



FULL CIRCLE HOME INSPECTORS

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## HOME INSPECTION REPORT

1234 Main St.  
Apopka Florida 32712

Buyer Name  
03/06/2019 9:00AM



Inspector  
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It is recommended that any noted deficiencies be evaluated and repaired by a certified contractor of trade.

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# SUMMARY

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- 🔑 1.1.1 Inspection details - Structure Details: Change Locks
- 🚫 2.1.1 Roof - General: Vegetation in contact or overhangs
- 🚫 3.2.1 Exterior - Driveway, Walkway, Patio: Screen enclosure-screens torn
- 🚫 3.2.2 Exterior - Driveway, Walkway, Patio: Minor driveway crack
- 🚫 3.3.1 Exterior - Exterior issues: Dryer vent clogged
- 🚫 3.3.2 Exterior - Exterior issues: Hose Bibb Leak
- 🚫 3.4.1 Exterior - Electrical: GFCI Issue
- 🚫 3.5.1 Exterior - Windows and Door: Broken Window
- 🚫 3.8.1 Exterior - Stucco Walls: Hairline Stucco Cracking
- 🚫 5.1.1 Water Heater - Water Heater: Corrosion On Fitting/Lines
- 🚫 5.1.2 Water Heater - Water Heater: Corrosion On Tank
- 🚫 5.1.3 Water Heater - Water Heater: Exceeds Life Expectancy
- 🚫 5.1.4 Water Heater - Water Heater: Leak Supply Pipe/Fitting
- 🚫 5.1.5 Water Heater - Water Heater: Temperature >120
- 🚫 7.1.1 HVAC - General: Service A/C System
- 🚫 7.2.1 HVAC - Condensing Unit: Line Insulation
- 🚫 7.3.1 HVAC - Air Handler: No Float switch-drain line
- 🚫 8.5.1 Kitchen - Sink: Faucet leaks on
- 🚫 9.2.1 Interiors - Floors, Walls, Ceilings: Wall damage
- 🚫 9.3.1 Interiors - Smoke and CO alarms: Smoke Alarm missing/damage
- 🚫 9.4.1 Interiors - Windows and Door: Door interior-Deteriorated
- 🚫 10.6.1 Bathrooms - Shower: Shower Door Hard to Close
- 🚫 10.8.1 Bathrooms - Toilets: Loose
- 🚫 11.3.1 Garage - Floors, walls, Ceiling: Minor cracks ceiling
- 🚫 11.3.2 Garage - Floors, walls, Ceiling: Minor floor cracks
- 🚫 11.4.1 Garage - Vehicle door: Repair/replace
- 🚫 11.4.2 Garage - Vehicle door: Opener damage
- 🚫 12.3.1 Pool - Water: Cloudy
- 🚫 12.4.1 Pool - Pool and decking: Clean Skimmer
- 🚫 12.4.2 Pool - Pool and decking: Deck cracking
- 🚫 12.4.3 Pool - Pool and decking: Pool light does not function
- 🚫 13.2.1 Appliances - Dishwasher: Dishwasher inop
- 🚫 13.4.1 Appliances - Microwave: Light does not work
- 🚫 13.6.1 Appliances - Refrigerator: Water Dispenser Broken

# 1: INSPECTION DETAILS

## Information

|  |   |  |
|--|---|--|
| <b>Start Time</b><br>12:45                                   | <b>Finish Time</b><br>3:10                              | <b>Ground Condition</b><br>Dry   |
| <b>Present at time of the inspection</b><br>Owner            | <b>Property Occupancy</b><br>Yes                        | <b>Temperature</b><br>60 Fahrenheit  |
| <b>Weather Condition</b><br>Clear                            | <b>Rain in the last few days</b><br>Yes                 | <b>Structure Details: Structures Inspected</b><br>House, Pool, Attached Garage                           |
| <b>Structure Details: Type of Structure</b><br>Single Family | <b>Structure Details: Age of the Structure</b><br>20    | <b>Structure Details: Foundation Type</b><br>Slab  |
| <b>Structure Details: Structure Faces</b><br>East            | <b>Structure Details: Utilities</b><br>All Utilities on | <b>The following items have been excluded from the inspection.</b><br>Security system, Irrigation system |

### Category description

Listed below is a description of the Categories used throughout the report to help understand the severity of an item. Any items list in the below categories may be based on the inspectors opinion. These categories are not designed to be considered as an enforceable repair or responsibility of the current homeowner, but designed to inform the current client of the current condition of the property and structure. They may be used in negotiations between real estate professionals.

**Maintenance/Monitor** = The item, component, or system while perhaps is functioning as intended may be in need of **minor** repair, service, or maintenance; is showing wear or deterioration that could result in an adverse condition at some point in the future; or consideration should be made in upgrading the item, component, or system to enhance the function, efficiency, and/or safety. Items that fall into this category frequently be addressed by a **homeowner or Licensed Handyman** and are considered to be routine homeowner maintenance (DIY) or recommended upgrades.

