



RESIDENTIAL REPORT

1234 Main St.
Edmonton AB T5T3E9

Buyer Name
01/18/2018 9:00AM



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General Information: Overview

A home inspection is a non-invasive, visual examination of the accessible areas of the property, designed to identify areas of concern within specific systems or components defined by the City Of Edmonton Standards of Practice, that are both observed and deemed material by the inspector at the exact date and time of inspection. Any and all recommendations for repair, replacement, evaluation, and maintenance issues found, should be evaluated by the appropriate trades contractors within the clients inspection contingency window or prior to closing, which is contract applicable, in order to obtain proper dollar amount estimates on the cost of said repairs and also because these evaluations could uncover more potential issues than able to be noted from a purely visual inspection of the property. This inspection will not reveal every concern or issue that exists, but only those material defects that were observable on the day of the inspection. This inspection is intended to assist an evaluation of the overall condition of the dwelling only. This inspection is not a prediction of future conditions and conditions with the property are subject to change the moment we leave the premises.

SUMMARY



RECOMMENDATIONS



IMMEDIATE/SAFETY ITEMS

- ☐ Exterior - Siding, Flashing & Trim: Cracking - Minor
- ☐ Exterior - Exterior Doors: Doorbell
- ☐ Basement, Foundation, Crawlspace & Structure - Ceiling Structure: Evidence of Structural Damage
- ☐ Basement, Foundation, Crawlspace & Structure - Wall Structure: Cracks - Minor
- ☐ Heating - Equipment: Needs Servicing/Cleaning
- ☐ Plumbing - Drain, Waste, & Vent Systems: Improper Connection
- ☐ Plumbing - Hot Water Systems, Controls, Flues & Vents: Not Operational
- ☐ Plumbing - Hot Water Systems, Controls, Flues & Vents: Water Stains - Leakage
- ☐ Plumbing - Bathroom Fixture: Sink
- ☐ Plumbing - Bathroom Fixture: Toilet
- ☐ Plumbing - Kitchen Fixture: Sink
- ☐ Garage - Ceiling: Damaged
- ☐ Garage - Walls & Firewalls: Damage Garage Trim
- ☐ Electrical - Main & Subpanels, Service & Grounding, Main Overcurrent Device: Missing Labels on Panel
- ☐ Electrical - Lighting Fixtures, Switches & Receptacles: Light Inoperable
- ☐ Electrical - Smoke Detectors: Recommend Installation
- ☐ Electrical - GFCI & AFCI: No GFCI Protection Installed
- ☐ Doors, Windows & Interior - Doors: Door Doesn't Latch
- ☐ Doors, Windows & Interior - Doors: Door Knobs missing

1: INSPECTION DETAILS

Information

In Attendance Client, Client's Agent	Occupancy Vacant	Style Multi-level
Temperature (approximate) -15 Celsius (C)	Type of Building Condominium / Townhouse	Weather Conditions Snow
Notes Unused Photos- check All your Inspection Photo here .		

2: ROOF

		IN	NI	NP	R
2.1	Coverings	X			
2.2	Roof Drainage Systems	X			
2.3	Flashings	X			

IN = Inspected

NI = Not Inspected

NP = Not Present

R = Recommendations

Information

Inspection Method

Ground, Ladder

Roof Type/Style

Gable

Coverings: Material

Asphalt

Limitation: Snow covered.

Asphalt Shingles observed functional at the time inspection. 15 years shelf life remaining, par manufacture.

Tips: Be an active member of condo Board.



Roof Drainage Systems: Gutter Material

Aluminum

Recommend for downspout extension adjustment divert water away from the house.

Flashings: Material

Aluminum

Drip edge flashing missing, recommend installing to protect the roof board, Contact Condo board for all exterior maintenance and repair.



