



ROGUE INSPECTION SERVICES LLC

5415077674

travis@rogueinspection.com

<http://www.rogueinspection.com>



RESIDENTIAL REPORT

1234 Main St.
Jacksonville OR 97530

Buyer Name

11/14/2018 9:00AM



Inspector

Travis Hand

OCHI #2150

5415077674

travis@rogueinspection.com



Inspector

Ian Miller

OCHI# 2214

5414992125

ian@rogueinspection.com



Agent

Agent Name

555-555-5555

agent@spectora.com

Table of Contents

Table of Contents	2
SUMMARY	5
1: INSPECTION DETAILS	7
2: EXTERIOR	8
3: ROOF	15
4: BASEMENT, FOUNDATION, CRAWLSPACE & STRUCTURE	22
5: HEATING	25
6: COOLING	28
7: PLUMBING	30
8: ELECTRICAL	34
9: ATTIC, INSULATION & VENTILATION	38
10: DOORS, WINDOWS & INTERIOR	40
11: BUILT-IN APPLIANCES	43
12: GARAGE	45
13: PEST INSPECTION	48

INTRODUCTION, SCOPE, DEFINITIONS & COMPLIANCE STATEMENT

Introduction:

The following numbered and attached pages are your home inspection report. The report includes pictures, information, and recommendations. This inspection was performed in accordance with the current Standards of Practice and Code of Ethics of InterNACHI (International Association of Certified Home Inspectors). The Standards contain certain and very important limitations, expectations and exclusions to the inspection. A copy is available upon request.

Scope:

A home inspection is intended to assist in evaluating the overall condition of the dwelling. The inspection is based on observation of the visible, readily accessible and apparent condition of the structure and its components on this day. The results of this inspection are not intended to make any representation regarding the presence or absence of concealed defects that are not reasonably ascertainable or readily accessible in a competently performed inspection. No warranty, guarantee or insurance by Rogue Inspection Services, LLC is expressed or implied. This report does not include inspection for wood destroying insects, mold, lead or asbestos. A representative sampling of the building components is viewed in areas that are accessible at the time of the inspection. No destructive testing or dismantling of components is performed. Not all defects will be identified during this inspection. Unexpected repairs should be anticipated. The person conducting your inspection is not a Structural Engineer or other professional whose license authorizes the rendering of an opinion as to the structural integrity of a building or its other component parts. You are advised to seek two professional opinions and acquire estimates of repair as to any defects, comments, improvements or recommendations mentioned in this report. Rogue Inspection Services, LLC recommends that the professional making any repairs inspect the property further, in order to discover and repair related problems that were not identified in the report. We recommend that all repairs, corrections and cost estimates be completed and documented prior to closing or purchasing the property. Feel free to hire other professionals to inspect the property prior to closing, including Qualified HVAC, Plumbing, Electrical, Engineering and Roofing Contractors.

Use of photos:

Your report includes many photographs which help to clarify where the inspector went, what was looked at, and the condition of a system or component at the time of the inspection. Some of the pictures may be of deficiencies or problem areas, these are to help you better understand what is documented in this report and may allow you see areas or items that you normally would not see. A pictured issue does not necessarily mean that the issue was limited to that area only, but may be a representation of a condition that is in multiple places. Not all areas of deficiencies or conditions will be supported with photos.

Comment Key or Definitions:

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

Inspected (IN) = I visually observed the item, component or unit and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

Not Inspected (NI) = I did not inspect this item, component or unit and made no representations of whether or not it was functioning as intended and will state a reason for not inspecting.

Not Present (NP) = This item, component or unit is not in this home or building.

Deficiency (D) = The item, component or unit is not functioning as intended, or needs further inspection by a qualified contractor. Items, components or units that can be repaired to satisfactory condition may not need replacement.

What really matters in a home inspection:

The process can be stressful. A home inspection is supposed to give you reassurance but often has the opposite effect. You will be asked to absorb a lot of information in a short time. This often includes a written report, checklist, photographs, environmental reports and what the inspector himself says during the inspection. All this combined with the seller's disclosure and what you notice yourself makes the experience even more overwhelming. What should you do? Relax. Most of your inspection will be maintenance recommendations, life expectancies and minor imperfections. These are nice to know about. However, the issues that really matter will fall into four categories: 1. Major defects. An example of this would be a significant structural failure. 2. Things that may lead to major defects. A small water leak coming from a piece of roof flashing, for example. 3. Things that may hinder your ability to finance, legally occupy or insure the home. Structural damaged caused by termite infestation, for example. 4. Safety hazards. Such as a lack of AFCI/GFCI outlet protection. Anything in these categories should be corrected. Often a serious problem can be corrected inexpensively to protect both life and property (especially in categories 2 and 4). Most sellers are honest and are often surprised to learn of defects uncovered during an inspection. Realize that sellers are under no obligation to repair everything mentioned in the report. No home is perfect.

