



Home Inspection Services

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YOUR HOME INSPECTION

1234 Main St.
Celina TX 75009

Buyer Name
10/03/2018 9:00AM



Inspector
Bill Sallade
Certified Professional Inspector TREC # 10276
4696670923
inspections@thesallades.com



Agent
Agent Name
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agent@spectora.com



PROPERTY INSPECTION REPORT

Prepared For: Buyer Name
(Name of Client)

Concerning: 1234 Main St. Celina TX 75009
(Address or Other Identification of Inspected Property)

By: Bill Sallade - Certified Professional Inspector TREC # 10276 10/03/2018 9:00AM
(Name and License Number of Inspector) (Date)

PURPOSE, LIMITATIONS AND INSPECTOR / CLIENT RESPONSIBILITIES

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions. If any item or comment is unclear, you should ask the inspector to clarify the findings. It is important that you carefully read ALL of this information.

This inspection is subject to the rules ("Rules") of the Texas Real Estate Commission ("TREC"), which can be found at www.trec.texas.gov.

The TREC Standards of Practice (Sections 535.227-535.233 of the Rules) are the minimum standards for inspections by TREC-licensed inspectors. An inspection addresses only those components and conditions that are present, visible, and accessible at the time of the inspection. While there may be other parts, components or systems present, only those items specifically noted as being inspected were inspected. The inspector is NOT required to turn on decommissioned equipment, systems, utility services or apply an open flame or light a pilot to operate any appliance. The inspector is NOT required to climb over obstacles, move furnishings or stored items. The inspection report may address issues that are code-based or may refer to a particular code; however, this is NOT a code compliance inspection and does NOT verify compliance with manufacturer's installation instructions. The inspection does NOT imply insurability or warrantability of the structure or its components. Although some safety issues may be addressed in this report, this inspection is NOT a safety/code inspection, and the inspector is NOT required to identify all potential hazards.

In this report, the inspector shall indicate, by checking the appropriate boxes on the form, whether each item was inspected, not inspected, not present or deficient and explain the findings in the corresponding section in the body of the report form. The inspector must check the Deficient (D) box if a condition exists that adversely and materially affects the performance of a system or component or constitutes a hazard to life, limb or property as specified by the TREC Standards of Practice. General deficiencies include inoperability, material distress, water penetration, damage, deterioration, missing components, and unsuitable installation. Comments may be provided by the inspector whether or not an item is deemed deficient. The inspector is not required to prioritize or emphasize the importance of one deficiency over another.

Some items reported may be considered life-safety upgrades to the property. For more information, refer to Texas Real Estate Consumer Notice Concerning Recognized Hazards or Deficiencies below.

THIS PROPERTY INSPECTION IS NOT A TECHNICALLY EXHAUSTIVE INSPECTION OF THE STRUCTURE, SYSTEMS OR COMPONENTS. This inspection may not reveal all deficiencies. A real estate inspection helps to reduce some of the risk involved in purchasing a home, but it cannot eliminate these risks, nor can the inspection anticipate future events or changes in performance due to changes in use or occupancy. It is recommended that you obtain as much information as is available about this property, including seller's disclosures, previous inspection reports, engineering reports, building/remodeling permits, and reports performed for and by relocation companies, municipal inspection departments, lenders, insurers, and appraisers. You should also attempt to determine whether repairs, renovation, remodeling, additions, or other such activities have taken place at this property. It is not the inspector's responsibility to confirm that information obtained from these sources is complete or accurate or that this inspection is consistent with the opinions expressed in previous or future reports.

ITEMS IDENTIFIED IN THE REPORT DO NOT OBLIGATE ANY PARTY TO MAKE REPAIRS OR TAKE OTHER ACTIONS, NOR IS THE PURCHASER REQUIRED TO REQUEST THAT THE SELLER TAKE ANY ACTION. When a deficiency is reported, it is the client's responsibility to obtain further evaluations and/or cost estimates from qualified service professionals. Any such follow-up should take place prior to the expiration of any time limitations such as option periods.

Evaluations by qualified tradesmen may lead to the discovery of additional deficiencies which may involve additional repair costs. Failure to address deficiencies or comments noted in this report may lead to further damage of the structure or systems and add to the original repair costs. The inspector is not required to provide follow-up services to verify that proper repairs have been made.

Property conditions change with time and use. For example, mechanical devices can fail at any time, plumbing gaskets and seals may crack if the appliance or plumbing fixture is not used often, roof leaks can occur at any time regardless of the apparent condition of the roof, and the performance of the structure and the systems may change due to changes in use or occupancy, effects of weather, etc. These changes or repairs made to the structure after the inspection may render information contained herein obsolete or invalid. This report is provided for the specific benefit of the client named above and is based on observations at the time of the inspection. If you did not hire the inspector yourself, reliance on this report may provide incomplete or outdated information. Repairs, professional opinions or additional inspection reports may affect the meaning of the information in this report. It is recommended that you hire a licensed inspector to perform an inspection to meet your specific needs and to provide you with current information concerning this property.

TEXAS REAL ESTATE CONSUMER NOTICE CONCERNING HAZARDS OR DEFICIENCIES

Each year, Texans sustain property damage and are injured by accidents in the home. While some accidents may not be avoidable, many other accidents, injuries, and deaths may be avoided through the identification and repair of certain hazardous conditions. Examples of such hazards include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices for electrical receptacles in garages, bathrooms, kitchens, and exterior areas;
- malfunctioning arc fault protection (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

To ensure that consumers are informed of hazards such as these, the Texas Real Estate Commission (TREC) has adopted Standards of Practice requiring licensed inspectors to report these conditions as "Deficient" when performing an inspection for a buyer or seller, if they can be reasonably determined.

These conditions may not have violated building codes or common practices at the time of the construction of the home, or they may have been "grandfathered" because they were present prior to the adoption of codes prohibiting such conditions. While the TREC Standards of Practice do not require inspectors to perform a code compliance inspection, TREC considers the potential for injury or property loss from the hazards addressed in the Standards of Practice to be significant enough to warrant this notice.

Contract forms developed by TREC for use by its real estate license holders also inform the buyer of the right to have the home inspected and can provide an option clause permitting the buyer to terminate the contract within a specified time. Neither the Standards of Practice nor the TREC contract forms require a seller to remedy conditions revealed by an inspection. The decision to correct a hazard or any deficiency identified in an inspection report is left to the parties to the contract for the sale or purchase of the home.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

Type of Building: Single Family

Occupancy: Vacant

In Attendance: Buyer, Termite Inspector, Buyers Agent

Weather Conditions: Clear

Temp (approx): 80-90

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I. STRUCTURAL SYSTEMS

A. Foundations

Type of Foundation(s): Slab on Grade
Crawl space viewed from: No crawl space
Comments::

- Any foundation deficiencies listed below in this section should be further evaluated by a Licensed Engineer of your choosing. Any deficiencies with regard to exposed cables or drainage problems should be further evaluated and corrected as necessary by a qualified contractor.

Performance Opinion:
****Zip Level OK:**

Interior Elevation Survey:

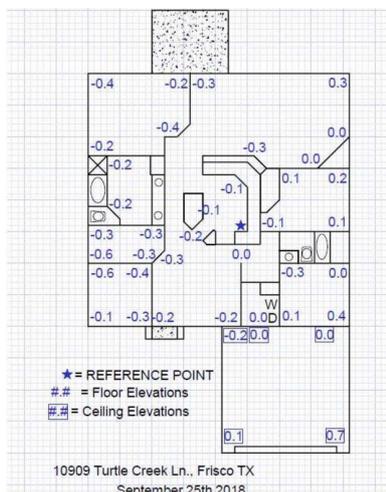
- Interior floor elevations were taken with a Technidea Pro-2000 Zipllevel. Elevations were recorded to the nearest 0.1-inch throughout the home. A benchmark of 0.0 was established and is shown on drawing with a star. An adjustment was made for floor height changes (sunken livingroom - raised platforms etc..) if they were a different elevation than the floor covering at benchmark location. It should be noted that the elevation measurements include effects of elevation variation in the original construction. New homes are normally within 0.6 inches to 1 inch of level, however sometimes they are up to 2.0 inches of level. A sketch of the house with the elevations is shown on the drawing below.

Conclusions and Opinion on the Performance of the Foundation :

An elevation survey was performed on the foundation on the interior of the home. In addition, the interior and exterior of the home were reviewed for signs of distress due to movement. The elevation measurements along with the exterior and interior signs of distress were used to determine if the foundation is performing within recommended acceptable limits for slopes (movement) in a foundation.

Deflection variations greater than 1 inch of vertical movement in 20 feet horizontally is when this inspector Starts to considers wether slopes should be corrected. This home was measured to be **+0.7 inches** of vertical movement in 23 feet horizontal, as shown on the drawing above. Slopes in a foundation are typically cosmetic in nature and there is no definitive limit.