3: EXTERIOR

		IN	NI	NP	R
3.1	Siding, Flashing & Trim	X			X
3.2	Exterior Doors	X			X
3.3	Walkways, Patios & Driveways	X			X
3.4	Decks, Balconies, Porches & Steps	X			
3.5	Eaves, Soffits & Fascia	X			
3.6	Vegetation, Grading, Drainage & Retaining Walls	X			

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Information

Inspection Method Visual	Siding, Flashing & Trim: Siding Style Channel	Exterior Doors: Exterior Entry Door Fiberglass
Walkways, Patios & Driveways: Patio Observed Functional at the time of inspection.	Decks, Balconies, Porches & Steps: Appurtenance Balcony	Decks, Balconies, Porches & Steps: Material Composite



Siding, Flashing & Trim: Siding Material
Asphalt
Observed Openings on back and side of the house. Recommend correction by professional. Contact Condo Management for all exterior repair and maintaiance.





Recommendations

3.1.1 Siding, Flashing & Trim

CRACKING - MINOR

OUTSIDE GARAGE CORNER WALL

Loose sliding observed. This is a result of temperature changes, and typical as homes with stucco age. Recommend monitoring.

Recommendation

Recommended DIY Project

 Recommendation



3.2.1 Exterior Doors

DOORBELL

FRONT DOOR

Observed doorbell not operational, Recommend Correction.

 Recommendation

4: BASEMENT, FOUNDATION, CRAWLSPACE & STRUCTURE

		IN	NI	NP	R
4.1	Foundation	X			X
4.2	Basements	X			
4.3	Floor Structure	X			
4.4	Wall Structure	X			X
4.5	Ceiling Structure	X			X

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Information

Inspection Method
Infrared, Visual

Foundation: Material
Concrete

Floor Structure: Material
Concrete

Floor Structure:
Basement/Crawlspace Floor
Concrete

Floor Structure: Minor Crack
Observed minor crack in Basement/ Garage floor.
These Cracks are normal but Recommend monitoring.



Recommendations

4.4.1 Wall Structure

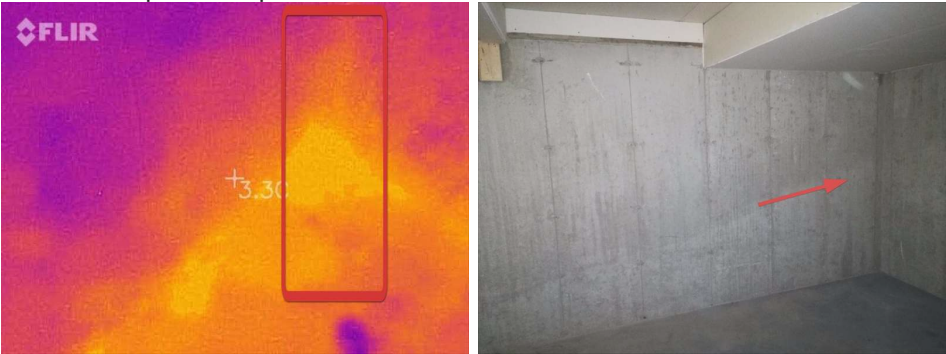
CRACKS - MINOR

BASEMENT/GARAGE

Minor cracking was observed in the wall structure. This is common in homes. Recommend monitoring.

Recommendation

Recommendation
Contact a qualified professional.



Cracks are not visible in thermal images, which is cosmetic repair, recommended.Basement

4.5.1 Ceiling Structure

EVIDENCE OF STRUCTURAL DAMAGE

Evidence of structural repair was found in the ceiling structure. Recommend a structural engineer evaluate repair.

Recommendation
Contact a qualified structural engineer.

 IMMEDIATE/SAFETY ITEM



5: HEATING

		IN	NI	NP	R
5.1	Equipment	X			X
5.2	Normal Operating Controls	X			
5.3	Distribution Systems	X			
5.4	Vents, Flues & Chimneys	X			
5.5	Presence of Installed Heat Source in Each Room	X			

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Information

Equipment: Brand

Lennox

Equipment: Energy Source

Gas

Equipment: Heat Type

Forced Air

Distribution Systems: Ductwork

Insulated, Non-insulated

AFUE Rating

85%

AFUE (Annual fuel utilization efficiency) is a metric used to measure furnace efficiency in converting fuel to energy. A higher AFUE rating means greater energy efficiency. 90% or higher meets the Department of Energy's Energy Star program standard.

