



## RESIDENTIAL REPORT

1234 Main St.  
Lake Worth FL 33467

Buyer Name

11/02/2018 9:00AM



Inspector

**Scott Ellis**

InterNACHI Certified FL License HI11459

8632282033

[sellis@obsessedinspections.com](mailto:sellis@obsessedinspections.com)



Agent

**Agent Name**

555-555-5555

[agent@spectora.com](mailto:agent@spectora.com)

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# SUMMARY

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MAINTENANCE ITEM



RECOMMENDATION



SAFETY/SIGNIFICANT DEFECTS

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-  3.2.1 Roof - Tile: Cracked/Broken Tiles
-  3.4.1 Roof - Roof Drainage Systems: Downspouts Drain Near House
-  3.4.2 Roof - Roof Drainage Systems: Gutter Damaged
-  4.1.1 Exterior - Eaves, Soffits & Fascia: Fascia - Wet Stains
-  4.2.1 Exterior - Exterior Walls : Hairline Stucco Cracking
-  4.2.2 Exterior - Exterior Walls : Mildew/Algae
-  4.2.3 Exterior - Exterior Walls : Repair Stucco
-  4.5.1 Exterior - Driveway, Walkway, Patio: Cracked Tile-Sidewalk/Patio
-  4.8.1 Exterior - Plumbing: Valve Leaking
-  9.3.1 Plumbing - Water Heater : No Expansion Tank 2012
-  11.4.1 Bathrooms - Sink/countertop: Stopper issue
-  12.2.1 Interior - Floors: Cracked tiles
-  13.3.1 Laundry - Electrical: No GFCI by sink

# 1: SCOPE AND LIMITATIONS

## Information

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### Information : Your Report

Thank you for choosing Obsessed Inspections LLC to inspect your new home. Please carefully read your entire Inspection Report. If you have any questions don't hesitate to ask. This report is based on an inspection of the visible portion of the structure at the time of the inspection with a focus on safety and function, not on current building or municipality codes. I always recommend that you and/or your representative carry out a final walk-through inspection immediately before closing to check the condition of the property.

### Information : Scope of the Inspection

#### SCOPE OF THE INSPECTION:

Obsessed Inspections LLC strives to perform all inspections in substantial compliance with the Standards of Practice (SOP) of the International Association of Certified Home Inspectors (InterNACHI). As such, we inspect the readily accessible, visually observable, installed systems and components of a home as designated in the SOP. When systems or components designated in the SOP are present but are not inspected, the reason(s) the item was not inspected is identified within the limitations of this report. This report contains observations of those systems and components that, in the professional judgment of the inspector, are not functioning properly, significantly deficient, unsafe, or are near the end of their service lives. If the cause for the deficiency is not readily apparent, the suspected cause or reason why the system or component is defective or near the end of expected service life is reported, and recommendations for further evaluation, correction or monitoring are made as appropriate.

#### USE OF PHOTOS AND VIDEOS:

Your report may include photographs and videos (images). Some images are informational and of a general view, to help you understand where the inspector has been, what was looked at and the condition of the item, system or area at the time of the inspection. Some of the images may be of problem areas or defects, these are to help you better understand what is documented in this report and to help you see areas or items that you normally would not see. Not all problem areas or defects will be supported with images.

### Information : Category Description

This report divides deficiencies into three categories:

**Maintenance Items** (colored in **BLUE**),

**Recommendations** (in **ORANGE**)

**Safety/Significant Defects** (in **RED**).

**MAINTENANCE ITEMS:** Include components that were found to be in need of recurring or basic general maintenance to protect either the component or the occupants. Typically these observations are more informational in nature and represent more of a future to-do list rather than something you might use as a negotiation or Seller-repair item.

**RECOMMENDATIONS:** Include comments of a deficiency, a latent defect or a suggested improvement of a item, component or a system which may have appeared functional at the time of the inspection. These observations are in need of repair, service or showing signs of deterioration that could result to an adverse condition at some point in the future and should be address by a license contractor or qualified handyman.

**SAFETY/SIGNIFICANT DEFECTS:** Will denote a brief comment of a significantly deficient component or a condition, which will require a relatively short term correction and/or expense. These will typically fall into one of the following four categories:

1. Major defects. An example of this might be a structural failure.
2. Things that may lead to major defects, such as a roof flashing leak, for example.
3. Things that may hinder your ability to finance, legally occupy, or insure the home.
4. Safety hazards, such as an exposed, live electrical wiring.

Anything in these categories should be addressed. Often, a serious problem can be corrected inexpensively to protect both life and property.

This categorization is the opinion of the inspector and is based on what was observed at the time of inspection. It is not intended to imply that items documented in any one category are not in need of correction. Maintenance items or latent defects not repaired can soon become significant defects. It should be considered very likely there will be other issues you personally may consider deficient, and you should add these as desired. There may also be defects that you feel belong in a different category, and again, you should feel free to consider the

importance you believe they hold and act accordingly.

Please review this report in its entirety. It is ultimately up to your discretion to interpret its findings and to act accordingly. This report does not offer an opinion as to whom among the parties to this transaction should take responsibility for addressing any of these concerns. As with all aspects a real estate transaction, you should consult with your Realtor for further advice regarding the contents of this report. Any repairs should be performed by the properly licensed and bonded tradesman or qualified professional/contractor who will provide copies of all receipts, warranties and applicable permits for any repairs that are carried out.

**Environmental issues**

The following list are common items that can exist in a building, but are outside the scope of our general inspection.

- Mold
- Radon
- Chinese Drywall
- Asbestos
- Wood-Destroying Organism
- Rodent, bat or pest feces/urine
- Buried tanks or soil contamination

Specific inspections intended to confirm or deny that any of the noted concerns are present during the inspection are not performed. These would require additional testing or an evaluation for positive conformation of their existence. In the event common signs or the potential presence are suspected by the inspector, we will report it and suggest further investigation. Mold would be a secondary result of moisture related building issues, and active visible moisture evidence would be documented if it found. If additional testing is desired you can contact us for refer services.