In **my opinion**, the foundation does not have any slopes in the elevation that are above acceptable tolerance for slopes and the foundation is **performing as designed**. Interior and exterior cosmetic damage is minimal. The foundation appears to be performing within acceptable limits of deflection and No foundation repairs are recommended.



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Frieze Board Separation:

- Frieze board separations were observed.

Front



Foundation nails need removed:

- Exposed foundation nails need to be removed



Client Notice:

Notice: This inspection is one of first impression and the inspector was not provided with any historical information pertaining to the structural integrity of the inspected real property. This is a limited cursory and visual survey of the accessible general conditions and circumstances present at the time of this inspection. Opinions are based on general observations made without the use of specialized tools or procedures. Therefore, the opinions expressed are one of apparent conditions and not of absolute fact and are only good for the date and time of this inspection. The inspection of the foundation may show it to be providing adequate support for the structure or having movement typical to this region, at the time of the inspection. This does not guarantee the future life or failure of the foundation. The Inspector is not a structural engineer. This inspection is not an engineering report or evaluation and should not be considered one, either expressed or implied. If any cause of concern is noted on this report, or if you want further evaluation, you should consider an evaluation by an engineer of your choice.

- Foundation inspections are limited to observation of accessible interior and exterior structural components. No engineering studies or measurements are made. Factors preventing accurate assessment of structural conditions include but are not limited to paint, repairs, surfaces hidden by floor or wall coverings, furnishings, foliage, and masonry.

1: Exposed Cable Ends

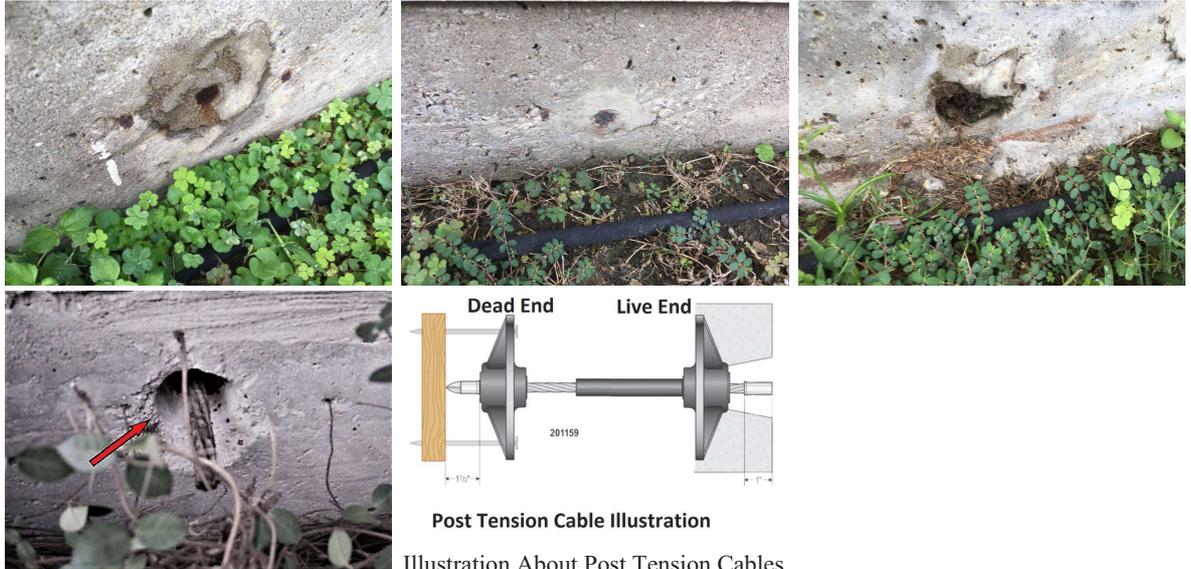
🟡 **Minor or Cosmetic Deficiencies**

Right side

- **Exposed** post tension **cable ends** were observed at the exterior of the home. It is recommended that the metal cables be painted (rust inhibiting paint) and then the slab should be patched. The slab patch / mortar should be used in conjunction with a bonding agent that helps it bond to the old concrete.

Recommendation: Contact a handyman or DIY project

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Example Picture of an Exposed Post Tension Cable (Live End)

Illustration About Post Tension Cables

2: Brick / Mortar crack

⊖ Minor or Cosmetic Deficiencies

- Brick/ mortar cracks were observed at the home. These cracks could be a sign of foundation movement and should be further evaluated.
- The crack should be repaired by a qualified brick mason.

Recommendation: Contact a handyman or DIY project



B. Grading and Drainage

Comments:

- Any grade or drainage deficiencies listed below in this section should be further evaluated and corrected as necessary by a qualified contractor.

**Drainage:*

- Proper grading and drainage are required to maintain proper foundation performance and prevent water penetration, which is a conducive condition for wood rot, wood destroying insect intrusion and possible mold growth.

Drainage OK:

- This property appears to have adequate drainage. No corrective action is recommended at the time of this inspection.



Marginal Site Drainage:

- Marginal site drainage was observed. Proper drainage is needed to help prevent water from standing and/or ponding next to the foundation beam. Corrective measures may be needed if the water stands within 10-feet of the foundation perimeter beam for more than 24-hours.



Method:

- General lot drainage and slope is inspected by visual means only (no measuring devices are used-such means and devices are beyond the scope of our inspection). The findings are, to a great extent, subjective. Our evaluation of the slope of the grade and lot drainage is a visual review and represents the opinion of the inspector based on his personal experience with similar homes. The inspection does not predict or guarantee future performance. If actual measurements and a professional drainage evaluation are desired, a qualified engineer should be consulted.

Inspection of the homes grading and drainage is done by a visual observation of the site around the structure, including surface grade, rain gutters and down spouts, etc. Any visible conditions or symptoms that may indicate a situation that may adversely affect the foundation or indicate water penetration are noted. No soil, topographical or flood plain studies are performed.

1: Low Spot Fill Dirt Needed

🟡 **Minor or Cosmetic Deficiencies**

back yard

Fill dirt is needed. The low spots in the finished grade (ground) adjacent to the foundation perimeter wall need to be filled in to help prevent water from standing and/or ponding next to the foundation area.

Recommendation: Contact a qualified landscaping contractor

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C. Roof Covering Materials

Types of Roof Covering: Composition

Viewed From: Roof

Water Penetrations: None found

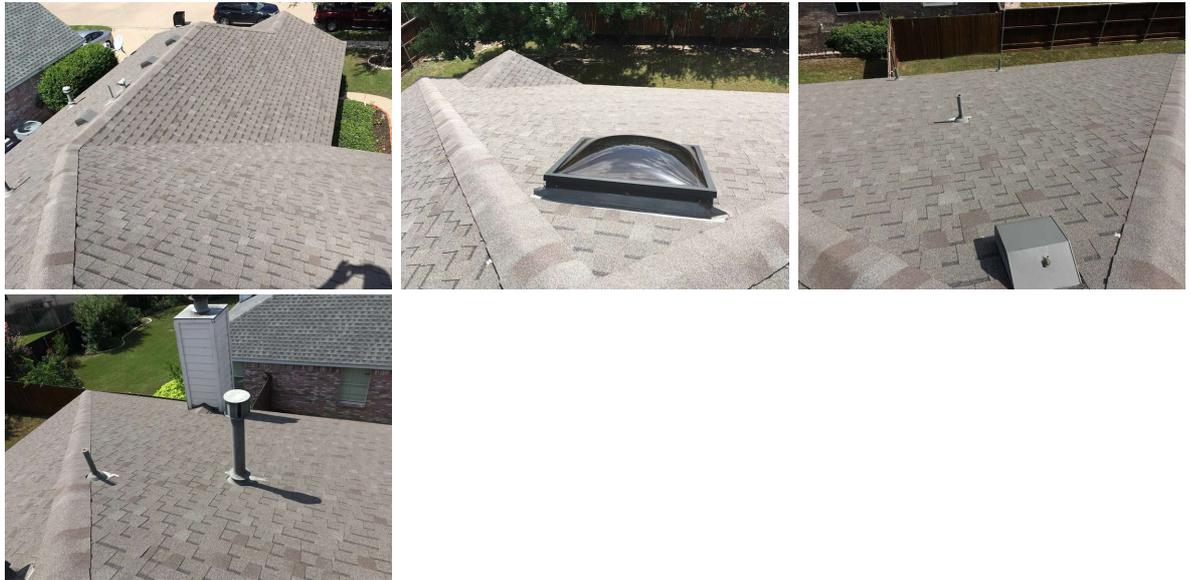
Prior Repairs: Present

Comments:

- Any roof covering deficiencies listed below in this section should be further evaluated the homeowners insurance company and or a qualified roofing contractor; and any necessary repairs should be corrected as necessary by a qualified roofing contractor.

Pics for referance:

Pictures if the roof covering for reference.