SUMMARY



MAINTENANCE ITEM



RECOMMENDATION



CRITICAL

- ⊖ 2.1.1 Exterior - Siding, Flashing & Trim: Flashing/Trim Improperly Installed
- ⊖ 2.1.2 Exterior - Siding, Flashing & Trim: Seal Penetrations
- ⊖ 2.1.3 Exterior - Siding, Flashing & Trim: Cracked sealant at trim joints
- ⊖ 2.1.4 Exterior - Siding, Flashing & Trim: Failing paint
- ⊖ 2.1.5 Exterior - Siding, Flashing & Trim: Dry Rot
- ⊖ 2.1.6 Exterior - Siding, Flashing & Trim: Holes in siding
- ⊖ 2.3.1 Exterior - Walkways, Patios & Driveways: Driveway Cracking - Minor
- ⊖ 2.3.2 Exterior - Walkways, Patios & Driveways: Patio Cracking - Minor
- ⚠ 2.4.1 Exterior - Decks, Balconies, Porches & Steps: Missing Handrail
- ⊖ 2.4.2 Exterior - Decks, Balconies, Porches & Steps: Unfinished Porch
- ⊖ 2.5.1 Exterior - Eaves, Soffits & Fascia: Paint/Finish Failing
- ⊖ 2.6.1 Exterior - Vegetation, Grading, Drainage & Retaining Walls: Trim Vegetation
- ⊖ 3.1.1 Roof - Coverings: Under-Driven Nails
- 🔧 3.1.2 Roof - Coverings: Moss - Minor
- ⊖ 3.2.1 Roof - Roof Drainage Systems: Downspouts Drain Near House
- ⊖ 3.2.2 Roof - Roof Drainage Systems: Gutters Need Sealant
- ⊖ 3.2.3 Roof - Roof Drainage Systems: Damaged Downspout
- ⊖ 3.2.4 Roof - Roof Drainage Systems: Gutter screen damaged
- ⊖ 3.3.1 Roof - Flashings: Step flashing improperly installed
- ⊖ 3.4.1 Roof - Skylights, Chimneys & Other Roof Penetrations: Skylight Water Penetration
- ⊖ 3.4.2 Roof - Skylights, Chimneys & Other Roof Penetrations: Vent Boot Cracked
- ⊖ 4.1.1 Basement, Foundation, Crawlspace & Structure - Foundation: Foundation Cracks - Minor
- ⊖ 4.1.2 Basement, Foundation, Crawlspace & Structure - Foundation: Efflorescence
- ⊖ 5.1.1 Heating - Equipment: Inadequate Heat
- ⊖ 5.3.1 Heating - Distribution Systems: Duct Damaged
- ⊖
- 7.3.1 Plumbing - Water Supply, Distribution Systems & Fixtures: Hot and cold water lines reversed on bathroom sink
- ⊖ 7.4.1 Plumbing - Hot Water Systems, Controls, Flues & Vents: Insufficient Strapping

- ⊖ 7.4.2 Plumbing - Hot Water Systems, Controls, Flues & Vents: No Temperature & Pressure Relief Extension
- ⊖ 8.2.1 Electrical - Main & Subpanels, Service & Grounding, Main Overcurrent Device: Missing panel screws
- ⊖ 8.4.1 Electrical - Lighting Fixtures, Switches & Receptacles: Cover Plates Missing
- ⊖ 8.6.1 Electrical - Smoke Detectors: Additional Smoke Detectors
- ⊖ 9.5.1 Attic, Insulation & Ventilation - Exhaust Systems: Damaged dryer damper
- ⊖ 10.1.1 Doors, Windows & Interior - Doors: Door trim missing
- ⊖ 10.2.1 Doors, Windows & Interior - Windows: Window hardware damaged
- ⊖ 10.2.2 Doors, Windows & Interior - Windows: Water damage
- ⊖ 10.2.3 Doors, Windows & Interior - Windows: Paint failing
- ⊖ 11.1.1 Built-in Appliances - Dishwasher: Create High Loop
- ⊖ 12.4.1 Garage - Garage Door: Recommend Steps
- ⊖ 12.7.1 Garage - Windows: Broken Seal
- ⊖ 13.7.1 Pest Inspection - Crawlspace: Signs of Rodents

1: INSPECTION DETAILS

Information

In Attendance

Client, Inspector

Occupancy

Vacant

Type of Building

Single Family

Style

Multi-level

Age of Building

Under 25 years

Home Faces

South

Outdoor temperature

42 Fahrenheit (F)

Weather Conditions

Clear

Soil Conditions

Dry

Limitations

General

PHOTOS ARE REPRESENTATIVE

Photos are only a representative sample of conditions observed. There may be more than one area of concern not shown by photo

2: EXTERIOR

		IN	NI	NP	D
2.1	Siding, Flashing & Trim	X			X
2.2	Exterior Doors	X			
2.3	Walkways, Patios & Driveways	X			X
2.4	Decks, Balconies, Porches & Steps	X			X
2.5	Eaves, Soffits & Fascia	X			X
2.6	Vegetation, Grading, Drainage & Retaining Walls	X			X

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiencies

Information

Siding, Flashing & Trim: Siding Material

Stone Veneer, Wood

Siding, Flashing & Trim: Siding Style

Lap

Exterior Doors: Exterior Entry Door

Glass, Steel, Wood

Walkways, Patios & Driveways: Driveway Material

Asphalt, Concrete, Pavers

Walkways, Patios & Driveways: Appurtenance

Sidewalk, Covered Porch, Patio

Decks, Balconies, Porches & Steps: Appurtenance

Deck with Steps, Patio, Covered patio

Decks, Balconies, Porches & Steps: Material

Concrete, Wood

Vegetation, Grading, Drainage & Retaining Walls: Grounds

Moderate Slope

Deficiencies

2.1.1 Siding, Flashing & Trim

FLASHING/TRIM IMPROPERLY INSTALLED

GARAGE

Flashing & trim pieces were improperly installed, which could result in moisture intrusion and damaging leaks. Recommend a qualified siding contractor evaluate and install flashing over all horizontal trim.