**Deficiencies** = The item, component, or system while perhaps functioning as intended is in need of **moderate** repair, service, is showing signs of wear or deterioration that could result is an adverse condition at some point in the future; consideration should be made in upgrading the item, component, or system to enhance the function, efficiency and/or safety. Items falling into this category can frequently be addressed by a **licensed handyman or qualified contractor of trade** and are not considered routine maintenance or DIY items.

**Safety & Immediate Attention** = The item, component, or system poses a safety concern to occupants in or around the home. Some listed concerns may have been considered acceptable for the time of the structures construction, but pose a current risk.

The item, component or system is not functioning as intended, or needs further inspection by a **qualified license contractor of trade**; possible damage to the structure, item, or component may occur. Repairs may be possible to satisfactory condition with out repair.

## Overview

A home inspection is not a pass or fail type of inspection. It is a visual only evaluation of the conditions of the systems and accessible components of the home designed to identify areas of concern within specific systems or components defined by the Florida State Standards of Practice, that are both observed and deemed material by the inspector at the exact date and time of inspection. Conditions can and will change after the inspection over time. Future conditions or component failure can not be foreseen or reported on. Components that are not readily accessible can not be inspected. Issues that are considered as cosmetic are not addressed in this report. (Holes, stains, scratches, unevenness, missing trim, paint and finish flaws or odors). It is not the intent of this report to make the house new again. Any and all recommendations for repair, replacement, evaluation, and maintenance issues found, should be evaluated by the appropriate trades contractors within the clients inspection contingency window or prior to closing, which is contract applicable, in order to obtain proper dollar amount estimates on the cost of said repairs and also because these evaluations could uncover more potential issues than able to be noted from a purely visual inspection of the property. This inspection will not reveal every concern or issue that exists, but only those material defects that were observable on the day of the inspection. This inspection is intended to assist in evaluation of the overall condition of the dwelling only. This inspection is not a prediction of future conditions and conditions with the property are subject to change the moment we leave the premises.

## Left or right of home

When the direction of "Left or Right" is mentioned, it is a description of the area of the house, facing the house from the street looking towards the house, unless otherwise stated.

## Limitations

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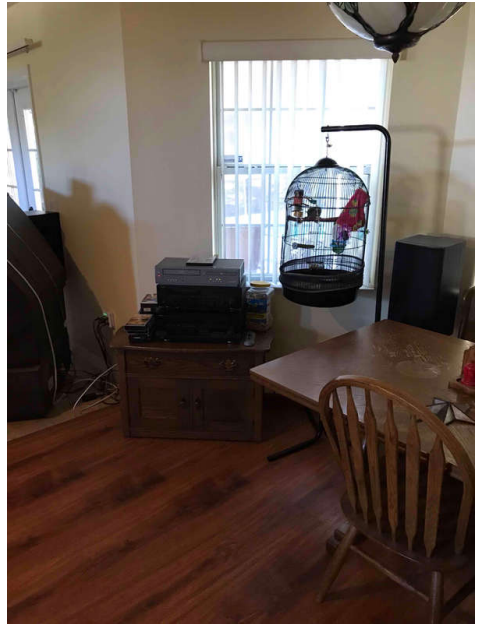
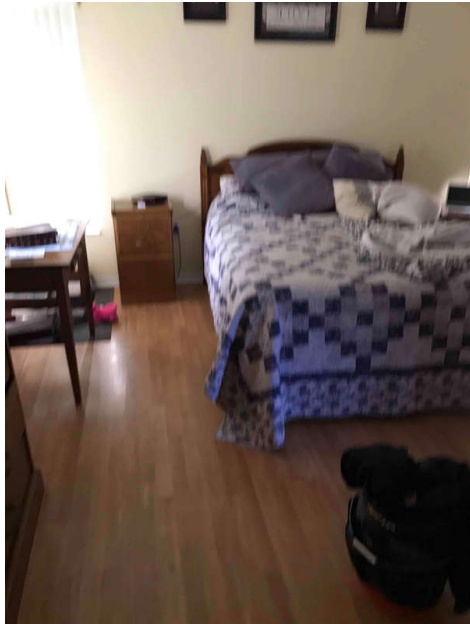
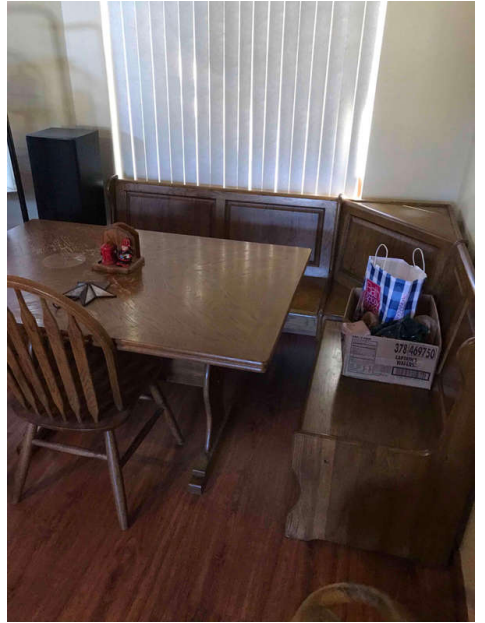
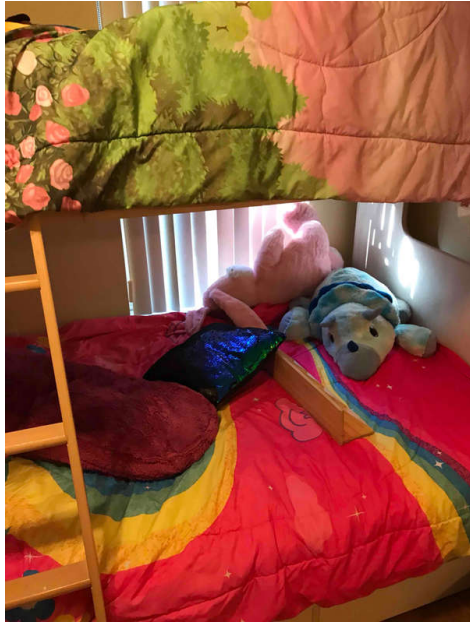
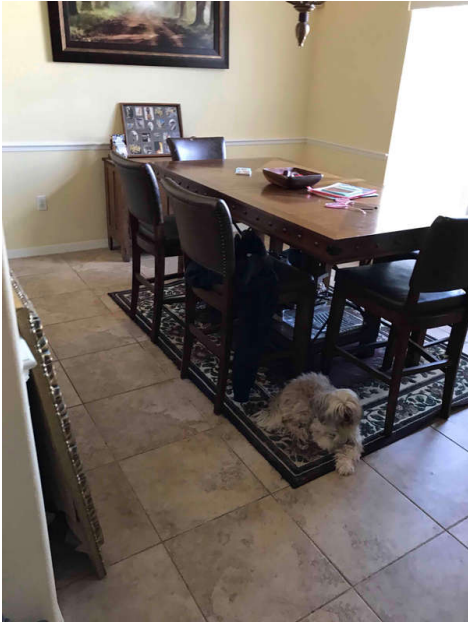
### Structure Details