Limitation:

Roof inspections are limited to visual observations of the accessible surfaces. The roof is inspected from the roof level, only if in the opinion of the inspector it can be done safely and without damaging the roof. Certain types of damage and/or poor workmanship (e.g., improper fastening, manufacturer defects, improper installation etc) may not be apparent during the visual inspection. As such the inspector cannot guarantee that the roof will be free of leaks, nor can the inspector determine the remaining service life of the roof covering. **If deficiencies are noted and/or you have concerns about life expectancy, insurability or potential for future problems, we Highly recommend consulting with a Qualified roofing Contractor prior to the expiration of any warranty or option period.**

Life Expectancy:

Notice: Life expectancy of the roofing material is not covered by this property inspection report. If any concerns exist about the roof covering life expectancy or potential for future problems, a roofing specialist should be consulted. The Inspector cannot offer an opinion or warranty as to whether the roof

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has leaked in the past, leaks now, or may be subject to future leaks, either expressed or implied. The inspection of this roof may show it to be functioning as intended or in need of minor repairs. This inspection does not determine the insurability of the roof. You are strongly encouraged to have your Insurance Company physically inspect the roof, prior to the expiration of any time limitations such as option or warranty periods, to fully evaluate the insurability of the roof.

1: Temporary Caulking fix

🔴 Minor or Cosmetic Deficiencies

Front slope

- Damaged shingles were observed to have been temporarily fixed with caulking. It is recommended that the damaged shingles be replaced.

Recommendation: Contact a qualified roofing professional.



D. Roof Structure & Attic

Viewed From: Decked space only

Average Attic Floor Insulation Depth: 11-13

Water Penetrations: None Found

Comments:

- Any roof structure, Attic ladder, ventilation, insulation, gutters or soffit & fascia deficiencies listed below in this section should be further evaluated corrected as necessary by a qualified contractor.

Framing Type: Conventional Wood Frame

Vertical Insulation Thickness: 4"-6"

Insulation Types: Loose Fill, Batt or Blanket

Roof structure good.:

- The roof structural components appeared to be in satisfactory condition at the time of this inspection. No corrective actions are recommended at this time.



Roof Structure Limitations:

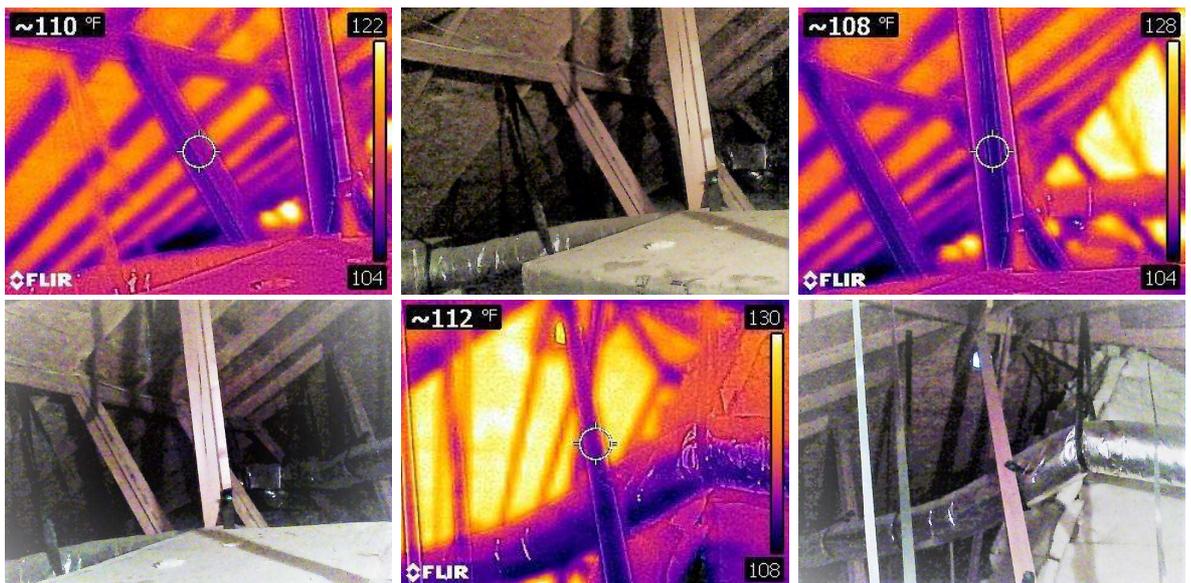
- Inspection of the roof structure and attic is performed by a visual observation of areas and components which can be reasonably and safely accessed. Areas where insulation is covering joists and no visible pathway could be identified will not be traversed

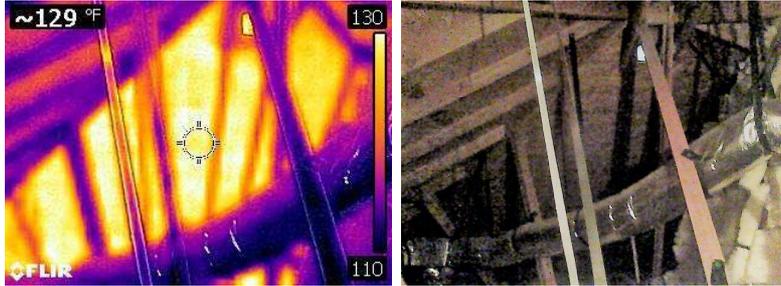
1: Poor Ventilation

🔴 **Minor or Cosmetic Deficiencies**

The roof structure attic space does not appear to be adequately ventilated. It is recommended to increase the amount of lower and or upper ventilation to help prevent heat buildup in the attic space area. This condition should be further evaluated and corrected as necessary.

Recommendation: Contact a qualified roofing professional.



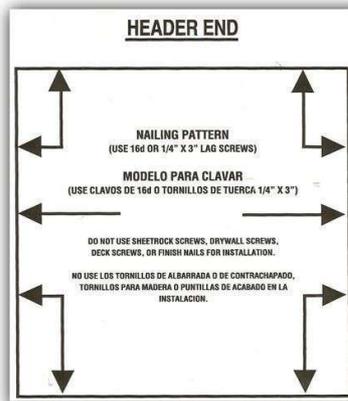


2: Attic Ladder Improper Fasteners

⊖ Minor or Cosmetic Deficiencies

The attic ladder was observed to be installed with improper fasteners. The attic ladder should be secured in place with 16d nails or 3-inch lag bolts. This condition should be further evaluated and corrected as necessary.

Recommendation: Contact a qualified handyman.



3: Attic Ladder Damaged

⚠ Essential Items (Licensed Professionals & Safety)

One or more of the attic ladder components were observed to be damaged. This condition should be corrected for reasons of safety.

Recommendation: Contact a qualified handyman.



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4: Needs Safe Access

▲ Essential Items (Licensed Professionals & Safety)

The walking path to the 2nd floor HVAC equipment was not safe. The decking for the walking path should be smooth and **at least 3/4 thick**. Some areas were thinner and felt weak when walked on. Improvements for safety are recommended.

Recommendation: Contact a qualified professional.



5: Sound Coat Paint

🟡 Minor or Cosmetic Deficiencies

All around the home

- The soffit and fascia boards are due for a paint job. It is recommended that all joints be caulked as necessary and all soffit and fascia boards should be painted as necessary with a sound coat of paint. Any wood rot or deteriorated soffit or fascia components should be replaced, resealed and properly painted.

Recommendation: Contact a qualified professional.



E. Walls (Interior and Exterior)

Comments:

Material: Brick, Fiber Cement Board, Fiberboard siding

Method:

The inspection of interior and exterior walls focuses on structural performance and water penetration issues. The condition of surface finishes and cosmetic blemishes are not noted, except where they may contribute to or be symptomatic of other problems. Areas within finished walls and concealed flashing details (e.g. doors, windows, brick ledges, etc.) are not accessible and beyond the scope of the inspection. Home furnishings, artwork, stored goods, heavy foliage, etc. can obscure damage, water stains, previous repairs, etc., and preclude assessment of these conditions.

As a matter of general home maintenance, it is recommended that all deficiencies in the "exterior envelope" be sealed for energy efficiency and to help prevent water and moisture penetration into the structure. Examples would be caulking doors/windows, replacing worn weather-strip seals, and sealing wall penetrations or openings (around light fixtures, a/c lines etc.)

General Limitations:

In accordance with industry standards, the inspection is limited to only those surfaces that are exposed and readily accessible. The Inspector does not move furniture, lift floor-covering materials, or remove or

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rearrange items within closets or on shelving. On your final walk through, or at some point after furniture and personal belongings have been removed, it is important that you inspect the interior portions of the residence that were concealed or otherwise inaccessible at the time of the inspection. Contact the Inspector immediately if any adverse conditions are observed that were not commented on in your inspection report.