Recommendation

Contact a qualified siding specialist.



Recommendation



2.1.2 Siding, Flashing & Trim

 Recommendation

SEAL PENETRATIONS

GARAGE

There are holes that are exposed on the exterior siding. Recommend sealing to prevent water damage to the siding.

Recommendation

Contact a qualified professional.



2.1.3 Siding, Flashing & Trim

 Recommendation

CRACKED SEALANT AT TRIM JOINTS

GARAGE

The sealant at the trim joints and window trim has deteriorated and cracked. Recommend re-sealing to prevent moisture damage.

Recommendation

Recommended DIY Project



2.1.4 Siding, Flashing & Trim

 Recommendation

FAILING PAINT

SOUTH

The paint is failing on various locations around the house and the wood is exposed. Recommend painting to provide a waterproof barrier and to prevent dry Rot.

Recommendation

Contact a qualified painter.



2.1.5 Siding, Flashing & Trim

DRY ROT

GARAGE

There is dry rot present on the exterior trim in some areas. Recommend repair as needed.

Recommendation

Contact a qualified siding specialist.



2.1.6 Siding, Flashing & Trim

HOLES IN SIDING

WEST(DECK)

Recommend replacement of sections that are damaged to prevent damage to structure from water and pests.

Recommendation

Contact a qualified professional.





2.3.1 Walkways, Patios & Driveways

 Recommendation

DRIVEWAY CRACKING - MINOR

DRIVEWAY

Minor cosmetic cracks observed, which may indicate movement in the soil. Recommend monitor and/or have concrete contractor patch/seal.

Recommendation

Recommend monitoring.



2.3.2 Walkways, Patios & Driveways

 Recommendation

PATIO CRACKING - MINOR

PATIO AND STEPS

Normal settling & cracking observed. Recommend monitor and/or patch/seal.

Recommendation

Recommend monitoring.



2.4.1 Decks, Balconies, Porches & Steps

MISSING HANDRAIL

WEST

Handrail is missing around the patio on the west side of the house. A handrail should be installed for safety.

Recommendation

Contact a qualified professional.



2.4.2 Decks, Balconies, Porches & Steps

UNFINISHED PORCH

BASEMENT

Interior of basement porch is exposed to elements and/or pests due to it being unfinished. Recommend repair/finishing as desired.

Recommendation

Contact a qualified professional.





2.5.1 Eaves, Soffits & Fascia
PAINT/FINISH FAILING

 Recommendation

GARAGE

The paint or finish is failing on the fascia in one or more locations. I recommend repainting to prevent water damage to the wood.

Recommendation

Contact a qualified painter.



2.6.1 Vegetation, Grading, Drainage & Retaining Walls

 Recommendation

TRIM VEGETATION

Keep vegetation trimmed and away from the house. It creates a pathway for insects and rodents and can create prolonged moisture contact with the siding and trim.

Recommendation

Recommended DIY Project



3: ROOF

		IN	NI	NP	D
3.1	Coverings	X			X
3.2	Roof Drainage Systems	X			X
3.3	Flashings	X			X
3.4	Skylights, Chimneys & Other Roof Penetrations	X			X

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiencies

Information

Inspection Method

Roof

Roof Drainage Systems: Gutter

Material

Aluminum

Flashings: Material

Aluminum

Skylights, Chimneys & Other Roof Penetrations: Skylights

Two

Skylights, Chimneys & Other Roof Penetrations: Chimney

(exterior)

None

Life Expectancy 5-7 Years

Asphalt Shingles

Roof was in good condition at the time of inspection. Estimate 5-7 years of remaining life.

Life Expectancy 10+ Years

Concrete Tiles

The roof was in good condition at the time of inspection. estimate 10+ years of remaining life on the roof.

Coverings: Material

Asphalt, Concrete, Tile

**Coverings: Life Expectancy**

As prescribed in the inspection authorization and agreement, this is a visual inspection only. Roofing life expectancy can vary depending on several factors. Any estimates of remaining life are approximations only.

Limitations

General

LEAKS UNPREDICTABLE

ROOF COVERING

Roofs are designed to shed water like an umbrella and are not waterproof. In events of wind driven rains, and periods of intense rain, water can sometimes blow into areas such as ridge vents, roof vents and valleys and present leaking conditions. This occurrence is rare, but can possibly happen in severe storm events. Unless it is raining at the time of inspection, some roof leaks may not be identified during the inspection process.

Deficiencies

3.1.1 Coverings



Recommendation

UNDER-DRIVEN NAILS

NORTH

Observed one or more under-driven nails/fasteners. Recommend a qualified roofing contractor evaluate and repair. In at least one observed area, the under-driven nail has penetrated the upper layer of shingles.