#### OCCUPIED

Some areas and items at this property were obscured by furniture, stored items, or debris. This often includes but is not limited to walls, floors, windows, inside and under cabinets, under sinks, on counter tops, in closets, behind window coverings, under rugs or carpets, and under or behind furniture. Areas around the exterior, under the structure, in the garage and in the attic may also be obscured by stored items. The inspector in general does not move personal belongings, furnishings, carpets or appliances. When furnishings, stored items or debris are present, all areas or items that are obscured, concealed or not readily accessible are excluded from the inspection. The client should be aware that when furnishings, stored items or debris are eventually moved, damage or problems that were not noted during the inspection may be found.







## Recommendations

1.1.1 Structure Details

### CHANGE LOCKS

Full Circle Home Inspectors recommends that ALL locks and Security codes be changed before moving into the house.

Recommendation

Recommended DIY Project



## 2: ROOF

### Information

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**General: Roof Type**

Hipped, Gable

**General: Roof covering**

Asphalt/Fiberglass Shingles

**General: Estimated roof age(main)**

5

**General: Roof Drainage**

Partial gutter system

**General: Roof Inspection method**

Traversed

We normally conduct our typical roof inspection by walking on the roof's surface in what we call the "random walk" methodology. This method of inspection is not intended to cover every square inch of the roof's surface, nor will it. Further we could not recreate the route of a random walk even if we tried to. We do arrive at an overall impression of the roof's condition developed during this random walk inspection and extrapolate it to the entire roof's surface.

If any discrepancies are in fact identified, it is recommended that to accurately determined the scope of the actual discrepancies, as well as any cost of correction, you consult with a licensed roofing contractor. Not all roof will be walked, dimension, slope, weather, etc may allow the roof to be accessed.



**General: Roof Pictures****Recommendations**

## 2.1.1 General

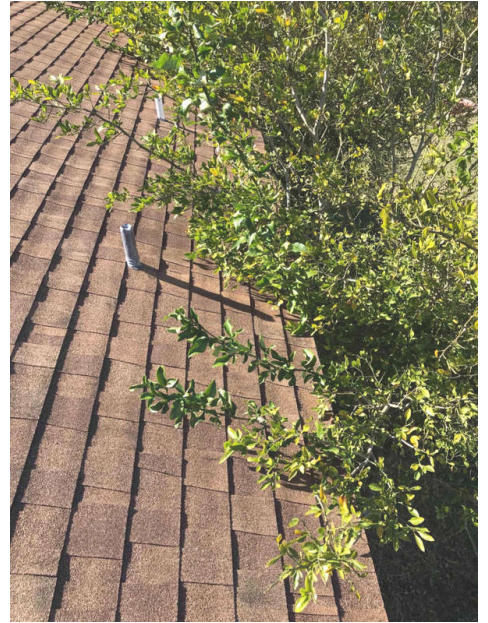
**VEGETATION IN CONTACT OR OVERHANGS**

Vegetation such as trees, shrubs, and/or vines overhung the roof surface or were in contact with the roof edge. Organic debris such as leaves or needles are likely to accumulate in gutters and on the roof surface. Gutters can overflow and cause water to come in contact with the building exterior or water can accumulate around the foundation. This is a conducive condition for wood-destroying organisms. Vegetation in contact with the roof can damage the roof surface and/or the roof drainage system. Recommend pruning vegetation so as to not be in contact with the roof and to not overhang the roof surface. If vegetation is too tall then it should be pruned at least 10 feet above the roof surface.