In the event the residence was furnished at the time of the inspection and portions of the interior were hidden by the occupant's belongings. In accordance with industry standards, the inspection is limited to only those surfaces that are exposed and readily accessible. The Inspector does not move furniture, lift floor-covering materials, or remove or rearrange items within closets or on shelving. On your final walk through, or at some point after furniture and personal belongings have been removed, it is important that you inspect the interior portions of the residence that were concealed or otherwise inaccessible at the time of the inspection. Contact the Inspector immediately if any adverse conditions are observed that were not commented on in your inspection report.

1: Mortar Improvements

🔴 Minor or Cosmetic Deficiencies

Mortar improvements are recommended for the exterior masonry veneer

Recommendation: Contact a qualified masonry professional.



2: Seal Penetrations

🔴 Minor or Cosmetic Deficiencies

The area between the exterior veneer and any wall penetration needs to be properly sealed.

It is recommended to use elastomeric caulking.

Recommendation: Contact a handyman or DIY project





3: Seal Transition

⊖ Minor or Cosmetic Deficiencies

The transition from wood veneer to brick veneer needs to be better sealed.

Recommendation: Contact a handyman or DIY project



4: Rusted Lintel

⊖ Minor or Cosmetic Deficiencies

Lintels above one or more exterior doors or windows were visibly rusted at the time of the inspection. Rust damage to the exterior wall covering will continue unless loose rust is removed, existing rust chemically neutralized and exposed steel protected from weather.

Recommendation: Contact a qualified painter.



5: Sound Coat Paint

⊖ Minor or Cosmetic Deficiencies

Recommendation: Contact a qualified professional.

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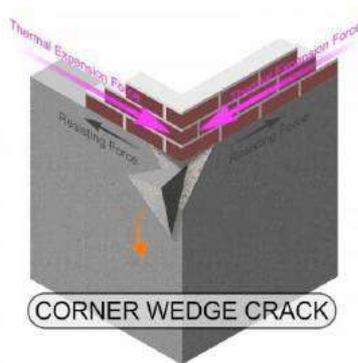
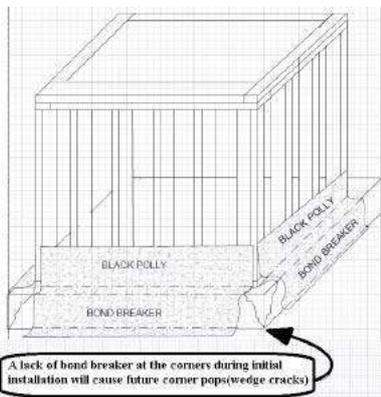
6: Corner pops

🟡 **Minor or Cosmetic Deficiencies**

Front and rear corners

Corner pops were observed at the corner of the foundation. Concrete and brick expand and contract differently and can cause the corners of the slab to pop off if there is not a plastic bond breaker between the brick and the concrete and the brick veneer. This is a cosmetic deficiency and should be repaired as necessary or as desired. The mortar patch should be mixed with or used in conjunction with a bonding agent so the new patch bonds to the older concrete.

Recommendation: Contact a qualified concrete contractor.



7: Wood rot

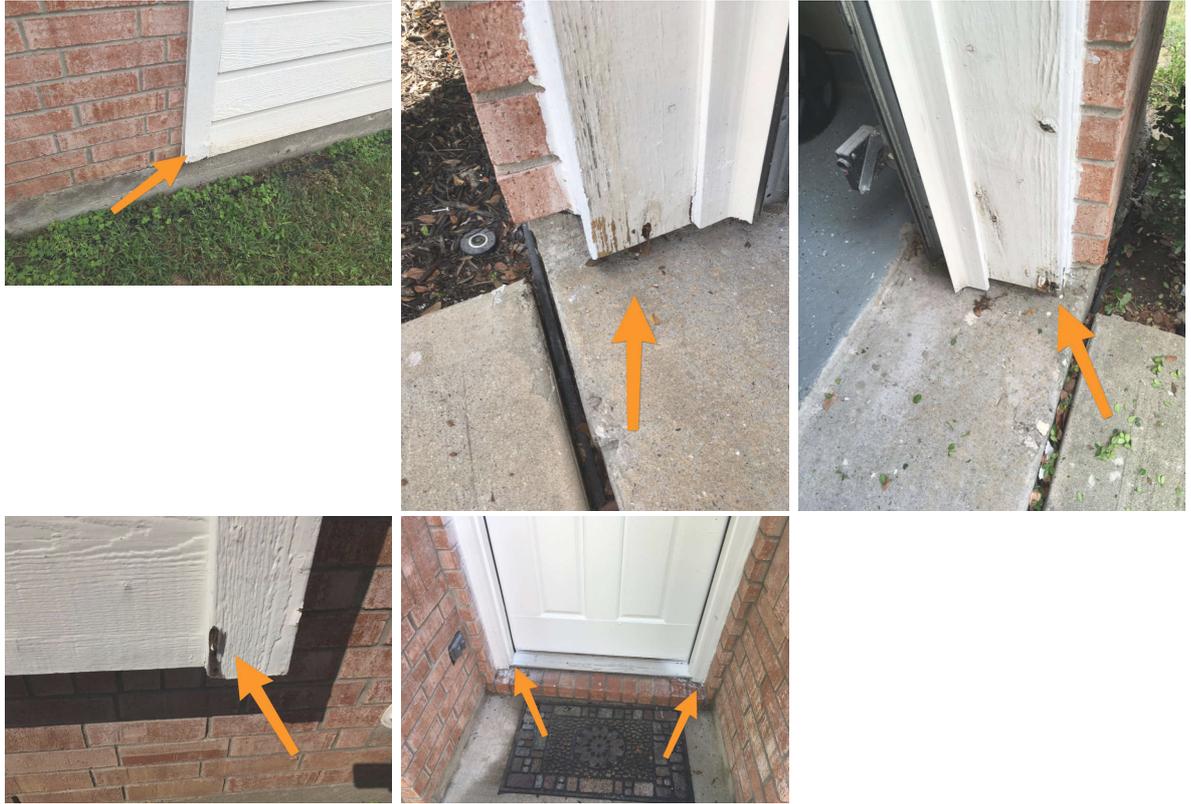
🟡 **Minor or Cosmetic Deficiencies**

Right side & front & left side

Wood rot / deterioration was observed at the exterior of the home. All deteriorated or damaged wood should be replaced, resealed and properly painted with a sound coat of paint.

Recommendation: Contact a qualified professional.

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F. Ceilings and Floors

Comments:

Ceiling Type: Drywall

Floor Type: Wood, Tile, Carpet

Signs of Prior Repairs:

Signs of previous paint or texture touch ups were observed on the ceilings.

Kitchen



Ceiling and Floor Limitations:

Inspection of ceilings and floors focuses on structural performance and water penetration issues. The condition of surface finishes and cosmetic blemishes are not noted, except where they may contribute to or be symptomatic of other problems. Areas concealed within finished spaces are not accessible and are beyond the scope of an inspection. Home furnishings, artwork, personal items, etc. can obscure damage, water stains, previous repairs, etc., and prevent assessment in these areas.

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1: Nail Pop

🟡 **Minor or Cosmetic Deficiencies**

Front entry & formal living

Nail heads were observed to be pushing through the interior finish in one or more locations.

Recommendation: Contact a handyman or DIY project

G. Doors (Interior and Exterior)

Comments:

Method of Inspection:

The interior and exterior doors are inspected for proper function including latches and locking mechanisms. Garage doors are inspected for proper operation.

1: Door Sticks

🟡 **Minor or Cosmetic Deficiencies**

Study/office

The door is sticking.

Recommendation: Contact a qualified door repair/installation contractor.

2: Light visible.

🟡 **Minor or Cosmetic Deficiencies**

Back door and the garage door

Light was observed to be visible between the door jamb and the exterior door. The weatherstripping should be adjusted or replaced.

Recommendation: Contact a qualified professional.



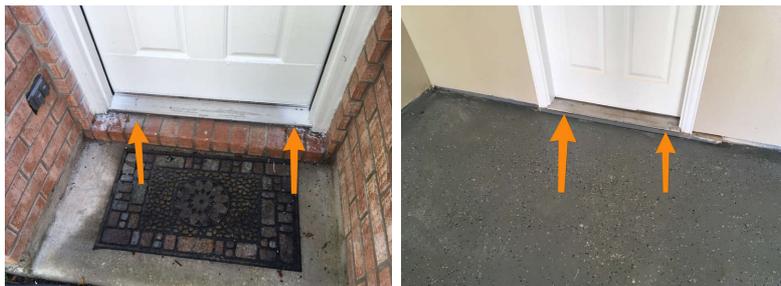
3: Threshold Not supported

🟡 **Minor or Cosmetic Deficiencies**

Front entry & garage

The door threshold needs to be supported.

Recommendation: Contact a qualified professional.



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4: Deadbolt Not full operation

🟡 Minor or Cosmetic Deficiencies

Back door & Front door

The deadbolt was observed to not have full operation and should be adjusted as necessary.