Recommendation

Contact a qualified roofing professional.



3.1.2 Coverings

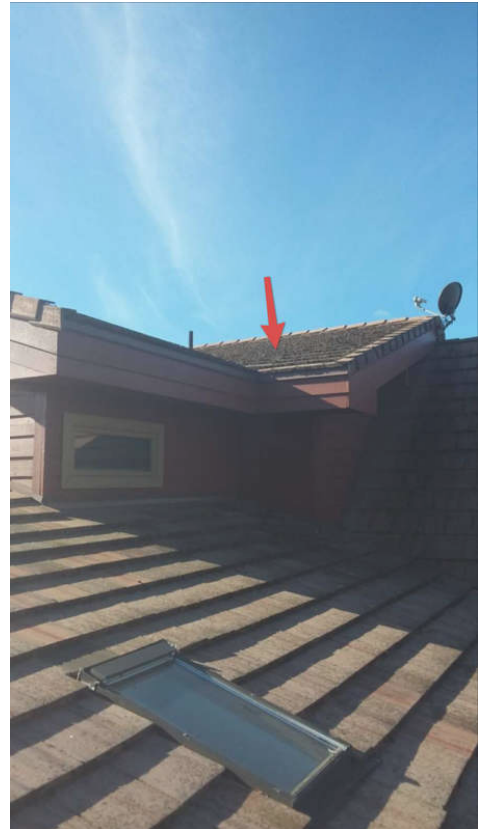
 Maintenance Item

MOSS - MINOR

There is minor moss growth on the north side of the roof. Recommend evaluation and treatment as needed.

Recommendation

Contact a qualified professional.



3.2.1 Roof Drainage Systems

 Recommendation

DOWNSPOUTS DRAIN NEAR HOUSE

WEST

One or more downspouts drain too close to the home's foundation. This can result in excessive moisture in the soil at the foundation, which can lead to foundation/structural movement. Recommend a qualified contractor adjust downspout extensions to drain at least 6 feet from the foundation.

[Here is a helpful DIY link](#) and video on draining water flow away from your house.

Recommendation

Recommended DIY Project



3.2.2 Roof Drainage Systems



Recommendation

GUTTERS NEED SEALANT

JOINTS

The sealant at the seams and gutter joints has deteriorated and is in need of repair. Recommend repair by a licensed gutter professional to ensure that all seams are properly sealed to prevent leaks.

Recommendation

Contact a qualified gutter contractor



3.2.3 Roof Drainage Systems



Recommendation

DAMAGED DOWNSPOUT

SOUTH

The underground downspout connection is damaged. Recommend repair to prevent water from draining near the foundation.

Recommendation

Contact a qualified professional.



3.2.4 Roof Drainage Systems

GUTTER SCREEN DAMAGED

NORTH

Screen is loose or damaged, recommend replacing with proper gutter screen.

Recommendation

Contact a qualified professional.

 Recommendation



3.3.1 Flashings

STEP FLASHING IMPROPERLY INSTALLED

NORTH

The step flashing on the dormer is improperly installed. Recommend repair and proper installation by a licensed roofing contractor.

Recommendation

Contact a qualified roofing professional.

 Recommendation



3.4.1 Skylights, Chimneys & Other Roof Penetrations

 Recommendation

SKYLIGHT WATER PENETRATION

ROOF

There are signs of possible water penetration at or near the skylight. Skylights, if not properly installed, are prone to leaking. Monitor the condition and if there is sign of leak then have the skylight repaired or replaced.

Proper flashing around the skylight is critical.

Recommendation

Contact a qualified professional.



3.4.2 Skylights, Chimneys & Other Roof Penetrations

 Recommendation

VENT BOOT CRACKED

WEST

The vent boot is cracked and in need of replacement. Recommend replacing to prevent water from entering the attic.

Recommendation

Contact a qualified roofing professional.



4: BASEMENT, FOUNDATION, CRAWLSPACE & STRUCTURE

		IN	NI	NP	D
4.1	Foundation	X			X
4.2	Basements & Crawlspace	X			
4.3	Floor Structure	X			
4.4	Wall Structure	X			
4.5	Ceiling Structure		X		
4.6	Roof Structure & Attic		X		

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiencies

Information

Foundation: Material
Masonry Block

Basements & Crawlspace:
Crawlspace Entry
West
Exterior

Basements & Crawlspace:
Method of Observation
Crawled



Basements & Crawlspace:
Columns or Peirs
Wood Piers, Supporting Walls

Floor Structure:
Basement/Crawlspace Floor
Concrete

Floor Structure: Floor Structure
Wood Beams, 2x6

Floor Structure: Sub-floor
Plywood

Ceiling Structure: Ceiling Structure
Not Visible

Roof Structure & Attic: Material
Inaccessible

Roof Structure & Attic: Type

Gable

Roof Structure & Attic: Roof Structure

Not Visible

Roof Structure & Attic: Attic Info

No Access

Roof Structure & Attic: Method of Observation

Not Accessible

Limitations

Ceiling Structure

NO ACCESS

VAULTED CEILINGS

There was no attic access.