## 2: INSPECTION DETAILS

### Information

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**In Attendance**

Buyers, Buyer's Agent, Seller's Agent

**Property Occupancy**

Furnished, Occupied

**Temperature**

85 (F)

**Time Start**

3:00

**Utilities**

All Utilities On

**Weather Conditions**

Recent Rain

**Structure Details: Floor Structure**

Concrete

**Structure Details: Foundation Type**

Slab on Grade

**Structure Details: Structures Inspected**

House

**Structure Details: Type of Structure**

Single Family

**Structure Details: Year Built**

1998

**Structure Details: Front Exposure Faces**

East

## 3: ROOF

### Information

#### General: Roof Inspection Method

With Binoculars, Ground Level Walked Around

#### General: Roof Type/Style

Hip

#### General: Roof Material

Tile, Concrete

#### General: Approximate Roof Age

20 Years

The exact is undetermined. Ask seller about exact age and warranties.

#### Roof Penetrations: Vents

Good Condition

#### Roof Drainage Systems: Gutter Material

Aluminum

#### Roof Drainage Systems: Condition

Functional

#### Roof Flashings: Material

Aluminum

#### Roof Flashings: Condition

Functional

#### General: Roof Pictures



### Limitations

General

#### COULDN'T TRAVERSE

Normally the inspector attempts to traverse roof surfaces during the inspection. However, due to *type of roof covering (slippery or fragile) / roof configuration (steep or very high) / slippery conditions*, the inspector was unable to traverse the roof and wasn't able to fully evaluate the entire roof surface

Roof Penetrations

#### INSPECTED FROM THE GROUND ONLY

Roof Drainage Systems

#### INSPECTED FORM THE GROUND ONLY

Roof Flashings

**THE FLASHING WAS NOT ACCESSIBLE****Observations**

3.2.1 Tile

**CRACKED/BROKEN TILES**

ALL AROUND ROOF

There are broken/cracked Roofing tiles. This can expose the underlayment to UV rays causing deterioration. This can lead to leaks if the proper repairs are not made. A licensed roofing contractor should repair or replace any broken tiles.

Recommendation

Contact a qualified roofing professional.



3.4.1 Roof Drainage Systems

**DOWNSPOUTS DRAIN NEAR HOUSE**

ALL AROUND HOUSE

One or more downspouts drain too close to the home's foundation. This can result in excessive moisture in the soil at the foundation, which can lead to foundation/structural movement. Recommend a qualified contractor adjust downspout extensions to drain at least 6 feet from the foundation.

[Here is a helpful DIY link](#) and video on draining water flow away from your house.



3.4.2 Roof Drainage Systems

**GUTTER DAMAGED**

WESTSIDE/BACKYARD

Gutters were damaged. This can result in excessive moisture in the soil at the foundation, which can lead to foundation/structural movement. Recommend a qualified contractor evaluate and repair.



Recommendation

Contact a qualified professional.





## 4: EXTERIOR

### Information

**Eaves, Soffits & Fascia:  
Condition**

Functional, Monitor

**Exterior Walls : Wall Covering**  
Stucco

**Exterior Walls : Wall Structure**  
Concrete Block (CBS)

**Exterior Windows: Window Type**  
Double-hung

**Exterior Windows: Condition**  
Functional

**Exterior Doors: Door Type**  
Fiberglass

**Exterior Doors: Condition**  
Functional

**Driveway, Walkway, Patio:  
Driveway Material/Condition**  
Concrete, Good Condition

**Driveway, Walkway, Patio: Patio  
Material/Condition**  
Tile, Good Condition

**Driveway, Walkway, Patio:  
Walkway Material/Condition**  
Tile, Needs Repair

**Fencing & Gates: Fencing Type**  
Chain Link

**Fencing & Gates: Condition**  
Functional

**Vegetation, Grading, Drainage: Condition**  
Good

The general grading around the house foundation perimeter ideally should slope about 6 inches over the first 10 feet away from the house foundation. Monitoring during a rainstorm is always recommended.

### Observations

#### 4.1.1 Eaves, Soffits & Fascia



Recommendation

#### FASCIA - WET STAINS

ALL AROUND HOUSE

Stains were found at one or more fascia boards. The stains appeared to be from a gutter leak and roof joint due to dripping water, high moisture content, etc. This is a conducive condition for wood-destroying organisms. Recommend that a qualified contractor evaluate and repair as necessary. For example, by repairing the roof surface or flashing or installing drip-edge flashing.

Recommendation

Contact a qualified roofing professional.



#### 4.2.1 Exterior Walls



Recommendation

#### HAIRLINE STUCCO CRACKING

SOUTHSIDE AROUND WINDOWS

One or more minor hairline cracks were found in the stucco or wall

areas. It is unknown the age of these cracks. At the time of inspection nothing out of the ordinary of normalized cracking was noticed. Recommend caulking and painting these areas, along with monitoring for future movement/widening. Stucco cracks over framing can allow moisture penetration behind wall areas and can potentially damage sheathing/framing. Note that areas concealed behind walls are not able to be evaluated without invasive testing and cannot be evaluated.

Recommendation

Contact a stucco repair contractor



4.2.2 Exterior Walls

 Maintenance Item

**MILDEW/ALGAE**

There are signs of algae and/or mildew on the siding. This is a cosmetic issue and is not uncommon especially on shaded portions of the home. Recommend that said areas be washed or cleaned on a regular basis.



4.2.3 Exterior Walls

 Recommendation

**REPAIR STUCCO**

NORTHWEST SIDE BACKYARD

Cracks, deterioration and/or damage were found in one or more areas of the exterior stucco finish. In damp climates, moisture can enter cracks or damaged areas and further deteriorate the stucco. Also the wall behind the stucco can become damaged from moisture. Note that areas behind the stucco are inaccessible and excluded from this inspection. Recommend that a qualified contractor repair or replace stucco as necessary.

Recommendation

Contact a stucco repair contractor



4.5.1 Driveway, Walkway, Patio

 Recommendation

**CRACKED TILE-SIDEWALK/PATIO**

WERE DRIVEWAY MEETS WALKWAY

One or more of the sidewalk or patio tiles are chipped or cracked. Any paver with a deficiency should be replaced by a certified contractor to help prevent future deterioration.

Recommendation

Contact a qualified professional.