Recommendations

5.1.1 Equipment

NEEDS SERVICING/CLEANING

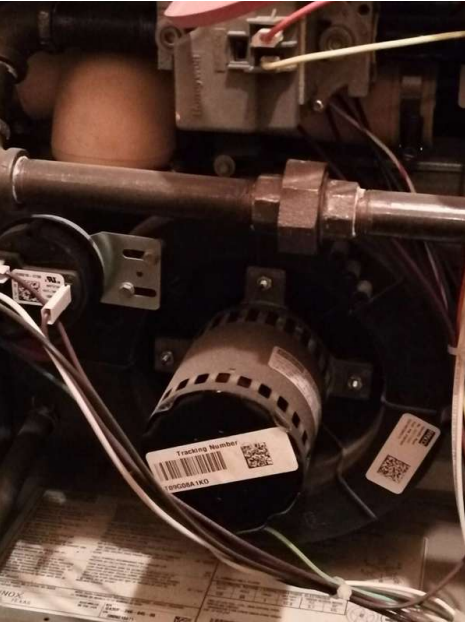
Furnace should be cleaned and serviced annually. Recommend a qualified HVAC contractor clean, service and certify furnace.

Here is a resource

 on the importance of furnace maintenance.

Recommendation

Contact a qualified HVAC professional.



6: PLUMBING

		IN	NI	NP	R
6.1	Main Water Shut-off Device	X			
6.2	Drain, Waste, & Vent Systems	X			X
6.3	Water Supply, Distribution Systems & Fixtures	X			
6.4	Hot Water Systems, Controls, Flues & Vents	X			X
6.5	Fuel Storage & Distribution Systems	X			
6.6	Bathroom Fixture	X			X
6.7	Kitchen Fixture	X			X

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Information

Water Source
Public

Drain, Waste, & Vent Systems: Material
ABS

Hot Water Systems, Controls, Flues & Vents: Location
Basement, Utility Room

Hot Water Systems, Controls, Flues & Vents: Manufacturer
Rheem

Main Water Shut-off Device: Location
Basement

Hot Water Systems, Controls, Flues & Vents: Power Source/Type
Electric

Fuel Storage & Distribution Systems: Main Gas Shut-off Location
Basement, Gas Meter

Drain, Waste, & Vent Systems: Drain Size
2"

Hot Water Systems, Controls, Flues & Vents: Capacity
173 litres

I recommend flushing & servicing your water heater tank annually for optimal performance. Water temperature should be set to at least 120 degrees F to kill microbes and no higher than 130 degrees F to prevent scalding.

[Here is a nice maintenance guide from Lowe's to help.](#)

Recommendations

6.2.1 Drain, Waste, & Vent Systems

IMPROPER CONNECTION

BASEMENT

loose connection and leak observed at a drain, waste pipe. Recommend a qualified plumber evaluate and repair.

Recommendation

Contact a qualified plumbing contractor.



Recommendation



6.4.1 Hot Water Systems, Controls, Flues & Vents

 Recommendation

WATER STAINS - LEAKAGE

BASEMENT

Water stains were observed beneath water heater, indicating a past or present leak. Recommend further evaluation and repair by a qualified plumber.

Recommendation

Contact a qualified plumbing contractor.