Roof Structure & Attic

NO ACCESS

VAULTED CEILING

There was no attic access.

Deficiencies

4.1.1 Foundation

FOUNDATION CRACKS - MINOR

FOUNDATION

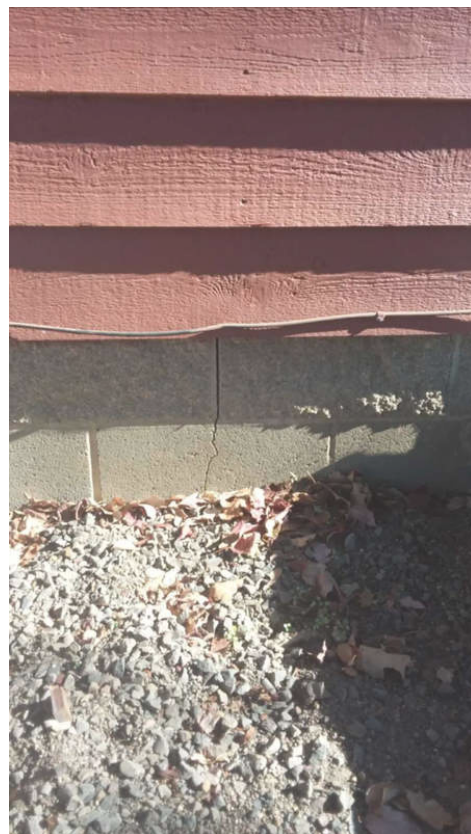
 Recommendation

Minor cracking was noted at the foundation. This is common as concrete ages and shrinkage surface cracks are normal. Recommend monitoring for more serious shifting/displacement.

[Here is an informational article](#) on foundation cracks.

Recommendation

Recommend monitoring.



4.1.2 Foundation

EFFLORESCENCE

SEVERAL LOCATIONS

Water staining on foundation indicates that gutters may be clogged and causing moisture to be absorbed into foundation. Recommend maintenance on gutters drainage system to direct water away from home. Also, ensure that the sprinkler system is not hitting the siding/foundation.

Recommendation

Recommend monitoring.



Recommendation



5: HEATING

		IN	NI	NP	D
5.1	Equipment	X			X
5.2	Normal Operating Controls	X			
5.3	Distribution Systems	X			X
5.4	Presence of Installed Heat Source in Each Room	X			

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiencies

Information

Equipment: Brand

Frigidaire

Equipment: Energy Source

Electric

Equipment: Heat Type

Forced Air, Heat Pump



Equipment: Filter Type

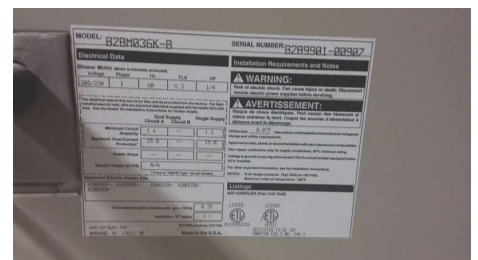
Disposable

Equipment: Filter Size

20x20

Equipment: Manufacture Date

1999 Year



Equipment: Working

The furnace was in good working condition at time of inspection.



Normal Operating Controls:

Thermostat

Hallway Wall

The thermostat was operable.



Distribution Systems: Ductwork

Insulated

Deficiencies

5.1.1 Equipment

Recommendation

INADEQUATE HEAT

Furnace was operating at the time of inspection, however very little or no heat was produced. Recommend a qualified HVAC technician evaluate and repair.

Recommendation

Contact a qualified HVAC professional.

5.3.1 Distribution Systems

Recommendation

DUCT DAMAGED

CRAWLSPACE EAST

Air supply duct has water inside. Recommend a qualified HVAC contractor repair.

Recommendation

Contact a qualified HVAC professional.



6: COOLING

		IN	NI	NP	D
6.1	Cooling Equipment		X		
6.2	Normal Operating Controls		X		
6.3	Distribution System	X			
6.4	Presence of Installed Cooling Source in Each Room	X			

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiencies

Information

Cooling Equipment: Brand
Copeland

Cooling Equipment: Energy Source/Type
Electric, Central Air Conditioner, Heat Pump

Cooling Equipment: Location
Exterior West



Cooling Equipment: Manufacture Date
West
1999 Manufacture Date

Cooling Equipment: Maintenance
Recommend maintenance annually.

Distribution System: Configuration
Central



Limitations

Cooling Equipment

LOW TEMPERATURE

WEST

The A/C unit was not tested due to low outdoor temperature (<65 Degrees). This may cause damage the unit.