4.8.1 Plumbing

 Recommendation

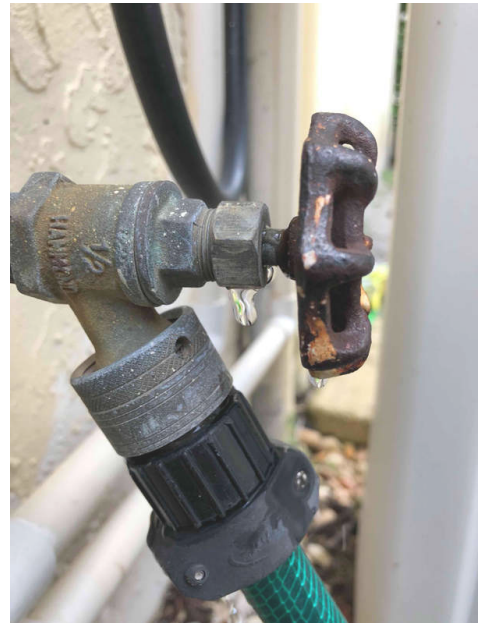
**VALVE LEAKING**

NORTHSIDE BY ELECTRICAL PANEL

The hose bib valve was leaking on one of the exterior hose bibs. Recommend repair or replace valve as necessary.

Recommendation

Contact a qualified plumbing contractor.



## 5: IRRIGATION SYSTEM

### Information

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**Type of System**

Well

**Control Panel Location**

Southside

**Number of Zones**

8

**Relay & Pump Location**

Southside

### Limitations

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Irrigation/Sprinker

**APP CONTROLLED IRRIGATION**

It is the understanding of that the Irrigation system is controlled by a phone app.



## 6: GARAGE

### Information

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**Floors, Walls, Ceiling: Condition**

Good Condition

**Occupant Door (From garage to inside of home): Condition**

Functional

**Garage Door Opener: Condition**

Functional

**Garage Door: Type**

Automatic

**Garage Door: Material**

Metal, Insulated

**Garage Door: Condition**

Functional

**Garage Door: Garage Door Safety**

VEHICLE DOOR: safety tips:

1. The garage door is the largest moving object in the home. It can weigh hundreds of pounds. Often it is supported with spring tension. Both the weight of the door itself and the condition of these powerful springs can be dangerous on their own. Combined these two items can become a potentially lethal item. During our inspection, we attempt to inspect vehicle doors for proper operation.
2. Operation of the safety mechanisms should be verified monthly. Switches for door openers should be located as high as practical to prevent children from playing with the door. Children should be warned of the potential risk of injury.
3. Regular lubrication of the garage door tracks, rollers, springs and mounting hardware is recommended. (consult the owners manual or contact the door/opener manufacture. [www.overheaddoor.com/Pages/safety-information.aspx](http://www.overheaddoor.com/Pages/safety-information.aspx))

## 7: ATTIC

### Information

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**Attic Access: Access Location**

Garage

**Attic Access: Access Type**

Ladder

**Attic Access: Inspection Method**

Viewed from access

**Attic Insulation: Insulation Type**

Blown

**Attic Insulation: Thickness**

8 in

**Roof Structure: Ceiling Structure**

Trusses

**Roof Structure: Roof Type**

Trusses, Plywood Deck

**Roof Structure: Condition**

Good Condition

**Ventilation: Type**

Soffit Vents

### Limitations

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Attic Access

**AREAS INACCESSIBLE**

Some attic areas were inaccessible due to lack of permanently installed walkways, the possibility of damage to insulation, low height and/or stored items. These areas are excluded from this inspection.

## 8: HVAC

### Information

**General: A/C Type**

Split System

**General: Cooling source**

Electric

**General: Heat Type**

Forced Air

**General: Heat Source**

Electric

**General: Heat Kilowatts**
Unit 1  
10 KW
**General: Heat Kilowatts**
Unit 2  
8 KW
**General: Last Service Date**

3/29/18

**General: Temperature in the Heat Setting**
Unit 1  
90
**General: Temperature in the Heat Setting**
Unit 2  
88
**T-Stat Control: T-Stat Location**

Hallway

**T-Stat Control: Thermostat Initial Setting**

74 78

**Filter: Filter Location**

In Hallway

**Filter: Condition**

Clean

**Air Handler: Manufacturer**

Trane

**Air Handler: Air Handler Year Manufacture**
Unit 2  
2009
**Air Handler: Air Handler Year Manufacture**
Unit 1  
2018
**Air Handler: Air Handler Unit Locations**

Garage

**Air Handler: Air Handler Condition**

Good

**Condensing Unit: Manufacturer**

Trane

**Condensing Unit: Condenser Year Manufacture**
Unit 2  
2010
**Condensing Unit: Condenser Year Manufacture**
Unit 1  
2018
**Condensing Unit: Condenser Unit Locations**

Exterior South

**Condensing Unit: Condenser Condition**

Good

**Distribution System (Duct): Type**

Flex Duct, Fiberglass Dust

**Distribution System (Duct): Location**

Attic

**Distribution System (Duct): Condition**

Good

**General: Relative Humidity at the time of inspection**

50

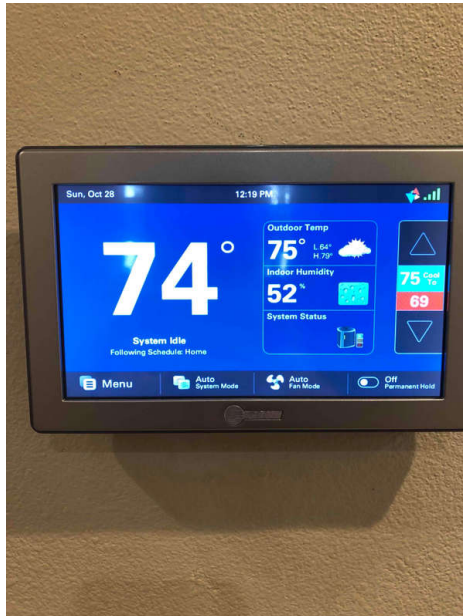
According to the US EPA 30 to 50% is most comfortable and levels above 60% are conducive to mold and mildew growth.

**General: Temperature Cool Split / Differential**

16

The AC or Heat Pump Temperature Split is the comparison of the Return Air (air going into the system) as compared to the Supply Air (air coming out of the system). A healthy AC/Heat Pump should be operating with a 14-21F Temperature Split.