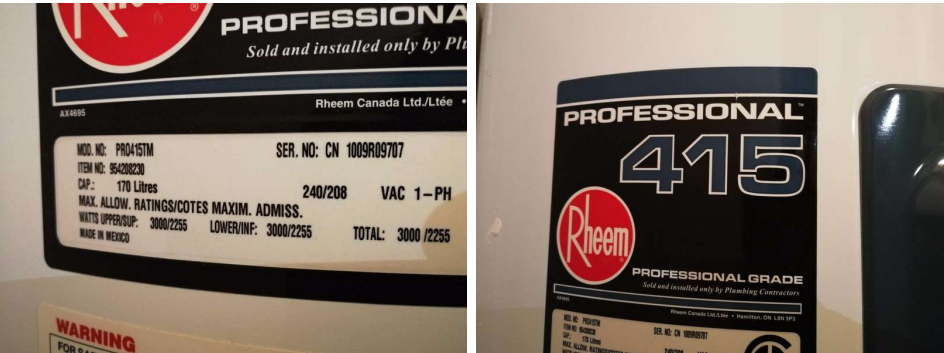
6.4.2 Hot Water Systems, Controls, Flues & Vents

 Recommendation

NOT OPERATIONAL

BASEMENT

Couldn't determine power source for operation, Recommend Contacting seller/condo management for its operational.



6.6.1 Bathroom Fixture

 IMMEDIATE/SAFETY ITEM

SINK

MAIN FLOOR HALF BATHROOM

Loose fitting observed at Mainfloor Haf bathroom, Recommend Repair by qualified Professional.



6.6.2 Bathroom Fixture

 Recommendation

TOILET

2ND FLOOR ENSUITE BATHROOM

Loose fitting observed, Recommend Repair by qualified Professional.



6.7.1 Kitchen Fixture

 Recommendation

SINK

MAIN FLOOR KITCHEN

Observed leak while operating kitchen Faucet, Recommend Repair by qualified professional.



7: ELECTRICAL

		IN	NI	NP	R
7.1	Service Entrance Conductors	X			
7.2	Main & Subpanels, Service & Grounding, Main Overcurrent Device	X			X
7.3	Branch Wiring Circuits, Breakers & Fuses	X			
7.4	Lighting Fixtures, Switches & Receptacles	X			X
7.5	GFCI & AFCI	X			X
7.6	Smoke Detectors	X			X
7.7	Carbon Monoxide Detectors	X			

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Information

Service Entrance Conductors: Electrical Service Conductors Below Ground, 220 Volts	Main & Subpanels, Service & Grounding, Main Overcurrent Device: Main Panel Location Basement	Main & Subpanels, Service & Grounding, Main Overcurrent Device: Panel Capacity 125 AMP
Main & Subpanels, Service & Grounding, Main Overcurrent Device: Panel Manufacturer Siemens	Main & Subpanels, Service & Grounding, Main Overcurrent Device: Panel Type Circuit Breaker	Branch Wiring Circuits, Breakers & Fuses: Branch Wire 15 and 20 AMP Copper
Branch Wiring Circuits, Breakers & Fuses: Wiring Method Romex		

Recommendations

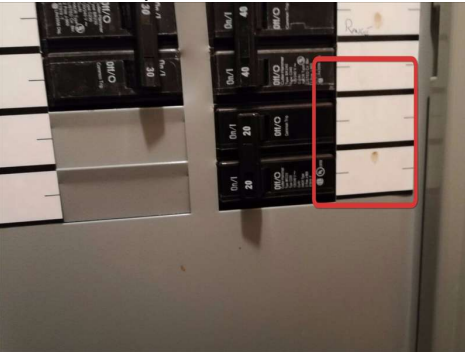
7.2.1 Main & Subpanels, Service & Grounding, Main Overcurrent Device