Normal Operating Controls

OUTDOOR TEMPERATURE WAS BELOW 65, UNSAFE TO OPERATE A/C

7: PLUMBING

		IN	NI	NP	D
7.1	Main Water Shut-off Device	X			
7.2	Drain, Waste, & Vent Systems	X			
7.3	Water Supply, Distribution Systems & Fixtures	X			X
7.4	Hot Water Systems, Controls, Flues & Vents	X			X
7.5	Fuel Storage & Distribution Systems			X	
7.6	Sump Pump			X	

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiencies

Information

Filters

Sediment Filter, System flush,
Whole house conditioner

Water Source

Well

Main Water Shut-off Device: Location

Basement



Drain, Waste, & Vent Systems:

Drain Size
2"

Drain, Waste, & Vent Systems:

Material
ABS

**Water Supply, Distribution
Systems & Fixtures: Distribution
Material**
Copper

**Water Supply, Distribution
Systems & Fixtures: Water
Supply Material**

Copper

Hot Water Systems, Controls, Flues & Vents: Capacity

80 gallons

Hot Water Systems, Controls, Flues & Vents: Location

Basement



Hot Water Systems, Controls, Flues & Vents: Power Source/Type

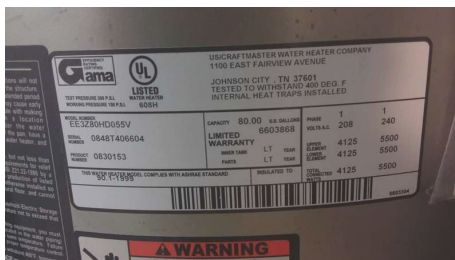
Electric

Hot Water Systems, Controls, Flues & Vents: Manufacture Date

2008 Year

Fuel Storage & Distribution Systems: Main Gas Shut-off Location

None



Fuel Storage & Distribution Systems: Appliances on Gas

None

Hot Water Systems, Controls, Flues & Vents: Manufacturer

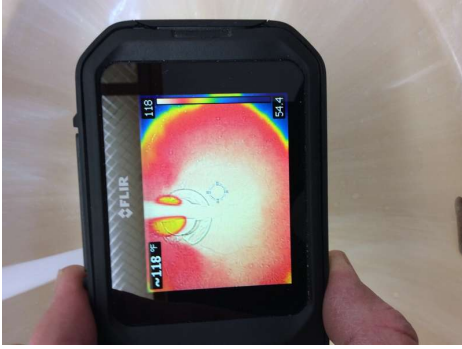
Whirlpool

I recommend flushing & servicing your water heater tank annually for optimal performance. Water temperature should be set to at least 120 degrees F to kill microbes and no higher than 130 degrees F to prevent scalding.

[Here is a nice maintenance guide from Lowe's to help.](#)

Hot Water Systems, Controls, Flues & Vents: Working

The hot water heater was in good working condition at the time of inspection.



Deficiencies

7.3.1 Water Supply, Distribution Systems & Fixtures



Recommendation

HOT AND COLD WATER LINES REVERSED ON BATHROOM SINK

BATHROOM

Recommend repair by licensed plumber

Recommendation

Contact a qualified professional.



7.4.1 Hot Water Systems, Controls, Flues & Vents



Recommendation

INSUFFICIENT STRAPPING

The water heater is not properly strapped. A strap should be on the upper 1/3 and the lower 1/3, secured to the studs in the wall.

Recommend repair.

Recommendation

Contact a qualified professional.



7.4.2 Hot Water Systems, Controls, Flues & Vents

 Recommendation

NO TEMPERATURE & PRESSURE RELIEF EXTENSION

An extension should be placed on the T&P valve that extends within 6 inches of the floor. Recommend repair by a licensed plumber.

Recommendation

Contact a qualified plumbing contractor.



8: ELECTRICAL

		IN	NI	NP	D
8.1	Service Entrance Conductors	X			
8.2	Main & Subpanels, Service & Grounding, Main Overcurrent Device	X			X
8.3	Branch Wiring Circuits, Breakers & Fuses	X			
8.4	Lighting Fixtures, Switches & Receptacles	X			X
8.5	GFCI & AFCI	X			
8.6	Smoke Detectors	X			X
8.7	Carbon Monoxide Detectors	X			

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiencies

Information

Service Entrance Conductors: Electrical Service Conductors

Below Ground, 220 Volts



Main & Subpanels, Service & Grounding, Main Overcurrent Device: Main Panel Location

West (Exterior)

Main & Subpanels, Service & Grounding, Main Overcurrent Device: Panel Capacity

200 AMP

Main & Subpanels, Service & Grounding, Main Overcurrent Device: Panel Manufacturer

Siemens

Main & Subpanels, Service & Grounding, Main Overcurrent Device: Panel Type

Circuit Breaker

Branch Wiring Circuits, Breakers & Fuses: Branch Wire 15 and 20 AMP

Copper

Branch Wiring Circuits, Breakers & Fuses: Wiring Method

Romex

Branch Wiring Circuits, Breakers & Fuses: Panel with cover removed
Basement



Main & Subpanels, Service & Grounding, Main Overcurrent Device: Sub Panel Location
Garage, Basement



GFCI & AFCI: Good working condition

The GFCI outlets were installed in the correct areas and in good working condition at the time of inspection.

Smoke Detectors: Smoke Detectors

3

The smoke detector should be tested at common hallway to bedrooms upon moving in to home. For many years NFPA 72, National Fire Alarm and Signaling Code, has required as a minimum that smoke alarms be installed inside every sleep room (even for existing homes) in addition to requiring them outside each sleeping area and on every level of the home.

Smoke Detectors: Test Smoke Detectors

Recommend testing all smoke and CO2 detectors upon moving into the home. According to the U.S. Fire Administration (USFA), smoke detectors should be tested at least once a month and batteries should be replaced at least once or twice a year.