**T-Stat Control: Picture**



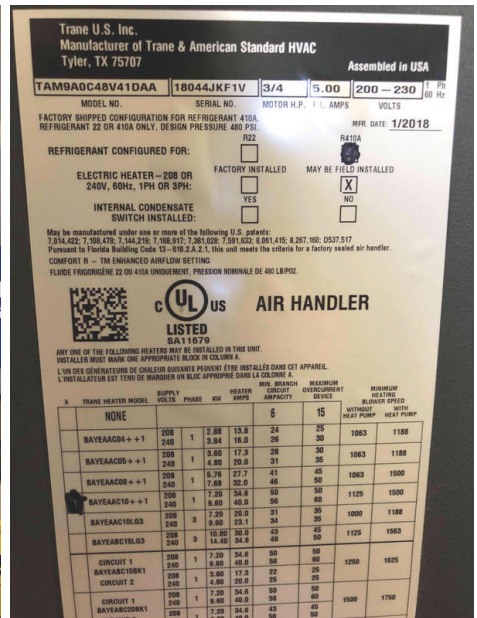
**Filter: Filter Advice**

Recommend that home buyers replace or clean HVAC filters upon taking occupancy depending on the type of filters installed. Regardless of the type, recommend checking filters monthly in the future and replacing or cleaning them as necessary. How frequently they need replacing or cleaning depends on the type and quality of the filter, how the system is configured (e.g. always on vs. "Auto"), and on environmental factors (e.g. pets, smoking, frequency of house cleaning, number of occupants, the season).

**Air Handler: Over Flow Shutoff Device Present**

Float (condensate) shutoff switches are designed so that they will remain closed when water is going down the drain like its supposed to and then open (turn the AC unit off ) when an overflow condition occurs. In order for the switch to open it must be positioned in a location that is dry normally and will reliably fill with water when a drainage issue occurs.

**Air Handler: Pictures of unit**





Trane U.S. Inc. Manufacturer of Trane & American Standard HVAC Tyler, TX 75707 Assembled in USA

4TEC3F36B100AA B364JHXV 1/3 2.20 200-230

TRANE HEATER MODEL	SUPPLY VOLTAGE	PHASE	HEATER KW	HEATER AMPACITY	MFR. BRANCH CIRCUIT SEVERITY	HEATING OVERCURRENT SEVERE	MINIMUM HEATING FLOWER SPEED WITHOUT HEAT PUMP	MINIMUM HEATING FLOWER SPEED WITH HEAT PUMP
NONE								
			USE ACC PLATE BAYTR102		3	15		
BAYTR140S+++	208 240	1	3.80 4.80	17.3 20	24 28	25 30		LOW LOW
BAYTR140R+++	208 240	1	5.76 7.80	27.7 32	37 45	40 45		LOW LOW
BAYTR1410+++	208 240	1	7.20 9.60	34.8 40	46 53	50 60		LOW LOW
BAYTR3410000	208 240	3	7.20 9.60	30 34.8	37 43	40 45		LOW LOW
BAYTR3415000	208 240	3	11.53 15.36	53.1 69.2	66 89	60 80		LOW HIGH
CIRCUIT 1	208 240	1	7.20 9.60	34.8 40	46 53	50 60		LOW HIGH
BAYTR140S8RK	208 240	1	4.33 5.76	20.8 27.7	28 37	30 40		
CIRCUIT 2	208 240	1	5.76 7.80	28.8 32	30 40	30 40		
CIRCUIT 1	208 240	1	5.76 7.80	27.7 32	37 45	40 45		
BAYTR1410S8RK	208 240	1	8.64 11.52	41.8 48.8	60 60	60 60		LOW HIGH
CIRCUIT 1								
CIRCUIT 2								
CIRCUIT 3								

**CAUTION:** DESIGN HEATER MODEL WITH PROPER DISCONNECT AND RETELLER USE ONLY FACTORY VOLT SUPPLY FOR FIELD CONNECTIONS USE COPPER CONNECTIONS ONLY USE ONLY APPROVED COMBINATIONS OF ELECTRIC HEATERS AND WITH THE MFR'S INSTALLATION CLEARANCE TO COMPOSITE MATERIALS WHEN ELECTRIC HEATERS ARE INSTALLED. UNIT CABINET - P, PLASTER, C, AND PART C OF OUTER DUCT - P.

**NOTICE:** NOTABLE FOR UNAUTHORIZED SERVICE WITH ELECTRIC HEATERS OR DISCONNECT. UNIT TESTED AT 1.0 IN. W.C. EXTRACTOR MOTOR PROTECTION. May be manufactured under one or more of the following U.S. patents: 5,743,105; 6,346,876; 6,846,592; 5,774,406; 7,098,856; 7,466,009; 7,886,250.

Condensing Unit: Pictures of Unit



Distribution System (Duct): Pictures



# 9: PLUMBING

## Information

### General: Water Source

Public

### General: Water Pressure

60 PSI

### Main Water Supply : Supply Pipe

Copper, PVC

### Main Water Supply : Shut off Location

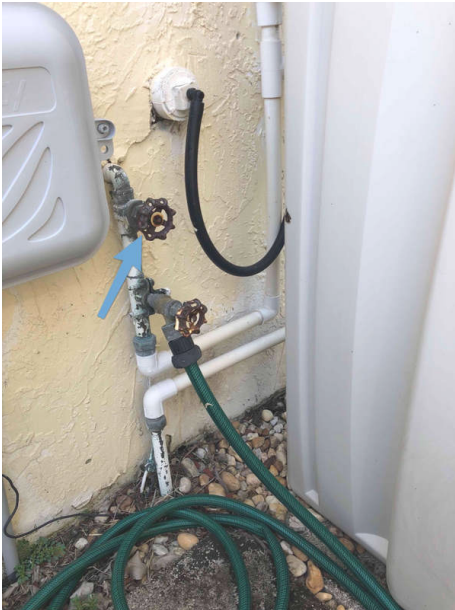
North

### Main Water Supply : Water Meter Location

Northeast next to sidewalk

### Water Heater : Type

Tank



### Water Heater : Power Source

Electric

### Water Heater : Year Manufacture

2017

### Water Heater : Water Capacity

85 gallons

### Water Heater : Water Temperature

120 Degrees

### Water Heater : Location

Garage

### Water Heater : Condition

Good

### Drain, Vent & Waste Pipe: Sewer Clean Out

Eastside next to garage

Clean out fitting is visible

### Interior Supply Pipe: Pipe Material

Copper, Where Visible

### General: Filters

Sediment Filter

Water conditioning or softening systems are beyond the scope of a home inspection. Recommend asking the seller for more information about the system, maintenance, age, etc. You may wish to have the system serviced prior to closing.