Recommendation: Contact a qualified professional.

5: Svc Door self close

🟡 Minor or Cosmetic Deficiencies

The service door from the garage to the home is supposed to be self closing and latching. This was not a requirement at the time the home was built but TREC requires me to mark this item as deficient.

Recommendation: Contact a qualified handyman.

6: Door stops (missing or damaged)

🟡 Minor or Cosmetic Deficiencies

Some of the door stops were missing or damaged at the time of inspection and should be corrected.

Recommendation: Contact a qualified handyman.

H. Windows

Comments:

Method:

Windows, where accessible, are inspected for proper function including latches and locking mechanisms. Broken panes, broken thermal seals, missing or damaged screens and caulking deficiencies are noted. Safety issues safety glass in required locations and egress issues in sleeping areas are noted.

1: Window Stiff

🟡 Minor or Cosmetic Deficiencies

Various

One or more of the windows were observed to be stiff and hard to operate.

Recommendation: Contact a qualified window repair/installation contractor.

2: Missing / Damaged Screen

🟡 Minor or Cosmetic Deficiencies

One or more of the window screens were observed to be missing or damaged.

Recommendation: Contact a qualified window repair/installation contractor.

3: No stay up

⚠ Essential Items (Licensed Professionals & Safety)

Living Room

One or more of the window balancers are bad and the window will not stay up. The window needs to be adjusted for safety reasons.

Recommendation: Contact a qualified professional.



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4: Fogged window

🟡 **Minor or Cosmetic Deficiencies**

Some of the Windows were observed to have lost their seal or dogged at the time of inspection.

time of day, outside temperatures, sun position, dirty windows and solar screens can hinder the inspectors ability to find dogged windows.

Additional fogged Windows will most likely be found when the window glazer comes out to check all windows and deglaze the ones that are fogged.

Important: This is not likely all of the fogged windows. I did my best but I cant find them all for the reasons listed above.

Recommendation: Contact a qualified window repair/installation contractor.

I. Stairways (Interior and Exterior)

Comments:

Method:

The inspection of the stairways is a visual observation of the required component's and focuses on handrails, spindles, railings, and guards etc. The inspector does not exhaustively measure every stairway component.

J. Fireplaces and Chimneys

Comments:

Flue OK:

The visible portion of the flue appeared to be in satisfactory condition at the time of this inspection.



Fireplace OK:

Picture of the fireplace during operation. The fireplace appeared to be performing properly at the time of this inspection.

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General:

Examination of concealed or inaccessible portions of the chimney is beyond the scope of our inspection. We do not perform draft or smoke tests. If further review is desired, we recommend consulting with a qualified contractor.

1: Fire Caulk

🟡 **Minor or Cosmetic Deficiencies**

Fire caulk or high heat caulking is needed to seal around the gas line where it enters the firebox

Recommendation: Contact a handyman or DIY project

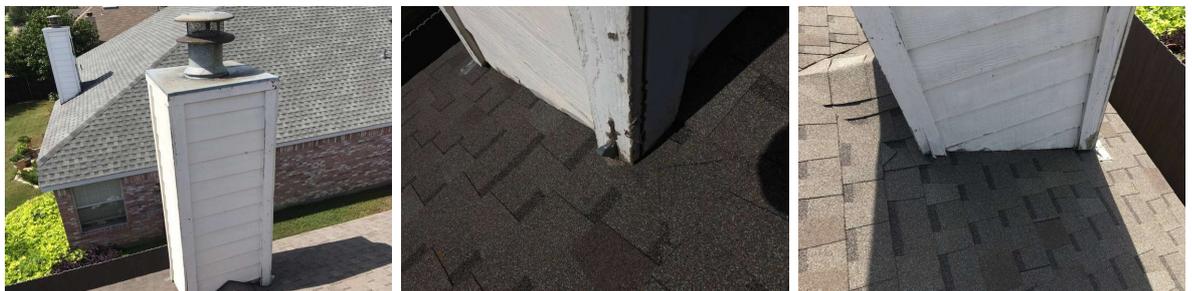


2: Wood rot

🟡 **Minor or Cosmetic Deficiencies**

Wood rot / deterioration was observed in the chimney siding/ trim. All deteriorated wood should be replaced resealed and the chimney needs a sound coat of paint

Recommendation: Contact a qualified handyman.



3: Sound coat of paint

🟡 **Minor or Cosmetic Deficiencies**

• All deteriorated wood should be replaced, RE-caulked and the chimney painted with a sound coat of paint

Recommendation: Contact a qualified handyman.

K. Porches, Balconies, Decks, and Carports

Comments:

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Method:

Porches, decks, driveways and carport's are visually inspected for structural defects and safety related deficiencies (e.g. cracks, trip hazards, negative slope towards the structure, differential movement, etc.).

1: Patio/flatwork Cracks

🟡 **Minor or Cosmetic Deficiencies**

Some cracking of the Patio, Driveway & Sidewalks was observed at the time of this inspection. These appear to be normal cracks and are not a structural concern at this time.

Recommendation: Contact a qualified concrete contractor.



L. Other

1: Adjust gate

🟡 **Minor or Cosmetic Deficiencies**

Left side

- The gate needs to be adjusted

Recommendation: Contact a qualified professional.

II. ELECTRICAL SYSTEMS

A. Service Entrance and Panels

Comments:

Electric Panel Rating: 200

Electric Panel location: Garage

3 Pics for Reference::

- Picture of the panel with the cover on for reference.
- Picture of the electrical service panel with the cover removed for reference.
- I checked the electrical service panel with an IR (InfraRed) camera looking for any overheating components in the panel.



Service panel OK:

- All electrical components in the main electrical panel appear to properly installed and functional at the time of this inspection.

IR check OK:

No overheating was found in the panel at the time of this inspection.

General:

Not all electrical components are visible to the inspector. The inspector will report deficiencies that are visible at the time of the inspection. If deficiencies are noted, or if there are any questions or concerns you are advised to have a licensed electrician fully evaluate the homes electrical system prior to the expiration of any warranty or option period.

B. Branch Circuits, Connected Devices, and Fixtures

Type of Wiring: Copper

Comments:

Smoke alarms OK:

The smoke alarms were tested and appeared to be performing properly at the time of inspection. (Pushed the test button)

Master bedroom and right rear bedroom

General:

Electrical devices in a home typically use either 120 or 240 volt electricity. General purpose circuits (lighting, receptacles, fans, etc.) require 120 volts. The major appliances such as clothes dryers, kitchen ranges, electric water heaters, air conditioners, and electric heating units require 240 volts. Inspection of the electrical distribution system is limited to the visible and accessible components of the distribution wiring, receptacles, switches and other connected devices. The majority of the electrical distribution system is concealed behind walls and ceilings and their conditions are not known. The lack of GFCI protection in presently required locations regardless of the homes age are noted, as required by the Texas Real Estate Commission. Low voltage and ancillary electrical systems such as landscape lighting, generators, etc. are not inspected. Inspection of the doorbells and chimes is limited to testing the operation of the chimes and the physical condition, function, and installation of the doorbell button. Inspection and testing of Intercom systems are not included in this inspection.

In furnished homes all switches and receptacles may not be accessible for inspection or testing. Receptacles located in garage ceilings and exterior soffits are not individually tested.

Low voltage X inspected:

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Inspection of low-voltage or decorative lighting lies beyond the scope of the General Home Inspection. You may wish to have the functionality of any such lighting demonstrated by the seller.

Smoke Detectors:

Smoke Detectors

Today's standards require smoke detectors in each bedroom and outside each separate sleeping area on every level of the structure. Smoke detectors should be located on the ceilings at least 18" away from the wall. (Smoke tends to mushroom upward, turning outward toward the center of the ceiling. To Fire Fighters this is known as the mushroom effect, which leaves a dead airspace 18" from a ceiling to a wall corner). Test all alarms weekly or monthly per manufacturers recommendations. Failure to test, repair defective or install absent alarms, detectors and other safety equipment immediately can result in serious injury or death. Initiate and practice plans of escape and protection for all occupants in case any emergency arises.

Smoke detectors are tested using the manufacturer supplied test button only. This inspection does not include testing smoke detectors with actual smoke.

Carbon Monoxide Alarms:

Carbon Monoxide Alarms

Smoke is heated and rises, thus smoke detectors are placed on the ceiling. Carbon Monoxide, on the other hand, mixes with our air, and stays closer to the ground. For this reason it is advised that CO detectors should be mounted at Knee Height (nose level for the average person sleeping). The Center for Disease Control (CDC) recommends replacing CO alarms every 5 years. Carbon Monoxide Alarms are tested with the manufacturer test button only.

Unable to determine switch operation:

I was unable to determine the operation end of one or more of the switches.

1: Missing / damaged cover plate

🚫 Minor or Cosmetic Deficiencies

Kitchen

One or more of the receptacles was noted to have missing or damaged cover plate.