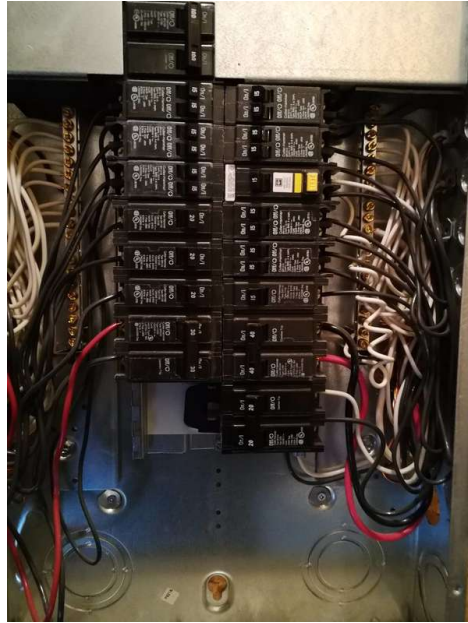
 Recommendation

MISSING LABELS ON PANEL

At the time of inspection, panel was missing labeling. Recommend a qualified electrician or person identify and map out locations.

Recommendation
Contact a qualified electrical contractor.





7.4.1 Lighting Fixtures, Switches & Receptacles

LIGHT INOPERABLE

EXTERIOR, LIVING ROOM, 2ND FLOOR

One or more lights are not operating. New light bulb possibly needed.

Recommendation

Contact a qualified electrical contractor.



7.5.1 GFCI & AFCI

NO GFCI PROTECTION INSTALLED

MAIN FLOOR HALF BATHROOM

No GFCI protection present in all locations. Recommend licensed electrician upgrade by installing ground fault receptacles in all locations.

[Here is a link](#) to read about how GFCI receptacles keep you safe.

Recommendation

Contact a qualified electrical contractor.





7.6.1 Smoke Detectors

RECOMMEND INSTALLATION

Recommend Installing Smoke Detector and CO2 Detector in basement and garage.

 IMMEDIATE/SAFETY ITEM

8: ATTIC, INSULATION & VENTILATION

		IN	NI	NP	R
8.1	Attic Insulation	X			
8.2	Vapor Retarders (Crawlspace or Basement)	X			
8.3	Ventilation	X			
8.4	Exhaust Systems	X			

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Information

Dryer Vent

Metal (Flex)

Metal Flex Dryer vent

Observed Damaged,
Recommend replacing by
qualified professional.

Attic Insulation: R-value

27



Ventilation: Roof Vents

Ventilation: Soffits Vents

Exhaust Systems: Exhaust Fans

Fan Only

Attic Insulation: Insulation Type

Cellulose



9: DOORS, WINDOWS & INTERIOR

		IN	NI	NP	R
9.1	Doors	X			X
9.2	Windows	X			
9.3	Floors	X			
9.4	Walls	X			
9.5	Ceilings	X			
9.6	Steps, Stairways & Railings	X			
9.7	Countertops & Cabinets	X			

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Information

Floors: Floor Coverings

Laminate

Countertops & Cabinets:

Countertop Material

Laminate

Countertops & Cabinets:

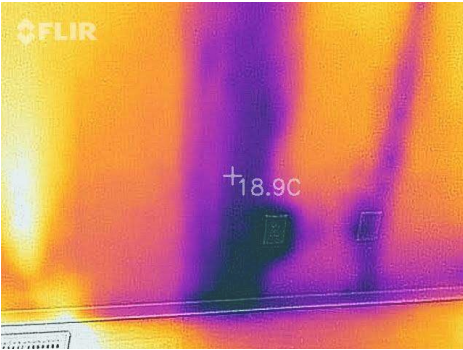
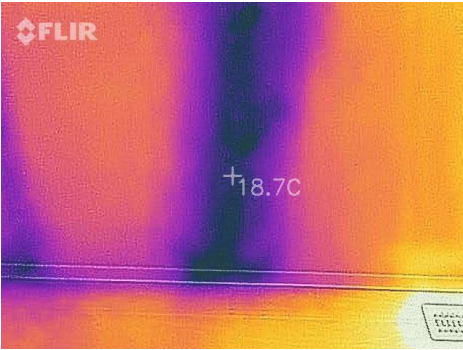
Cabinetry