### Water Heater : Manufacturer

Rheem

I recommend flushing & servicing your water heater tank annually for optimal performance. Water temperature should be set to at least 120 degrees F to kill microbes and no higher than 130 degrees F to prevent scalding.

[Here is a nice maintenance guide from Lowe's to help.](#)

**Water Heater : TPR Valve Present**

The pressure temperature valve is a safety device that opens up and releases pressure (and hot scalding water) from the tank. This opening of the valve would happen if there's an excessive build-up of pressure or extreme temperatures in the water tank. The end of the pipe should be conspicuous, so that you can easily notice if it is leaking or discharging water. If the valve is discharging, something is wrong, turn off the water valve, turn off the gas, and call a plumber. All hot-water distribution pipe and tubing shall have a minimum pressure rating of 100 psi at 180F.

**Drain, Vent & Waste Pipe: Pipe Material**

PVC, Were visible

Not all of the drain pipes were readily visible. Much of the pipes are inside the walls and under ground.

## Observations

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### 9.3.1 Water Heater

**NO EXPANSION TANK 2012**

No expansion tank was present. Expansion tanks allow for the thermal expansion of water in the pipes. These have been required in certain areas for new installs or replacement since 2012. Recommend a qualified plumber evaluate and install.

Recommendation

Contact a qualified plumbing contractor.

# 10: ELECTRICAL

## Information

### Service/Meter Panel: Meter Location

Outside, North

### Service/Meter Panel: Main Amperage

200 AMP

### Distribution Panel: Main Amperage

200 AMP

### Distribution Panel: Panel Type

Circuit Breaker

### Branch Wiring Circuits: Wiring Method

Romex

### Service/Meter Panel: Panel Manufacturer

Square D

### Service/Meter Panel: Ground Rod

Present

### Distribution Panel: Panel Location

Garage

### Distribution Panel: Volts Type

120/240 Volts

### Smoke and CO alarms: Carbon Monoxide Test Button Responsive

Works

### Service/Meter Panel: Main Breaker Location

Outside with Meter

### Service Wires: Service Type

Below Ground, Copper

### Distribution Panel: Panel Manufacturer

Square D

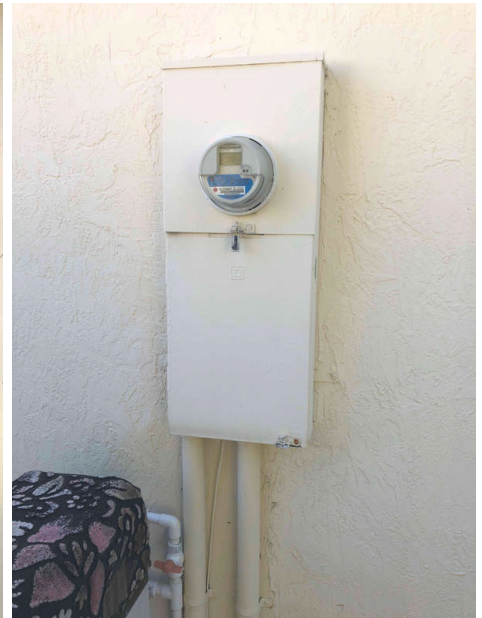
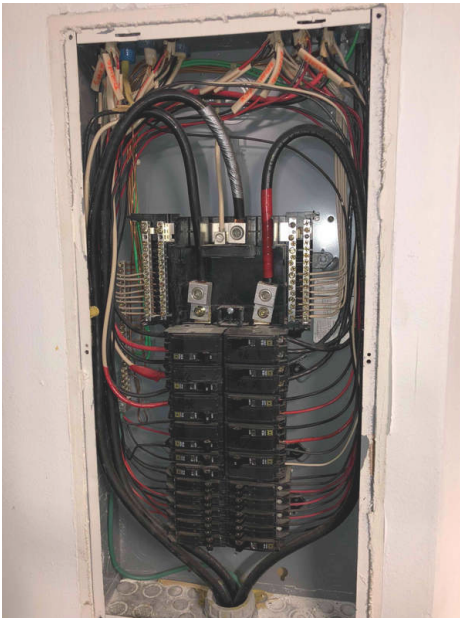
### Branch Wiring Circuits: Branch Wire Conductor

Copper

### Smoke and CO alarms: Smoke Test Buttons Responsive

Works

### Distribution Panel: Pictures



# 11: BATHROOMS

## Information

**Toilets: Condition**

Functional

**Shower: Condition**

Functional

**Bathub: Condition**

Functional

**Sink/countertop: Condition**

Functional

**Cabinets: Condition**

Good, Functional

**Exhaust Fan: Type**

Fan Only

**Exhaust Fan: Condition**

Functional

**Electrical: Condition**

Functional

## Observations

11.4.1 Sink/countertop



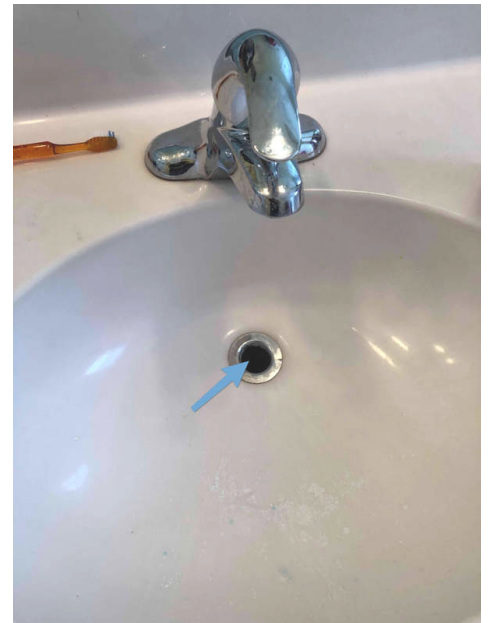
**STOPPER ISSUE**

GUEST BATHROOM

One or more sink stopper(s) mechanisms are missing, or need adjustment or repair. Stopper mechanisms should be installed where missing and/or repairs should be made so sink stoppers open and close easily.