Recommendation

Contact a qualified tree service company.



# 3: EXTERIOR

## Information

**General: Foundation Material**  
Concrete

**General: Exterior wall structure**  
Concrete Block(CBS)

**General: Wall Covering**  
Stucco

**General: Driveway Material**  
Concrete

**General: Exterior doors**  
Metal

**General: Fencing**  
N/A

**General: Garage Door Material**  
Metal

**General: Sidewalk/Patio Material**  
Concrete

**General: Vehicle Parking**  
Attached Garage, Driveway

## Recommendations

3.2.1 Driveway, Walkway, Patio

 Deficiencies

### SCREEN ENCLOSURE-SCREENS TORN

One or more screens are torn or missing in the frame(s) of the screen patio. A certified contractor should make the necessary repairs.

Recommendation

Contact a qualified handyman.



3.2.2 Driveway, Walkway, Patio

 Deficiencies

### MINOR DRIVEWAY CRACK

Observed one or more hairline cracks in driveway. Should monitor for settlement.

Recommendation

Contact a qualified professional.



3.3.1 Exterior issues

**DRYER VENT CLOGGED**

ROOF

The dryer vent is clogged and needs to be cleaned. A clogged dryer vent can lead to dryer failure and extended dry times.

Recommendation

Contact a qualified professional.



3.3.2 Exterior issues

**HOSE BIBB LEAK**

One or more hose bibbs was observed to leak when in the on position. This is usually from corrosion around the packing nut, recommend repair or tightening upon evaluation from a qualified person.

Recommendation

Contact a qualified professional.







3.4.1 Electrical

**GFCI ISSUE**

POOL AREA

One or more ground fault circuit interrupter (GFCI) receptacles (outlets) were not functioning properly (would not trip/would not reset). Recommend a licensed electrical contractor replace with new GFCI outlet.

Recommendation

Contact a qualified electrical contractor.



3.5.1 Windows and Door

**BROKEN WINDOW**

REAR

There is a broken window for one of the windows. A licensed window repair contractor should replace the glass as needed.

Recommendation

Contact a qualified window repair/installation contractor.







3.8.1 Stucco Walls

 Deficiencies

**HAIRLINE STUCCO CRACKING**

One or more minor hairline cracks were found in the stucco or wall areas. It is unknown the age of these cracks. At the time of inspection nothing out of the ordinary of normalized cracking was noticed. Recommend caulking and painting these areas, along with monitoring for future movement/widening. Stucco cracks over framing can allow moisture penetration behind wall areas and can potentially damage sheathing/framing. Note that areas concealed behind walls are not able to be evaluated without invasive testing and cannot be evaluated.

Recommendation

Recommended DIY Project



## 4: PLUMBING

### Information

**General: Location of Main Shut off**

Front yard

**General: Water Pressure**

50 PSI



**General: Location of Water meter**

Front yard

**General: Location of main fuel shut off**

NA

**General: Service Pipe to house**

Not Visible

**General: Interior Supply piping**

Copper

**General: Water Source**

Public Water

**General: Drain Pipe**

Not Visible

**General: Vent Pipe**

PVC

**General: Waste Pipe**

Not Visible

**General: Plumbing In Walls**

As is typical of most buildings, the majority of the supply piping is concealed from view. Basically it is installed inside the walls and under the floors. Where the supply piping was noted, it was found to be copper. This is an excellent water piping material with an indefinite lifespan.

# 5: WATER HEATER

## Information

### Water Heater: Serial #

1097B35791

### Water Heater: Model #

81V40DT

### Water Heater: Estimated Age

20 Years

### Water Heater: Energy Source

Electric

### Water Heater: Manufacturer

Rheem

### Water Heater: Location

Garage

### Water Heater: Water Temperature

131 Degrees

### Water Heater: Capacity

40

### Water Heater: Type

Tank



### Water Heater: Pictures of Unit



## Recommendations

### 5.1.1 Water Heater

#### CORROSION ON FITTING/LINES



Deficiencies

Corrosion was found on fittings and/or water supply lines for the water heater. Leaks may exist. A qualified plumbing contractor should evaluate and repair as necessary.

Recommendation

Contact a qualified plumbing contractor.



5.1.2 Water Heater

 Deficiencies

**CORROSION ON TANK**

Corrosion was found in one or more areas on the water heater. The water heater may be failing. A qualified plumbing contractor should evaluate and replace or repair water heater if necessary.

Recommendation

Contact a qualified plumbing contractor.



5.1.3 Water Heater

 Deficiencies

**EXCEEDS LIFE EXPECTANCY**

The estimated useful life for most water heaters is 8 to 12 years. This water heater appears to be at this age or older and may need replacing at any time. Recommend budgeting for a replacement in the near future.

Recommendation

Contact a qualified plumbing contractor.