Laminate

Windows: Window Type

Sliders

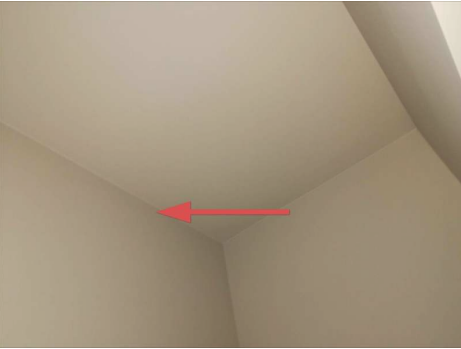
Observed Operational at the time of inspection.
minor insulation missing in the 2nd-floor master bedroom



Walls: Wall Material

Drywall

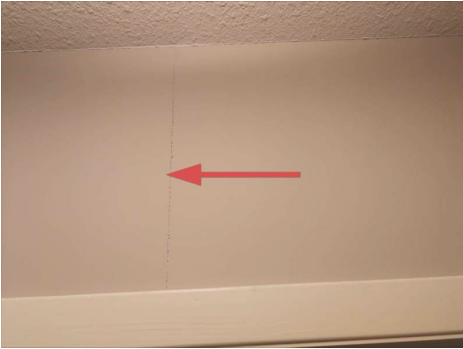
Observed Damage one or more places recommend repair.