Recommendation

Recommended DIY Project



# 12: INTERIOR

## Information

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**Door: Condition**

Functional

**Window Type**

Double-hung

**Condition**

Functional

**Floors: Floor Material**

Tile

**Floors: Condition**

Some Cosmetic Issues

**Walls: Wall Material**

Drywall

**Walls: Condition**

Good Condition

**Ceilings: Ceiling Material**

Drywall

**Ceilings: Condition**

Good Condition

**Electrical: Condition**

Functional

## Observations

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12.2.1 Floors

 Recommendation

**CRACKED TILES**

Tile is damaged and/or deteriorated in one or more areas. A qualified contractor should evaluate and make repairs as necessary. For example, replacing broken tiles.

Recommendation

Contact a qualified tile contractor

# 13: LAUNDRY

## Information

### General: Dryer Manufacturer

General Electric

### General: Dryer Power Source

220 Electric

### General: Washer Manufacturer

General Electric

### General: Water Supply Hoses & Drain

Functional

### Sink: Condition

Functional

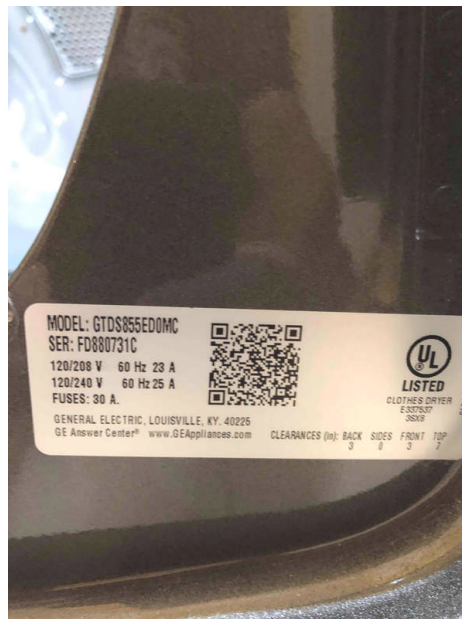
### General: Dryer Operation

We normally operate Clothes Dryers without a wash load. This gives us an idea of the unit's functionality, but we caution you, it does NOT replicate operating the unit fully loaded with a heavy wash load.

### General: Washer Operation

We normally operate Clothes Washers without a wash load. This gives us an idea of the unit's functionality, but we caution you, it does not replicate the unit fully loaded with a heavy wash load.

### General: Pictures



## Observations

### 13.3.1 Electrical

#### NO GFCI BY SINK



Safety/Significant Defects

The receptacle by the laundry sink that is not GFCI protected. It is recommended to have this receptacle switched to a GFCI for protection, to help prevent possibility of electrical shock.

#### Recommendation

Contact a qualified electrical contractor.





# 14: KITCHEN

## Information

**Dishwasher: Brand**

GE

**Dishwasher: Condition**

Functional

**Refrigerator: Brand**

GE

**Refrigerator: Condition**

Functional

**Oven/Cooktop: Brand**

GE

**Oven/Cooktop: Energy Source**

Electric

**Oven/Cooktop: Condition**

Functional

**Oven/Cooktop: Normal operation**

The heating elements for the oven and stove top functioned as expected.

**Microwave: Brand**

GE

**Microwave: Exhaust Fan**

Re-circulate

**Microwave: Condition**

Functional

**Microwave: Normal operation**

The Microwave operated as expected.

**Microwave: Type**

Mount

**Sink: Condition**

Functional

**Garbage Disposal: Condition**

Functional

**Cabinets: Condition**

Functional

**Countertops-Backsplash: Condition**

Functional

**Electrical: Condition**

Functional

**Appliance Pictures: Dishwasher**

**Appliance Pictures: Oven/Cooktop Temperature**

**Dishwasher: Dishwasher Operation**

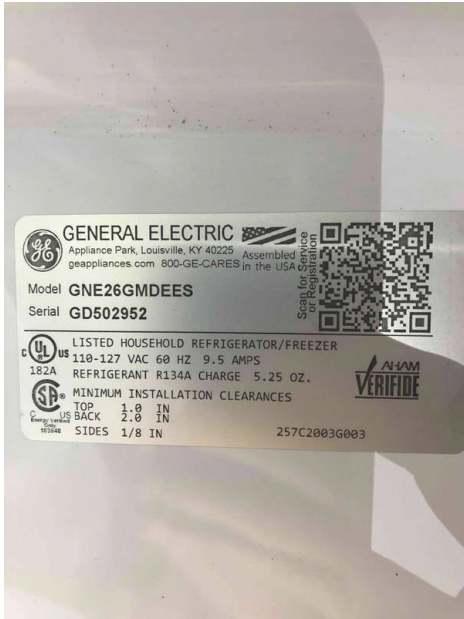
The dishwasher is functional and operated as expected. The unit was operated through a short cycle. No operational discrepancies were noted.

**Garbage Disposal: Normal operation**

The unit is functional as expected. The unit was turned on briefly and operated as expected and appears to be in functional condition.

- 1) The chopping was no nosier that typically expected.
- 2) The rubber splashguard was in reasonable condition.
- 3) No leaks were found.

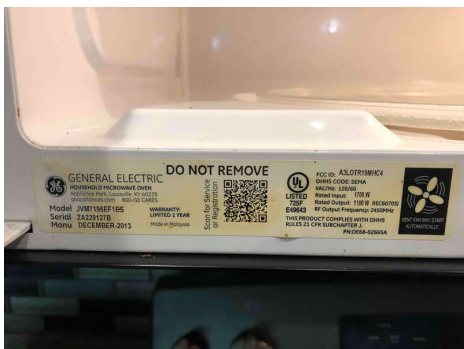
### Appliance Pictures: Refrigerator



### Appliance Pictures: Oven/Cooktop



### Appliance Pictures: Microwave



### Appliance Pictures: Refrigerator Temperature



# 15: FINAL CHECKLIST

## Information

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**All Exterior Doors Locked**

**All GFCI Receptacles Reset**

**All Lights Turned Off**

**Oven Turned Off**

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# STANDARDS OF PRACTICE

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## Inspection Details

Obsessed Inspections LLC is pleased to submit the enclosed report. This report is a professional opinion based on a visual inspection of the readily accessible areas and components of the building. This report is neither an engineering inspection nor an exhaustive technical evaluation. An engineering inspection or a technical evaluation of this nature would cost many times more and take days, if not weeks, to complete.

