes the type and condition of the insulation and ventilation in viewable unfinished attics and subgrade areas as well as the installed mechanical ventilation systems.

**Garage**

The inspection of attached garages and carports includes their framing, siding, roof, doors, windows, and installed electrical/mechanical systems pertaining to the operation of the home.