5.1.4 Water Heater

 Deficiencies

**LEAK SUPPLY PIPE/FITTING**

One or more active leaks were found at the water heater's supply pipes, valves, or fittings. A qualified plumber should evaluate and repair as necessary.



## Recommendation

Contact a qualified plumbing contractor.



## 5.1.5 Water Heater

**TEMPERATURE >120**

The hot water temperature is greater than 120 degrees Fahrenheit. This is a safety hazard due to the risk of scalding. The thermostat should be adjusted so the water temperature doesn't exceed 120 degrees.

## Recommendation

Contact a qualified plumbing contractor.



## 6: ELECTRIC SERVICE

### Information

**Electric Panel: Amperage**  
200

**Electric Panel: Panel Manufacturer**  
Culter Hammer

**Electric Panel: Protection**  
Breakers

**Electric Panel: Service Type**  
Underground

**Electric Panel: Service Voltage**  
120/240

**Electric Panel: Branch Wiring**  
Copper

**Electric Panel: Location of Main Disconnect**  
Top of Panel

**Electric Panel: Service Conductor**  
Multi-strain Aluminum

**Electric Panel: System Grounding**  
Grounding Rod

**Electric Panel: Location of Main Panel**  
Left exterior

**Sub-Panel: Panel Location**  
Laundry

**Sub-Panel: Panel Manufacturer**  
Culter Hammer

**Sub-Panel: Protection**  
Breakers

**Sub-Panel: Branch Wiring**  
Copper

**Sub-Panel: Service Conductor**  
Multi-strain Aluminum

### Electric Panel: Panel pictures



### Electric Panel: Positive Attributes

The size of the electrical service is sufficient for the typical single family needs. The electrical panel is well arranged and all fuses/breakers are properly sized. All outlets and light fixtures that were tested operated satisfactorily. All 3-prong outlets that were tested were appropriately grounded. Ground fault circuit interrupter (GFCI) devices have been provided in some areas of the home. These devices are extremely valuable, as they offer an extra level of shock protection. All GFCI's that were tested responded properly. Dedicated 220 volt circuits have been provided for all 220 volt appliances within the home. All visible wiring within the home is copper. This is a good quality electrical conductor.



## 7: HVAC

## Information

**General: Cooling source**

Electric

**General: Heat Source**

Electric

**General: Distribution**

Flex Duct

**General: A/C Type**

Split System, Heat Pump

**General: Heat Type**

Forced Air, Heat Pump

**General: Last Service Date**

Unknown

**Condensing Unit: Estimated Age  
Condensing Unit**

5 Year(s)

**Condensing Unit: Condenser  
Model #**

JT4BD-042K

**Condensing Unit: Condenser  
Serial #**

JTF130300483

**Condensing Unit: Manufacturer**

Nordyne

**Condensing Unit: Good  
condition**

The condensing unit was in good condition.

**Air Handler: Estimate Age Air  
Handler**

5 Year(s)

**Air Handler: Air Handler Model #**

B6BMM042K-B

**Air Handler: Air Handler Serial #**

B6D130525529

**Air Handler: Filter Location**

Wall

**Air Handler: Manufacturer**

Nordyne

**General: Temperature Differential**

13 Degrees

This is the number of degrees the system is cooling (or heating) the house air. Normal range for this number is 14-24 degrees when operating the system during hot weather, lower when ambient temperatures are lower. The system functioned as expected when tested and appeared to be serviceable at the time of the inspection. As with all mechanical equipment, the unit may fail at any time without warning. The inspector cannot determine future failures.