Please understand that there are limitations to this type of visual inspection. Many components of the property are not visible during the inspection and very little historical information (if any) is provided in advance of, or even during, the inspection. While we believe we can reduce your risk of purchasing a property, we can not eliminate it, nor can or do we assume it. Even the most comprehensive inspection cannot be expected to reveal every condition you may consider significant to ownership. In addition to those improvements recommended in our report, we recommended that you budget for unexpected repairs. On the average, we have found it necessary for you to set aside a percentage of the value of the home on an annual basis that will be sufficient to cover unexpected repairs. This maybe 1 % for a modest home and a higher amount, say maybe 3 % or so, for a more complex and /or an older home with aging systems and some deferred maintenance.

Your attention is directed to your copy of the Inspection Agreement. It more specifically explains the scope of the inspection and the limit of our ability in performing this inspection. The Standards of Practice and Code of Ethics of the National Association of Certification Home Inspectors (NACHI) prohibit us from making any repairs or referring any contractors. We are not associated with any other party to the transaction of this property, except as may be disclosed by you.

The information provided in this report is solely for your use. Obsessed Inspections LLC will not release a copy of this report, nor will we discuss its contents with any third party, without your written consent.

We know you had many options in your choice of an inspection company. Thank you for selecting us. We appreciate the opportunity to be your choice in the building inspection industry. Should you have any questions about the general conditions of the house in the future, we would be happy to answer these.

## Roof

The following items or areas are not included in this inspection: areas that could not be traversed or viewed clearly due to lack of access; solar roofing components. Any comments made regarding these items are made as a courtesy only. Note that the inspector does not provide an estimate of remaining life on the roof surface material, nor guarantee that leaks have not occurred in the roof surface, skylights or roof penetrations in the past. Regarding roof leaks, only active leaks, visible evidence of possible sources of leaks, and evidence of past leaks observed during the inspection are reported on as part of this inspection. The inspector does not guarantee or warrant that leaks will not occur in the future. Complete access to all roof and attic spaces during all seasons and during prolonged periods of all types of weather conditions (e.g. high wind and rain) would be needed to do so. Occupants should monitor the condition of roofing materials in the future. For older roofs, recommend that a professional inspect the roof surface, flashings, appurtenances, etc. annually and maintain/repair as might be required. If needed, the roofer should enter attic space(s). Regarding the roof drainage system, unless the inspection was conducted during and after prolonged periods of heavy rain, the inspector was unable to determine if gutters, downspouts and extensions perform adequately or are leak-free.

The report is not intended to be conclusive regarding the life span of the roofing system or how long it will remain watertight in the future. The inspection and report are based on visual and apparent conditions at the time of the inspection. Unless prolonged and extensive rain has fallen just prior to the inspection, it may not be possible to determine if active leakage is occurring. Even Then, numerous features may conceal active leakage. Usually not all attics are readily accessible for inspection. The client is advised to inquire about the presence of any roof leaks with the present owner.

IF Required, Only Qualified, License personnel Should Carry Out Any Repairs Needed.

All roofs require periodic maintenance to achieve typical lifespans, and should be inspected annually. Expect to make periodical repairs to any roof on a routine basis with replacement at the end of the roof's material Useful Service Life, which may not be equal to its Design Life.

CONCLUSIONS MADE BY THE INSPECTOR DO NOT CONSTITUTE A WARRANTY, GUARANTY, OR POLICY OF INSURANCE.

## Exterior

The inspector performs a visual inspection of accessible components or systems at the exterior. Items excluded from this inspection include below-grade foundation walls and footings; foundations, exterior surfaces or

components obscured by vegetation, stored items or debris; wall structures obscured by coverings such as siding or trim. Some items such as siding, trim, soffits, vents and windows are often high off the ground, and may be viewed using binoculars from the ground or from a ladder. This may limit a full evaluation. Regarding foundations, some amount of cracking is normal in concrete slabs and foundation walls due to shrinkage and drying. Note that the inspector does not determine the adequacy of seismic reinforcement.

Unless specifically included in the inspection, the following items and any related equipment, controls, electric systems and/or plumbing systems are excluded from this inspection: detached buildings or structures; fences and gates; retaining walls; underground drainage systems, catch basins or concealed sump pumps; swimming pools and related safety equipment, spas, hot tubs or saunas; whether deck, balcony and/or stair membranes are watertight; trees, landscaping, properties of soil, soil stability, erosion and erosion control; ponds, water features, irrigation or yard sprinkler systems; sport courts, playground, recreation or leisure equipment; areas below the exterior structures with less than 3 feet of vertical clearance; invisible fencing; sea walls, docks and boathouses; retractable awnings. Any comments made regarding these items are as a courtesy only.

### **Attic**

The following items or areas are not included in this inspection: areas that could not be traversed or viewed clearly due to lack of access; areas and components obscured by insulation. Any comments made regarding these items are made as a courtesy only. The inspector does not determine the adequacy of the attic ventilation system. Complete access to all roof and attic spaces during all seasons and during prolonged periods of all types of weather conditions (e.g. high/low temperatures, high/low humidity, high wind and rain, melting snow) would be needed to do so. The inspector is not a licensed engineer and does not determine the adequacy of roof structure components such as trusses, rafters or ceiling beams, or their spacing or sizing.

Some attic areas were inaccessible due to the lack of permanently installed walkways, the possibility of damage to insulation, low height and/or stored items. These areas are excluded from this inspection. We conducted our typical attic inspection by walking through the attic areas as much as possible, in what we call the "random walk" methodology. This method of inspection is not intended to cover every square foot of the attic area, nor will it. Further we could not recreate the route of a random walk even if we tried. We do arrive at an overall impression of the attic's condition developed during this random walk inspection and extrapolate it to the entire attic area. In all the attics area shows normal wear and tear for a home of this age.