Deficiencies

8.2.1 Main & Subpanels, Service & Grounding,
Main Overcurrent Device



Recommendation

MISSING PANEL SCREWS

BASEMENT

The main panel is missing screws that hold the cover in place.
Recommend replacing with flat head compressed thread screws.

Recommendation

Contact a handyman or DIY project



8.4.1 Lighting Fixtures, Switches & Receptacles



Recommendation

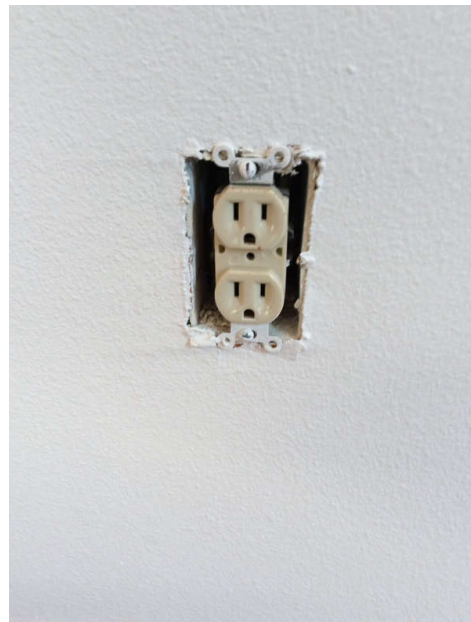
COVER PLATES MISSING

BEDROOM WEST

One or more receptacles are missing a cover plate. This causes short and shock risk. Recommend installation of plates.

Recommendation

Recommended DIY Project



8.6.1 Smoke Detectors

 Recommendation

ADDITIONAL SMOKE DETECTORS

For many years NFPA 72, National Fire Alarm and Signaling Code, has required as a minimum that smoke alarms be installed inside every sleep room (even for existing homes) in addition to requiring them outside each sleeping area and on every level of the home. Recommend installing smoke detectors in sleeping rooms. Recommend installing per manufacture recommendations.

Recommendation

Recommended DIY Project

9: ATTIC, INSULATION & VENTILATION

		IN	NI	NP	D
9.1	Attic Insulation		X		
9.2	Floor insulation	X			
9.3	Vapor Retarders (Crawlspace or Basement)	X			
9.4	Attic & Crawlspace Ventilation	X			
9.5	Exhaust Systems	X			X

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiencies

Information

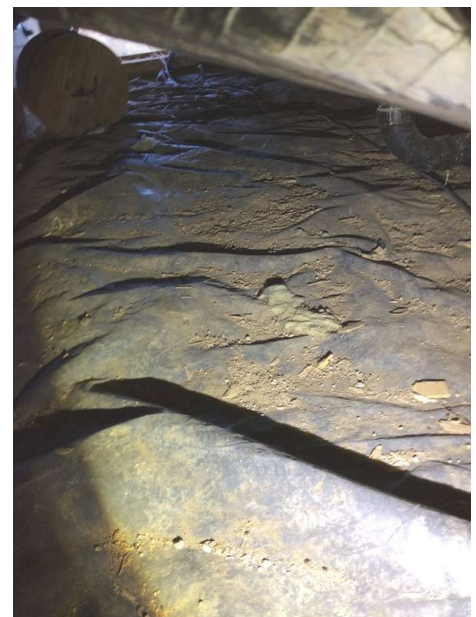
Attic Insulation: Insulation Type
Not Visible

Floor insulation : Floor insulation
Batts



Vapor Retarders (Crawlspace or Basement): Good Condition
Crawlspace

The vapor retarder is installed and in good condition.



Attic & Crawlspace Ventilation: Ventilation Type
Gable Vents, Passive, Soffit Vents

Exhaust Systems: Exhaust Fans
Fan Only

Exhaust Systems: Dryer Power Source
220 Volt

Exhaust Systems: Dryer Vent
Metal - Flex

Limitations

Attic Insulation

NO ACCESS

VAULTED CEILINGS

There is no attic access. I was unable to inspect for insulation.

Deficiencies

9.5.1 Exhaust Systems

DAMAGED DRYER DAMPER

WEST

The dryer vent on the exterior on the house is damaged and can allow pests to enter the duct. Recommend replacing damper.

Recommendation

Contact a qualified professional.



Recommendation



10: DOORS, WINDOWS & INTERIOR

		IN	NI	NP	D
10.1	Doors	X			X
10.2	Windows	X			X
10.3	Floors	X			
10.4	Walls	X			
10.5	Ceilings	X			
10.6	Steps, Stairways & Railings	X			
10.7	Countertops & Cabinets	X			
10.8	Bathrooms	X			

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiencies

Information

Doors: Interior Doors

Solid, Wood

Windows: Window Manufacturer **Windows: Window Type**

Unknown

Casement, Single Pane, Awning

Floors: Floor Coverings

Carpet, Hardwood, Tile

Walls: Wall Material

Drywall

Ceilings: Ceiling Material

Drywall

Countertops & Cabinets:

Cabinetry

Wood

Countertops & Cabinets:

Countertop Material

Granite

Limitations

General

COSMETIC ISSUES NOT ADDRESSED

Issues that are considered as cosmetic are not addressed in this report. (Holes, stains, scratches, unevenness, missing trim, paint and finish flaws or odors). It is not the intent of this report to make the house new again.