Recommendation: Contact a qualified electrical contractor.



2: Switch cover

🚫 Minor or Cosmetic Deficiencies

Right front bedroom

The switch cover plate is missing or damaged.

Recommendation: Contact a qualified electrical contractor.

3: 3 Way X function properly

▲ **Essential Items (Licensed Professionals & Safety)**

Kitchen

The 3-way switch is not functioning properly and should be wired correctly by a licensed electrician.

Recommendation: Contact a qualified electrical contractor.

4: Light loose

⊖ **Minor or Cosmetic Deficiencies**

Hallway bath

One or more of the light fixtures are loose at the ceiling mount

Recommendation: Contact a qualified electrical contractor.



5: Not interconnected

⊖ **Minor or Cosmetic Deficiencies**

Right front bedroom and common areas hallways dining room etc.

One or more of the smoke alarms do not appear to be interconnected together. Under today's building standards: When more than one smoke alarm is required to be installed within an individual dwelling unit the alarm devices shall be interconnected in such a manner that the actuation of one alarm will activate all of the alarms in the individual unit. The alarm shall be clearly audible in all bedrooms over background noise levels with all intervening doors closed.

Recommendation: Contact a handyman or DIY project

6: Change Batteries

⊖ **Minor or Cosmetic Deficiencies**

An audible sound can be heard from one or more of the smoke detectors, indicating that the batteries need to be changed. It is recommended to replace the batteries in all of the smoke detectors once a year for reasons of safety.

Recommendation: Recommended DIY Project

7: no respond

⊖ **Minor or Cosmetic Deficiencies**

Dining Room

One or more of the smoke alarms did not respond properly when tested.

Recommendation: Contact a handyman or DIY project

8: No GFIC for Disposal

⊖ **Minor or Cosmetic Deficiencies**

The disposal outlet was tested and found to not be GFCI protected. This was Not required at the time the home was built and has only been required on new construction homes in the last few years. TREC requires me to mark this item as deficient.

Recommendation: Contact a qualified professional.

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9: Smoke alarms older

🔴 **Minor or Cosmetic Deficiencies**

It is recommended that smoke alarms be replaced every 10 years.

Recommendation: Contact a qualified professional.

III. HEATING, VENTILATION & AIR CONDITIONING SYSTEMS

A. Heating Equipment

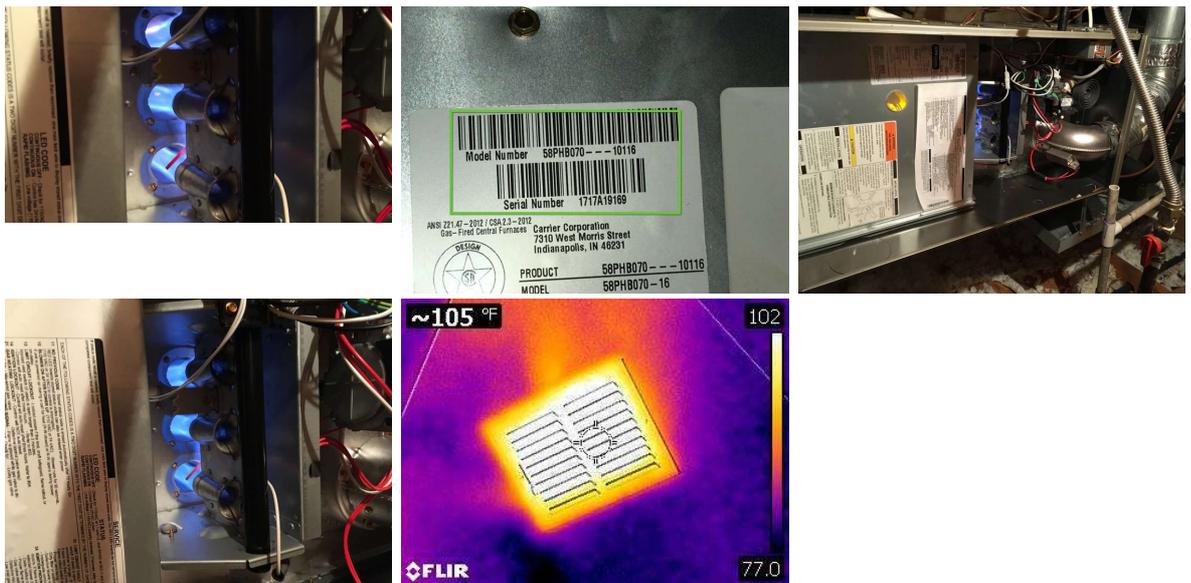
Type of System & Energy Source: Forced Air

Comments:

- Any Heating deficiencies listed below in this section should be further evaluated corrected as necessary by a Licensed HVAC technician.

(GAS) PICS of Furnace, Comb Chamber & IR image of Grill: Central -

- Picture of the furnace/heater for reference.
- Picture of the combustion chamber during operation for your reference.
- Image taken with the IR camera of the HVAC grill during operation of the heating system.



B. Cooling Equipment

Type of System: Central Cooling System

Comments:

- Any AC (Air Conditioning) deficiencies listed below in this section should be further evaluated corrected as necessary by a Licensed HVAC technician.
- The cooling equipment is inspected for correct installation of the indoor and outdoor units and clearances as required. A Delta-T (temperature differential of supply and return air) is measured and noted.
- Temperature differential readings are a fundamental standard for testing the proper operation of the cooling system. The normal acceptable range is considered approximately between 15 to 23 degrees F. total difference between the return air and supply air. Unusual conditions such as excessive humidity, low outdoor temperatures, and restricted airflow may indicate abnormal operation even through the equipment is functioning basically as designed and occasionally may indicate normal operation in spite of an equipment malfunction.

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Note: When D (D = Deficient) is checked, that indicates that the HVAC system does not appear to be performing as intended. The observations made to support the rendering of this opinion are listed in this report. This list should not be considered an all inclusive list of deficiencies. You are advised to have a fully qualified and licensed HVAC service provider perform a full evaluation of this HVAC system equipment and repair any and all deficiencies that are found prior to the expiration of any warranty or option period .

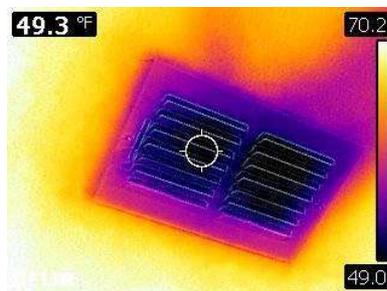
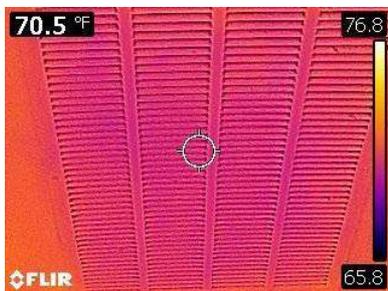
RLA draw -> Inside & Outside units : Central Cooling, Carrier, Manufacturers Year, 2017, Refrigerant Type, R410, System Size, 3.5 TON, Temperature Differentials, Temp Drop 21 degrees, Recommended Breaker Size, 35 AMP -

- The RLA (Running Load Amps) rating for the condensing unit is . **amps** (Total for fan and compressor). The unit drew . **amps** . This rough check is within the normal operating range.
- Picture of the cooling equipment in the atticHVAC closet for your reference.
- Picture of the outside condensing unit for reference.



Temps measured:

- Image taken of the supply and return air with the IR camera of the HVAC grills during operation of the cooling system.



Outside unit running OK:

The outside unit appeared to be performing satisfactorily at the time of inspection

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1: Wrong size breaker

▲ Essential Items (Licensed Professionals & Safety)

- The manufacturers listing plate on the outside condenser/coil lists the maximum over current device (breaker) to be used as 35 AMPS. **The breaker in place does not meet the manufacturers listing plate requirements it's too big at 60 AMPS.**

Recommendation: Contact a qualified electrical contractor.

C. Duct System, Chases, and Vents

Comments:

- Any ductwork deficiencies listed below in this section should be further evaluated corrected as necessary by a Licensed HVAC technician.

Ductwork ok:

- All visible ducts appeared to be in satisfactory condition at the time of this inspection.



General:

- Some of the duct work is in areas of the attic that are not readily accessible. Not all of the duct work is visible. Some duct work, by design, is hidden in the walls and ceilings. Only visible ductwork is inspected.

1: Return covers dirty

🟡 Minor or Cosmetic Deficiencies

- The return grills were dirty at the time of inspection and should be cleaned.

Recommendation: Contact a handyman or DIY project

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2: Dirty Filters

 Observations / Maintenance items

- The filters were dirty at the time of inspection and should be replaced as necessary. **1 in filters** should be replaced **monthly** and **4 in filters** should be replaced **every 3 months**.