### **HVAC**

The following items are not included in this inspection: humidifiers, dehumidifiers, electronic air filters; solar, coal or wood-fired heat systems; thermostat or temperature control accuracy and timed functions; heating components concealed within the building structure or in inaccessible areas; underground utilities and systems; safety devices and controls (due to automatic operation). Any comments made regarding these items are as a courtesy only. Note that the inspector does not provide an estimate of remaining life on heating or cooling system components, does not determine if heating or cooling systems are appropriately sized, does not test coolant pressure, or perform any evaluations that require a pilot light to be lit, a shut-off valve to be operated, a circuit breaker to be turned "on" or a serviceman's or oil emergency switch to be operated. It is beyond the scope of this inspection to determine if furnace heat exchangers are intact and free of leaks. Condensation pans and drain lines may clog or leak at any time and should be monitored while in operation in the future. Where buildings contain furnishings or stored items, the inspector may not be able to verify that a heat source is present in all "liveable" rooms (e.g. bedrooms, kitchens and living/dining rooms).

### **Plumbing**

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following.

- 1) Portions of the plumbing system canceled by finishes and/or storage (below sinks etc.) below the structure, or beneath the ground surface are not inspected.
- 2) Water quantity and water quality are not tested unless explicitly contracted for and discussed in this or a separate report.
- 3) Clothes washing machine connections are not inspected.
- 4) Interior of flues or chimneys which are not readily accessible are not inspected.
- 5) Water conditioning systems, solar water heaters, fire and lawn sprinklers, and private waste disposal systems are not inspected unless explicitly contracted for and discussed in this or a separate report.

Please refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

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## Electrical

The following items are not included in this inspection: generator systems, transfer switches, surge suppressors, inaccessible or concealed wiring; underground utilities and systems; low-voltage lighting or lighting on timers or sensors. Any comments made regarding these items are as a courtesy only. Note that the inspector does not determine the adequacy of grounding or bonding, if this system has an adequate capacity for the client's specific or anticipated needs, or if this system has any reserve capacity for additions or expansion. The inspector does not operate circuit breakers as part of the inspection, and does not install or change light bulbs. The inspector does not evaluate every wall switch or receptacle, but instead tests a representative number of them per various standards of practice. When furnishings, stored items or child-protective caps are present some receptacles are usually inaccessible and are not tested; these are excluded from this inspection. Receptacles that are not of standard 110 volt configuration, including 240-volt dryer receptacles, are not tested and are excluded. The functionality of, power source for and placement of smoke and carbon monoxide alarms is not determined as part of this inspection. Upon taking occupancy, proper operating and placement of smoke and carbon monoxide alarms should be verified and batteries should be changed. These devices have a limited lifespan and should be replaced every 10 years. The inspector attempts to locate and evaluate all main and sub-panels. However, panels are often concealed. If panels are found after the inspection, a qualified electrician should evaluate and repair if necessary. The inspector attempts to determine the overall electrical service size, but such estimates are not guaranteed because the overall capacity may be diminished by lesser-rated components in the system. Any repairs recommended should be made by a licensed electrician.

## Interior

The following items are not included in this inspection: security, intercom and sound systems; communications wiring; central vacuum systems; elevators and stair lifts; cosmetic deficiencies such as nail-pops, scuff marks, dents, dings, blemishes or issues due to normal wear and tear in wall, floor and ceiling surfaces and coverings, or in equipment; deficiencies relating to interior decorating; low voltage and gas lighting systems. Any comments made regarding these items are as a courtesy only. Note that the inspector does not evaluate any areas or items which require moving stored items, furnishings, debris, equipment, floor coverings, insulation or similar materials. The inspector does not test for asbestos, lead, radon, mold, hazardous waste, urea formaldehyde urethane, or any other toxic substance. Some items such as window, drawer, cabinet door or closet door operability are tested on a sampled basis. The client should be aware that paint may obscure wall and ceiling defects, floor coverings may obscure floor defects, and furnishings may obscure wall, floor and floor covering defects. If furnishings were present during the inspection, recommend a full evaluation of walls, floors and ceilings that were previously obscured when possible. Carpeting and flooring, when installed over concrete slabs, may conceal moisture. If dampness wicks through a slab and is hidden by floor coverings that moisture can result in unhygienic conditions, odors or problems that will only be discovered when/if the flooring is removed. Determining the cause and/or source of odors is not within the scope of this inspection.

## Laundry

### LAUNDRY EQUIPMENT:

Cautionary Statement; We normally operate on-site laundry equipment. Washers and dryers have special safety concerns to owners. During our inspection, we attempt to check the utility connections, supply of hot and cold water, grounded electrical receptacles and some safety devices. During our inspection we endeavor to verify that the equipments operates properly, however we do NOT verify the proper operation of ALL safety devices and other built in safe guards. This is a job for an appliance specialist.

Please be aware that with any appliance being used everyday, owners often forget, or over look the potential hazards that are present in these day-to-day helpmates. All laundry equipment operates both with electricity and high speed motors and rotating drums. Because of the combination of water and electricity along with high-speed rotation, all laundry equipment should be respected. PLEASE SECURE ALL OPERATION AND MAINTENANCE MANUALS FROM PRESENT OWNERS OR THE MANUFACTURERS. Virtually all manufacturers have this consumers information available to you-contact the respective manufacturer.

Please instruct all children that these appliances are potentially hazardous and they should not be played with, nor should anyone under any circumstances, place a hand inside any operating laundry equipment.

### LIMITATIONS OF APPLIANCES INSPECTION:

As we discussed and is described in your inspection contract, this is a visual limited in scope by (but not restricted to) the following conditions.

Thermostats, timers and other specialized features and controls are not tested.

The temperature calibration, functionality of timers, effectiveness, efficiency and overall performance of appliances is outside the scope of this inspection.

Please refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.



**Kitchen**

## LIMITATIONS OF APPLIANCES INSPECTION:

As we discussed and is described in your inspection contract, this is a visual limited in scope by (but not restricted to) the following conditions.

Thermostats, timers and other specialized features and controls are not tested.

The temperature calibration, functionality of timers, effectiveness, efficiency and overall performance of appliances is outside the scope of this inspection.

All though appliance were serviceable at the time the inspection was completed. Appliances may fail at anytime. An inspector can not project when an item will or may fail.

Please refer to the pre-inspection contract for a detailed explanation of the scope of this inspection. All though appliance were serviceable at the time the inspection was completed. Appliances may fail at anytime. An inspector can not project when an item will or may fail.