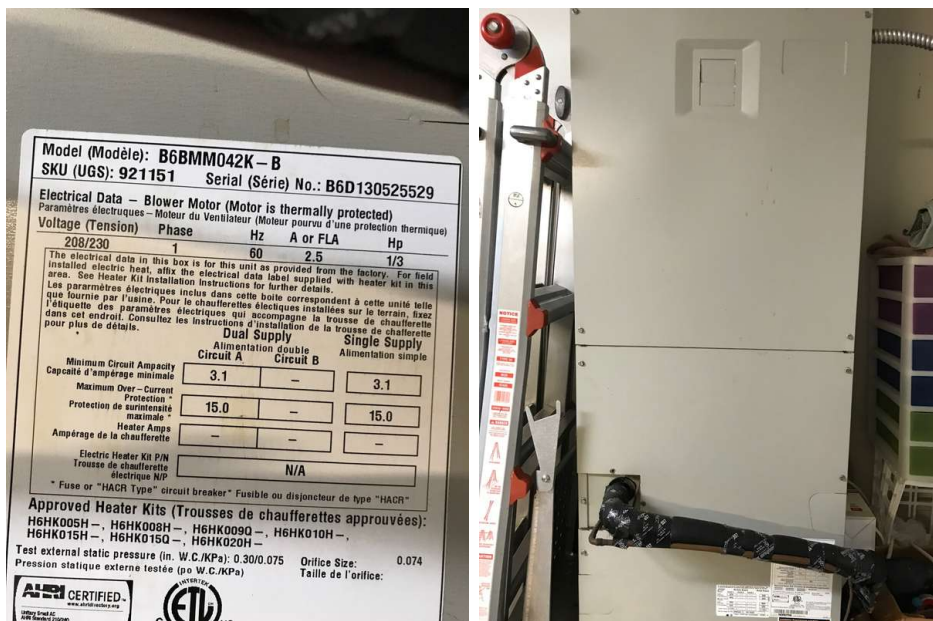
**General: Filter Advice**

Recommend that home buyers replace or clean HVAC filters upon taking occupancy depending on the type of filters installed. Regardless of the type, recommend checking filters monthly in the future and replacing or cleaning them as necessary. How frequently they need replacing or cleaning depends on the type and quality of the filter, how the system is configured (e.g. always on vs. "Auto"), and on environmental factors (e.g. pets, smoking, frequency of house cleaning, number of occupants, the season).

**Condensing Unit: Pictures of Unit**



**Air Handler: Pictures of unit**



**Air Handler: Unit in Good Condition**

The air handler appeared in good condition. The unit ran and cooled as expected. Also ran in heat cycle as well.

**Recommendations**

7.1.1 General

**SERVICE A/C SYSTEM**



The last service date of this system appears to be more than one year ago, or the inspector was unable to determine the last service date. The client(s) should ask the property owner(s) when it was last serviced. If unable to determine the last service date, or if this system was serviced more than one year ago, a qualified heating and cooling contractor should inspect, clean, and service this system if concerned. This servicing should be performed annually in the future.

Recommendation

Contact a qualified HVAC professional.

7.2.1 Condensing Unit

**LINE INSULATION**

Deficiencies

Insulation for the outside condensing unit's refrigerant lines is damaged, deteriorated and/or missing in one or more areas. This may result in reduced efficiency and increased energy costs. A qualified heating and cooling contractor should replace insulation as necessary.

Recommendation

Contact a qualified HVAC professional.



7.3.1 Air Handler

**NO FLOAT SWITCH-DRAIN LINE**

Deficiencies

FRONT OF UNIT

A high-efficiency furnace or air conditioning equipment was installed. No auxiliary float switch was visibly installed at the drain line. A float switch shuts off the system if water accumulates in the line. Recommend that a qualified HVAC contractor install an auxiliary float switch per standard building practices.

Recommendation

Contact a qualified HVAC professional.



## 8: KITCHEN

### Recommendations

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#### 8.5.1 Sink

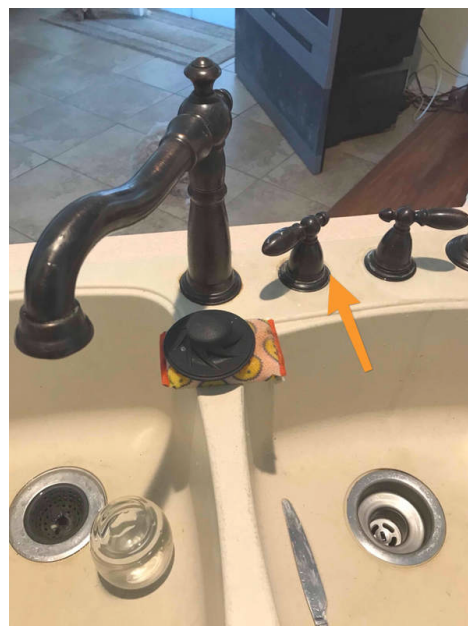


#### **FAUCET LEAKS ON**

One or more faucets leak by handle(s) or at their base when turned on. A qualified plumber should evaluate and repair as necessary.

Recommendation

Contact a qualified plumbing contractor.



# 9: INTERIORS

## Information

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**Floors, Walls, Ceilings: Wall material/covering**

Drywall

**Smoke and CO alarms: Smoke Alarms Present**

Yes

## Limitations

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Floors, Walls, Ceilings

**FURNITURE/STORED ITEMS**

There is furniture or stored items restricting views of wall areas. Once items are moved areas should be evaluated.

## Recommendations

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9.2.1 Floors, Walls, Ceilings

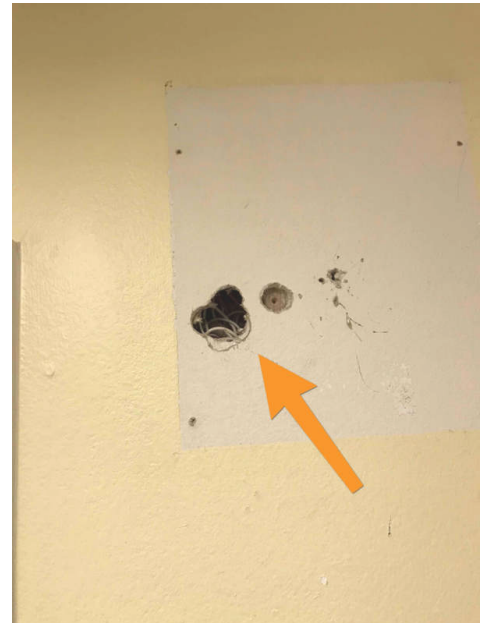
 Deficiencies**WALL DAMAGE**

LAUNDRY

There is damage to the drywall in one or more areas. It's recommended to have this evaluated and repaired by a certified contractor.