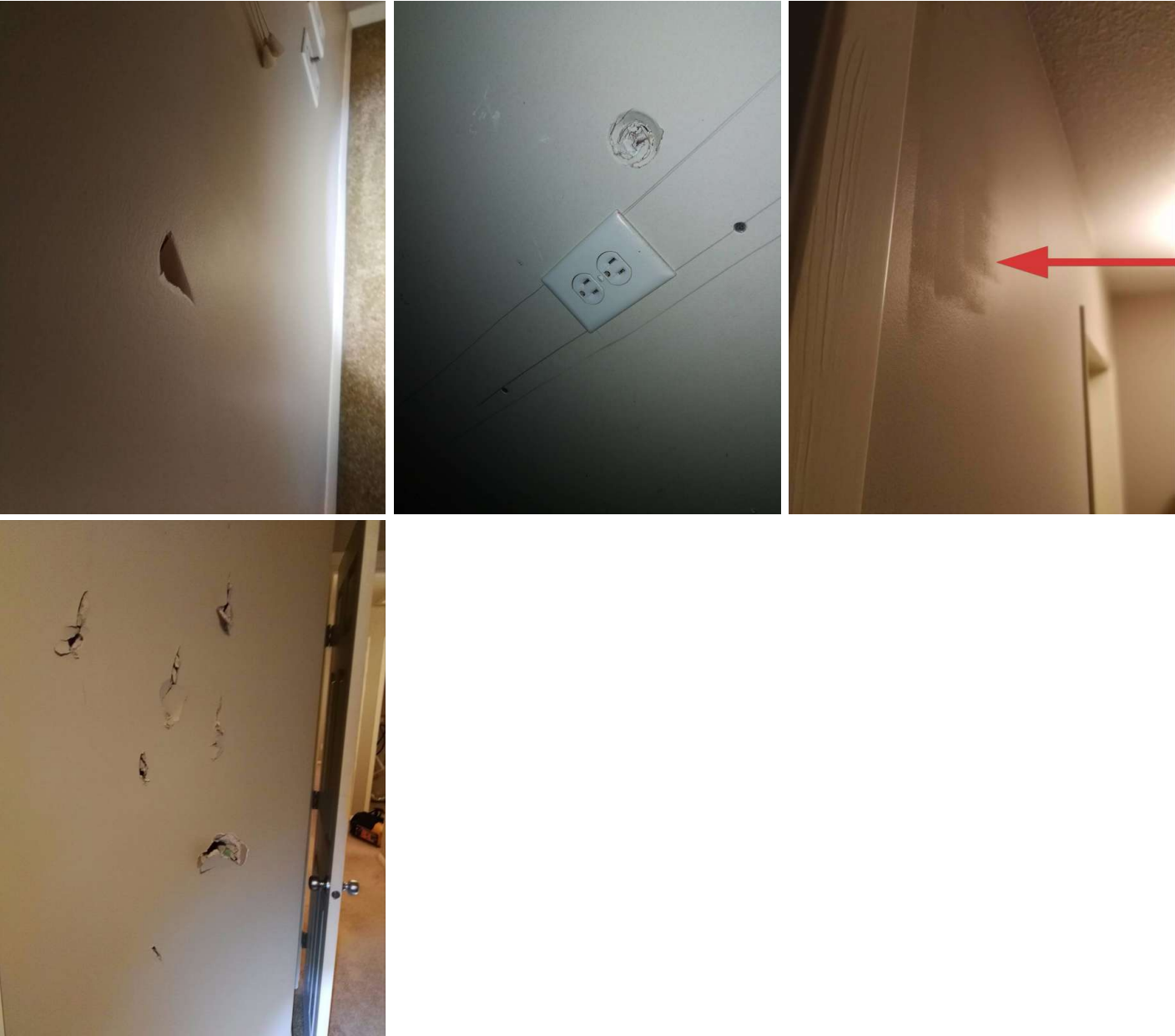
Poor Paint Finishing observed 2nd Floor



Poor Paint finishing observed



Observed damaged due to minor settle ment .Main Floor Living Room



Recommendations

9.1.1 Doors

DOOR DOESN'T LATCH

2ND FLOOR BEDROOM

Door doesn't latch properly. Recommend handyman repair latch and/or strike plate.

Recommendation

Contact a qualified handyman.

 Recommendation

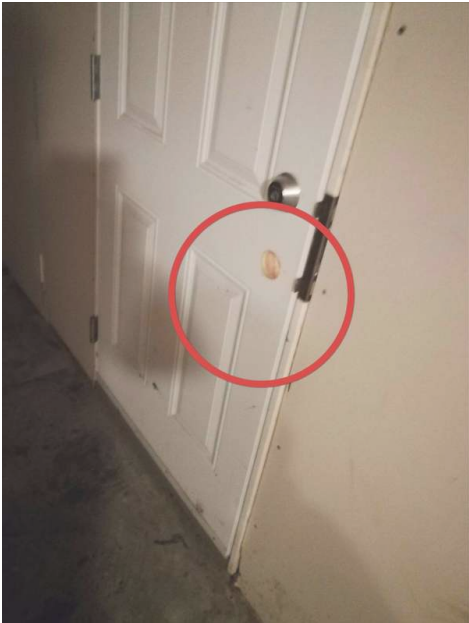


9.1.2 Doors

DOOR KNOBS MISSING

Missing knobs in basement. Recommend Correction

 IMMEDIATE/SAFETY ITEM



10: BUILT-IN APPLIANCES

		IN	NI	NP	R
10.1	Dishwasher			X	
10.2	Refrigerator			X	
10.3	Range/Oven/Cooktop			X	

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11: GARAGE

		IN	NI	NP	R
11.1	Ceiling	X			X
11.2	Floor	X			
11.3	Walls & Firewalls	X			X
11.4	Garage Door	X			
11.5	Garage Door Opener	X			
11.6	Occupant Door (From garage to inside of home)	X			

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Information

Garage Door: Material

Insulated, Fiberglass

Garage Door: Type

Roll-Up, Automatic

Observed Noisy, Recommend Maintenance like repair

Recommendations

11.1.1 Ceiling

DAMAGED

Garage ceiling was damaged. Recommend qualified contractor evaluate and repair.

Recommendation

Contact a qualified professional.

Recommendation



11.3.1 Walls & Firewalls

DAMAGE GARAGE TRIM

GARAGE

Observed Garage door' trim damage and missing cover plate to protect from deterioration.

Recommendation

Contact a qualified garage door contractor.

IMMEDIATE/SAFETY ITEM