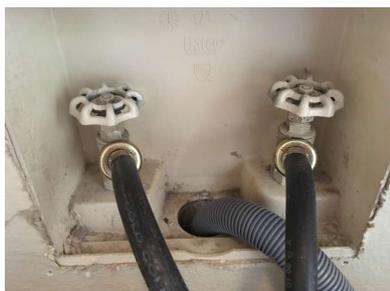
IV. PLUMBING SYSTEMS

A. Plumbing Supply, Distribution Systems, and Fixtures

Comments:

Pic of the laundry connections:

- Picture of the laundry room washer box connections. No rust or leaks were found at the time of this inspection.



Shower Enclosure OK:

I aimed water at the corners of the shower enclosure checking for leaks. No leaks were found at the time of inspection

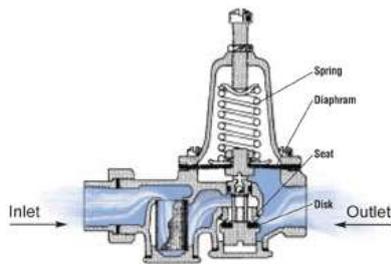


1: High pressure over 80

▲ Essential Items (Licensed Professionals & Safety)

- The water pressure was observed to be above 80 psi at the time of this inspection. Under current plumbing standards the maximum water pressure should be 80 psi. **This condition should be further evaluated and corrected as necessary by a licensed Plumber.**

Recommendation: Contact a qualified plumbing contractor.



Cut away of Pressure reducing valve



Example Pressure Reducing Valve

2: Caulk Shower Controls & Spout

● Minor or Cosmetic Deficiencies

- The shower controls & shower spout needs to be sealed to the wall to avoid water intrusion into the wall. **FYI: Cleaning products that contain bleach can cause deterioration of caulking.**

Recommendation: Contact a handyman or DIY project



3: Loose Faucet

▲ Essential Items (Licensed Professionals & Safety)

both master bath sinks

- The faucet assembly is loose and should be resecured by a licensed plumber.

Recommendation: Contact a qualified plumbing contractor.



4: Hot Cold reversed

▲ Essential Items (Licensed Professionals & Safety)

Kitchen

- The faucets hot/cold water orientation is reversed and should be corrected by a licensed plumber.

Recommendation: Contact a qualified plumbing contractor.

5: Prior leak evidence

🟡 Minor or Cosmetic Deficiencies

Kitchen

- Signs of a previous leak were observed under the sink. **No leaks were found at the time of inspection** but the cabinet should be repaired as necessary.

Recommendation: Contact a handyman or DIY project



6: Paint Gas lines

🟡 Minor or Cosmetic Deficiencies

- The surface rust should be cleaned off the gas lines and the gas lines painted with a good exterior paint rust resistant paint.

Recommendation: Contact a qualified handyman.



7: Adjust cabinet doors & drawers

🟡 Minor or Cosmetic Deficiencies

Kitchen

The cabinet doors and drawers are in need of adjustment and cabinet bumps in various locations.

Recommendation: Contact a qualified cabinet contractor.

8: Missing pressure collar

⚠️ Essential Items (Licensed Professionals & Safety)

One or more of the hosebibs / exterior faucets was absent a pressure relief collar. A pressure relief collar should be installed.

Recommendation: Contact a qualified plumbing contractor.

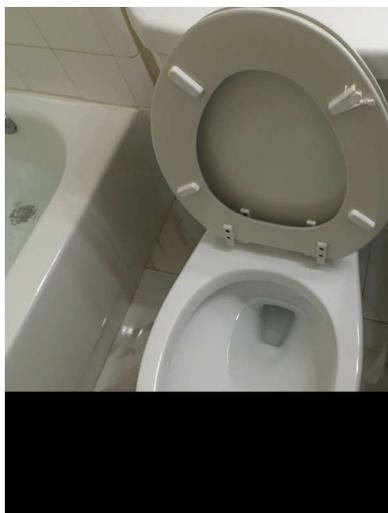


9: Toilet seat damaged

🟡 Minor or Cosmetic Deficiencies

The toilet seat is damaged and needs to be replaced.

Recommendation: Contact a handyman or DIY project



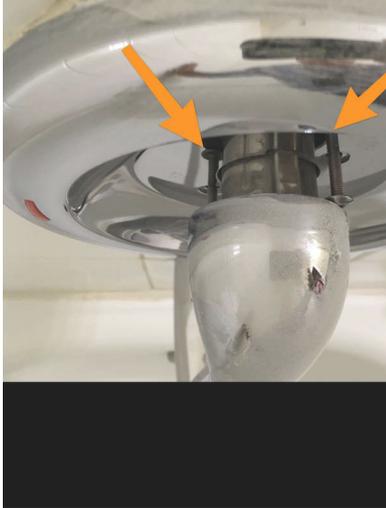
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10: Tub controls loose

🟡 **Minor or Cosmetic Deficiencies**

- The tub controls are loose and need to be resecured.

Recommendation: Contact a qualified plumbing contractor.



B. Drains, Wastes, & Vents

Comments:

- Plumbing deficiencies listed below in this section should be further evaluated corrected as necessary by a Licensed Plumber.

Tub and washer:

- Tub overflow drains are not inspected or tested. Showers were run for an extended period of time. The clothes washer drain line was not inspected or tested at the time of the inspection.

1: Slow drain = Sink

🟡 **Minor or Cosmetic Deficiencies**

Right hallway bath & master bath right sink

The sink was observed to drain slowly, suggesting that an obstruction may exist.

Recommendation: Contact a qualified plumbing contractor.

2: Corroded drain pipe

🔴 **Essential Items (Licensed Professionals & Safety)**

Kitchen

- A corroded drain pipe although readily available at most home centers for sale are not recommended for use. The corrugations can trap debris and cause a clog. It is recommended that the corrugated pipe be replaced with a smooth PVC pipe.

Recommendation: Contact a qualified plumbing contractor.

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3: Caulk controls

🟡 Minor or Cosmetic Deficiencies

The tub controls, spout and shower head need to be sealed to the wall.

Recommendation: Contact a qualified professional.



4: Tub controls loose

🟡 Minor or Cosmetic Deficiencies

- The tub controls are loose and need to be better secured.

Recommendation: Contact a qualified plumbing contractor.

5: Damaged drain assembly

🔴 Essential Items (Licensed Professionals & Safety)

- The tub drain assembly is damaged and needs to be replaced by a licensed plumber.

Recommendation: Contact a qualified plumbing contractor.



C. Water Heating Equipment

Water Heater: Energy Type: Gas, Capacity: 50 Gallon, Manufacturer year 2017, Located in Garage, RUUD

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Comments:

general:

Water Heaters should be flushed every year or as recommended by the manufacturer to remove sediments that collect at the bottom of the tank. This can be accomplished by attaching a garden hose to the drain valve at the bottom of the heater, directing the discharge water to a safe location and turning the valve on. Caution should be observed as the water coming out will be very hot. The flush is complete when the water comes out clear.

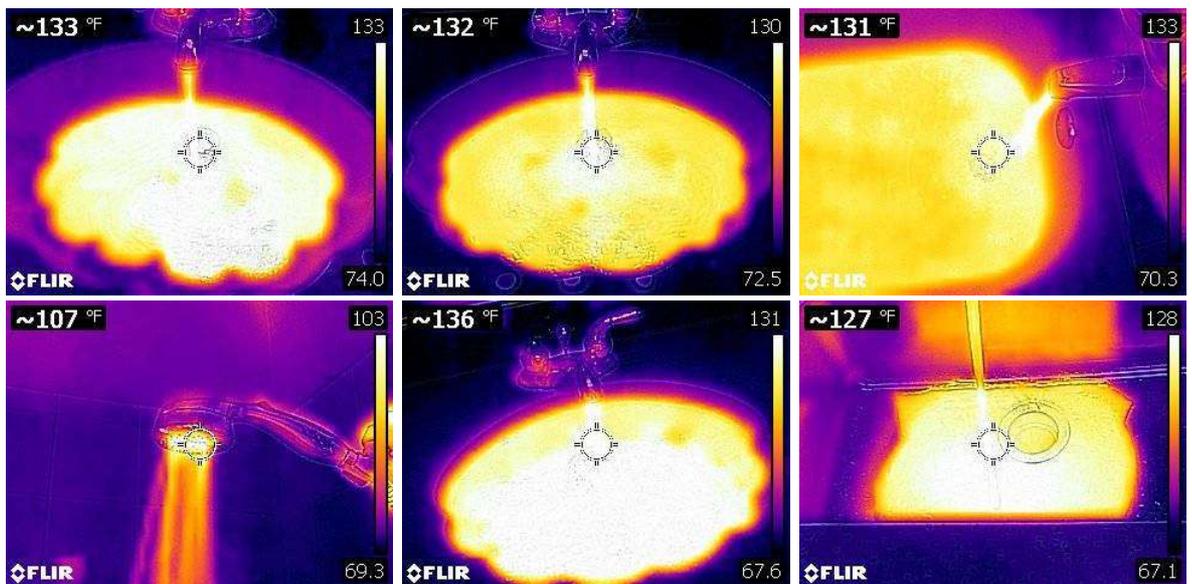
The T & P Valve (Temperature & Pressure Release Valve) should be tested annually for reasons of safety. Follow the manufacturers instructions for testing procedures.