Recommendation

Contact a qualified drywall contractor.



9.3.1 Smoke and CO alarms

 Deficiencies**SMOKE ALARM MISSING/DAMAGE**

One or more smoke alarms were damaged, or missing components. Smoke alarms should be replaced as necessary.

Recommendation

Contact a qualified electrical contractor.



9.4.1 Windows and Door

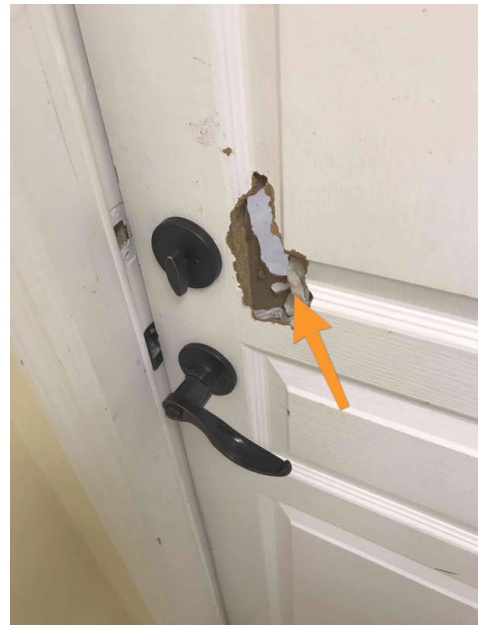
 Deficiencies

**DOOR INTERIOR-DETERIORATED**

One or more interior doors are damaged and/or deteriorated and should be repaired or replaced by a qualified contractor.

Recommendation

Contact a qualified door repair/installation contractor.



# 10: BATHROOMS

## Recommendations

### 10.6.1 Shower

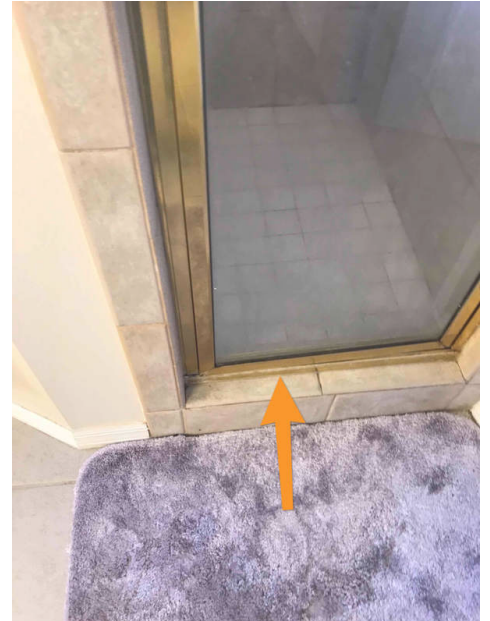
#### **SHOWER DOOR HARD TO CLOSE**

##### MASTER

The shower door does not close easily. Recommend evaluation and repair by a qualified person to make adjustments.

##### Recommendation

Contact a qualified professional.



### 10.8.1 Toilets

#### **LOOSE**

One or more toilets are loose. A qualified contractor should remove the toilet(s) for further evaluation and repairs if necessary. A new wax ring should be installed and toilet(s) should be securely anchored to the floor to prevent movement and leaking.

##### Recommendation

Contact a qualified plumbing contractor.



# 11: GARAGE

## Information

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### Vehicle door: Vehicle Door safety

VEHICLE DOOR: safety tips:

1. The garage door is the largest moving object in the home. It can weigh hundreds of pounds. Often it is supported with spring tension Both the weight of the door itself and the condition of these powerful springs can be dangerous on their own. Combined these two items can become a potentially lethal item. During our inspection, we attempt to inspect vehicle doors for proper operation.
2. Operation of the safety mechanisms should be verified monthly. Switches for door openers should be located as high as practical to prevent children from playing with the door. Children should be warned of the potential risk of injury.
3. Regular lubrication of the garage door tracks, rollers, springs and mounting hardware is recommended. ( consult the owners manual or contact the door/opener manufacture. [www.overheaddoor.com/Pages/safety-information.aspx](http://www.overheaddoor.com/Pages/safety-information.aspx)

## Limitations

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Floors, walls, Ceiling

### ITEMS CENTER

Much of the garage center is blocked and can not be evaluated.

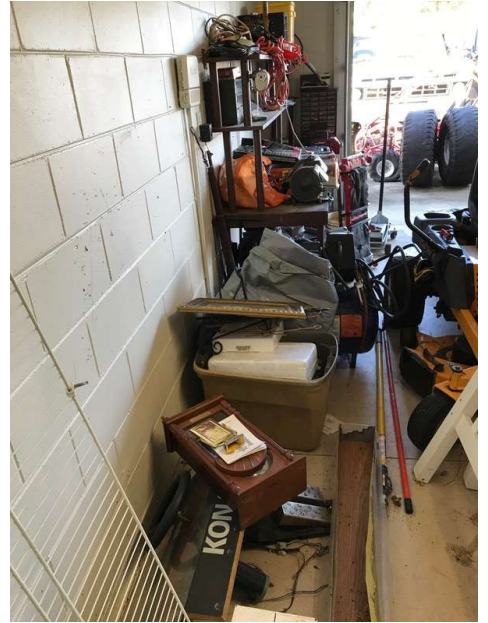


Floors, walls, Ceiling

### ITEMS PERIMETER

There were items around the perimeter walls of the garage. Because of this areas of the walls(especially the base) can not be evaluated. The garage walls should be checked on the walk through or upon taking ownership.