Deficiencies

10.1.1 Doors

DOOR TRIM MISSING

MASTER BATH



Recommendation

Recommend installing wood trim on door for finished appearance.

Recommendation

Contact a qualified professional.



10.2.1 Windows

 Recommendation

WINDOW HARDWARE DAMAGED

MASTER BATHROOM

The window on the east side of the house does not lock. Recommend replacement.

Recommendation

Contact a qualified handyman.



10.2.2 Windows

 Recommendation

WATER DAMAGE

WINDOW FRAME

There is water damage at one or more windows. Recommend resealing to prevent further damage.

Recommendation

Contact a qualified handyman.



10.2.3 Windows

PAINT FAILING

WINDOW FRAMES

Recommend resealing to prevent further damage to window

Recommendation

Contact a qualified professional.

 Recommendation



11: BUILT-IN APPLIANCES

		IN	NI	NP	D
11.1	Dishwasher	X			X
11.2	Range/Oven/Cooktop	X			
11.3	Garbage Disposal			X	
11.4	Built-in Microwave			X	
11.5	Refrigerator		X		
11.6	Range Hood			X	

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiencies

Information

Dishwasher: Brand

Maytag

Range/Oven/Cooktop:

Range/Oven Brand

Maytag

Range/Oven/Cooktop:

Range/Oven Energy Source

Electric

Refrigerator: Brand

Whirlpool

Dishwasher: Working

Kitchen

The dishwasher was in good working condition at the time of inspection. It was run on a rinse cycle.

Range/Oven/Cooktop: Working

Kitchen

The cooktop and oven were tested and in good working condition at the time of inspection.

Limitations

Refrigerator

UNPLUGGED

KITCHEN

Deficiencies

11.1.1 Dishwasher



CREATE HIGH LOOP

Recommend creating a high loop with the dishwasher drain line to prevent backflow from the kitchen sink.

Recommendation

Recommended DIY Project



12: GARAGE

		IN	NI	NP	D
12.1	Ceiling	X			
12.2	Floor	X			
12.3	Walls & Firewalls	X			
12.4	Garage Door	X			X
12.5	Overhead Door & Opener	X			
12.6	Occupant Door (From garage to inside of home)			X	
12.7	Windows	X			X

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiencies

Information

Garage Door: Material

Steel

Overhead Door & Opener: Type

Automatic

Overhead Door & Opener: Brand

Chamberlain

Overhead Door & Opener:

Material

Metal

Floor: Typical Settlement Cracks

Garage

Cracks in the garage floor slab are typical. They are not indicative of structural issues.

Deficiencies

12.4.1 Garage Door



RECOMMEND STEPS

GARAGE WEST

Recommend installing steps on the exterior door of the garage.

Recommendation

Contact a qualified professional.



12.7.1 Windows

BROKEN SEAL

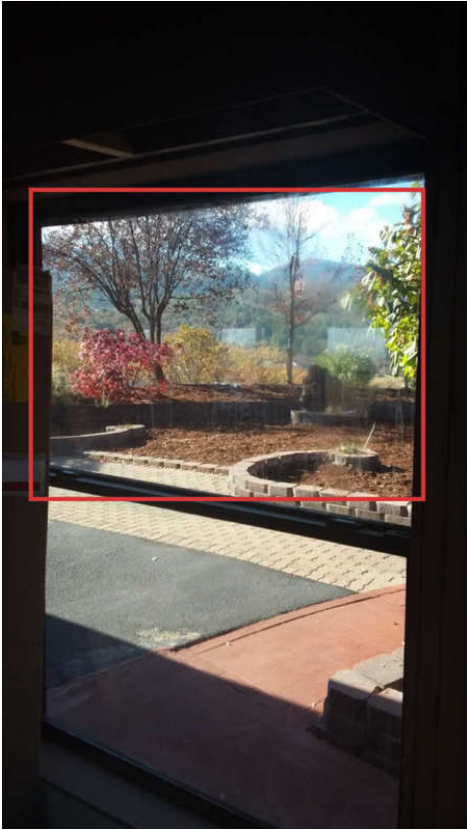
GARAGE

Several of the seals on the garage windows are broken, recommend a window contractor to evaluate and replace the window sashes.

Recommendation

Contact a qualified window repair/installation contractor.





13: PEST INSPECTION

		IN	NI	NP	D
13.1	Exterior	X			
13.2	Deck	X			
13.3	Garage	X			
13.4	Outbuildings			X	
13.5	Interior	X			
13.6	Attic	X			
13.7	Crawlspace	X			X

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiencies

Information

Type

Rodents

Evidence

Feces

Crawlspace: Pest activity observed in crawlspace

Crawlspace floor

Recommend baiting as needed.



Limitations

General

FUTURE INFESTATIONS

Future infestations of vermin, insects or other animal activity can not be known or predicted.

Deficiencies

13.7.1 Crawlspace

SIGNS OF RODENTS



There were signs of rodents in the crawlspace. I was unable to determine if it is old or active. Recommend baiting as needed.

Recommendation

Contact a qualified pest control specialist.