We highly recommend the use of a water alarm at the water heater. This alarm will sound at the presence of any water leaks and could help prevent major water intrusion events due to failure of the water heater. These units are available online or at major home improvement centers for about \$10 each.



Working OK:

- Pictures of the fixtures taken with an IR camera. The water heater appears to be heating properly at the time of this inspection.



Picture of Water heater:

Picture of the water heater and the manufacturers label for reference.

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Picture Combustion Chamber:
Picture of the combustion Chamber for reference.



D. Hydro-Massage Therapy Equipment

Comments:

Pic during operation:

Picture of the hydrotherapy tub during operation.

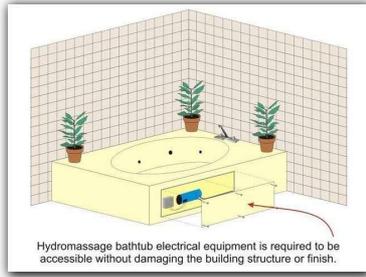


1: No access

🚫 **Minor or Cosmetic Deficiencies**

The access to the hydro-massage therapy equipment motor is not readily accessible and inspection of the equipment lines and motor could not be performed. This does not meet current installation standards. This may be an as-built condition but Per TREC standards of practice we are required to report this condition as a deficiency.

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2: Air valve stuck

▲ Essential Items (Licensed Professionals & Safety)

The air valve was observed to be stuck and would not turn. This condition should be corrected.

Recommendation: Contact a qualified plumbing contractor.



V. APPLIANCES

A. Dishwashers

Comments:

Brand: Whirlpool

Dishwasher ok:

Picture of the dishwasher for reference. The dishwasher appeared to be working properly at the time of inspection.



Normal:

The dishwasher is operated in the NORMAL mode.

B. Food Waste Disposers

Comments:

The disposal was tested and appeared to be working properly at the time of this inspection.

Disposal OK:

The disposal was tested and appeared to be working properly at the time of this inspection.

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C. Range Hood and Exhaust Systems

Comments:

Exhaust Hood Type: Re-circulate

Microwave vent OK:

The vented microwave appeared to be working properly at the time of this inspection.

performance:

Vents are operated with the switch. Actual performance level is not evaluated.

D. Ranges, Cooktops, and Ovens

Comments:

Range, Cook Top, Oven: Range, GE

Cooktop OK:

The cooktop burners appeared to be performing properly at the time of this inspection.



Oven temperatures:

The oven or ovens were tested at 350 degrees.



Range OK:

The range was tested and appeared to be working properly at the time of inspection.

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1: No Anti-Tip

▲ Essential Items (Licensed Professionals & Safety)

The range can be easily tipped over and should be equipped with an anti-tip device, for safety. This may be an as-built condition but Per TREC standards of practice we are required to report this condition as a deficiency.

Recommendation: Contact a handyman or DIY project

ANTI-TIP DEVICE

▲ WARNING — To reduce the risk of tipping, the appliance must be secured by properly installed Anti-Tip bracket packed with this appliance.

If the Anti-Tip device supplied with the range does not fit this application, use the universal Anti-Tip device WB2X7909.



▲ WARNING —

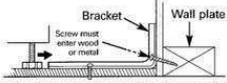
- All ranges can tip
- Injury to persons could result
- Install Anti-Tip bracket packed with range
- See Installation Instructions



If you pull the range out and away from the wall for any reason, make sure the Anti-Tip bracket is engaged when the range is pushed back against the wall.

9 ANTI-TIP DEVICE INSTALLATION

An **Anti-Tip bracket** is supplied with instructions for installation in a variety of locations. The instructions include all necessary information to complete the installation. Read the **Safety Instructions** and the instructions that fit your situation before beginning installation.



Typical installation of anti-tip bracket attachment to wall

▲ WARNING:

- Range must be secured by **Anti-Tip bracket** supplied.
- If the Anti-Tip device supplied with the range does not fit this application, use the universal Anti-Tip device WB2X7909.
- See instructions to install (supplied with bracket).
- Unless properly installed, the range could be tipped by stepping or sitting on the door. Injury may result from spilled hot liquids or from the range itself.

2: Scratches

● Minor or Cosmetic Deficiencies

Cosmetic scratches were observed on the range/cooktop. This condition should be corrected as desired.

Recommendation: Contact a qualified appliance repair professional.



E. Microwave Ovens

Comments:

Brand: Samsung

Microwave OK:

The microwave was observed to be working properly at the time of this inspection.



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F. Mechanical Exhaust Vents and Bathroom Heaters

Comments:

Bath exhaust OK:

The bathroom exhaust fans were tested and performed ok at the time of inspection.

1: Vents to Attic

🚫 **Minor or Cosmetic Deficiencies**

HVAC contractor

The exhaust vent terminates in the attic. This was not a requirement at the time that the home was built but TREC requires that i mark this item as deficient.

Recommendation: Contact a handyman or DIY project



G. Garage Door Operators

Comments:

*The balance and operation of the garage door were tested and appeared to perform properly at the time of this inspection.

*The garage door openers photo eye sensors were tested and appeared to be working properly at the time of this inspection.

* The auto reverse safety feature was tested with hand pressure and found to be working properly at the time of this inspection.

Balance and operation OK:

The balance and operation of the door was tested and performed OK on the day of inspection.

Photo eyes OK:

The photo eyes were tested and performed ok at the time of inspection

Close pressure:

The close pressure sensor was not tested due to the high probability of damage occurring during this test process.

1: No reverse Hand pressure

⚠️ **Essential Items (Licensed Professionals & Safety)**

The garage door did not reverse when upward hand pressure was applied and should be adjusted for safety reasons.

Recommendation: Contact a qualified professional.

H. Dryer Exhaust Systems

Comments:

- Any deficiencies listed below in this section should be further evaluated corrected as necessary by a contractor qualified to install, service & clean dryer vents.

Dryer in place Not Inspected:

- The clothes dryer was in place on the day of inspection and the inside of the duct could not be seen. It is recommended that the condition of the duct be checked prior to connecting the clothes dryer to it. If it is dirty it should be cleaned for reasons of fire safety. Dryer vents should be cleaned regularly as part of normal home maintenance.

Vent duct not connected to dryer:

- The dryer vent duct is not connected to the dryer.



1: Dryer Vent Dirty

▲ Essential Items (Licensed Professionals & Safety)

- The dryer vent termination appears to be clogged and should be cleared for safety reasons.

Recommendation: Contact a qualified professional.



2: Wrong type of termination

▲ Essential Items (Licensed Professionals & Safety)

- This type of roof level dryer vent termination is not approved for use with dryer vents. There should be a flapper that keeps birds or rodents from entering the ductwork. It is also important that no screens be installed. Screens can trap lint and create a fire hazard. It is recommended that the dryer vent termination be replaced with one approved for use on dryer vent ducts.

Recommendation: Contact a qualified professional.



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Example wall termination



Example dryer vent wall termination



Example Dryer vent Roof cap

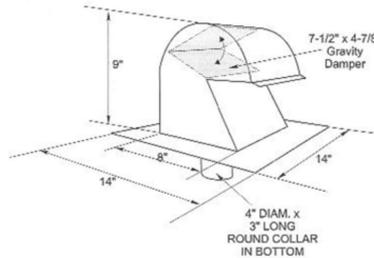


Illustration of a proper dryer vent cap

VI. OPTIONAL SYSTEMS

A. Landscape Irrigation (Sprinkler) Systems

Comments:

Operated:

Made to Last Inspections does not inspect sprinkler systems.

We are happy to "Operate" the system to the best of our ability, and will make comments in this section regarding our observations.

For a full evaluation of the sprinkler system and associated components we recommend that you contact a Licensed Irrigation Technician.

Pics during operation:

Pictures of the sprinklers during operation.





1: Damaged pipe

🟡 Minor or Cosmetic Deficiencies

Front near the curb

- One of the sprinkler pipes is damaged and should be repaired or replaced as necessary.

Recommendation: Contact a qualified professional.



2: Damaged sprinkler head

🟡 Minor or Cosmetic Deficiencies

- One or more of the sprinkler heads was damaged and should be replaced as necessary.

Recommendation: Contact a qualified professional.



3: Sprinkler head Aimed wrong

🟡 **Minor or Cosmetic Deficiencies**

Front yard to the right of the driveway

- One of the sprinkler heads was observed to have a narrow angle of spray and should be adjusted or replaced.

Recommendation: Contact a qualified professional.