## Recommendations

### 11.3.1 Floors, walls, Ceiling



#### MINOR CRACKS CEILING

Minor cracks were found in ceilings in one or more areas. They do not appear to be a structural concern, but the client(s) may wish to repair these for aesthetic reasons.

Recommendation

Contact a qualified professional.



### 11.3.2 Floors, walls, Ceiling



#### MINOR FLOOR CRACKS

The concrete floor of the garage has some minor cracking. These cracks do not appear to be of structural concerns. The client should monitor these cracks.

Recommendation

Contact a qualified professional.



## 11.4.1 Vehicle door

**REPAIR/REPLACE**

LEFT

The garage vehicle door is damaged or deteriorated. A qualified contractor should evaluate and repair or replace the door if necessary.

Recommendation

Contact a qualified garage door contractor.



## 11.4.2 Vehicle door

**OPENER DAMAGE**

WALL

The garage door actuator is damaged. To ensure that the garage door continues to function properly, a licensed garage door contractor should repair or replace the actuator as necessary. You must physically hold the button down for the door to close completely. Because of this I am unable to test the auto reverse function or the Safety eyes. This can only be tested after the opener is repaired.

Recommendation

Contact a qualified garage door contractor.



# 12: POOL

## Information

**Pool Equipment: Filter**  
Hayward

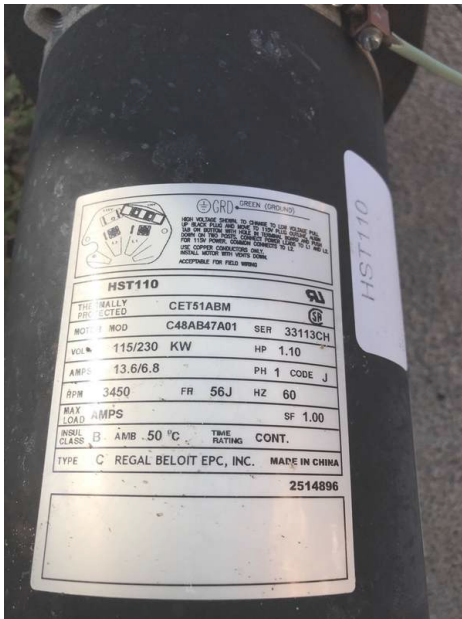
**Pool Equipment: Filter Type**  
Cartridge

**Pool and decking: Pool deck**  
Concrete



**Pool and decking: Pool Design**  
In Ground, Concrete

**Pool Equipment: Pump**  
Century



## Limitations



Pool Equipment

### SOLAR TUBE HEATING

It is beyond the scope of this inspection to be able to properly test solar tube heating units that are installed on the roof. The mixing valve was in the off position. Inspector opened the mixing valve and allowed water to run to the tubes on the roof. No leaks were noted. It can take hours for the water to heat properly to know if the unit works correctly and if there are slow leaks.



## Recommendations

12.3.1 Water

 Deficiencies

### CLOUDY

The pool water was cloudy, dull or hazy. This is a potential safety hazard because it can interfere with rescuing swimmers in trouble and reduce divers' depth perception. Cloudy water may be caused by poor filtration and/or sanitation. Recommend consulting with a pool specialist.

Recommendation

Contact a qualified Swimming Pool Contractor



12.4.1 Pool and decking

 Deficiencies

### CLEAN SKIMMER

The pool skimmer has debris in the basket. The debris needs to be removed to allow the skimmer to function properly.

Recommendation

Recommended DIY Project



12.4.2 Pool and decking

**DECK CRACKING**

The pool deck has some deck cracking. It does not appear to be structural at this time, but it is recommended to monitor the area(s) in concern in the future.

Recommendation

Contact a qualified concrete contractor.



12.4.3 Pool and decking

**POOL LIGHT DOES NOT FUNCTION**

REAR

One or more pool lights does not function. This can be a safety concern for swimming at night. Swimmer in distress may not be able to be seen.

Recommendation

Contact a qualified Swimming Pool Contractor



# 13: APPLIANCES

## Information

**General: Cooktop**

N/A

**General: Microwave**

Maytag

**General: Stove**

N/A

**General: Dishwasher**

Bosch

**General: Oven**

Maytag

**Microwave: Normal operation**

The Microwave operated as expected.

**General: Disposer**

Badger

**General: Refrigerator**

Maytag

**General: Appliance Pictures**



**Range-Cooktop-Oven: Normal operation**

The heating elements for the oven and stove top functioned as expected.





**Refrigerator: Chiller and freezer temp**

36 - 0

**Refrigerator: Water and Ice maker**

There is an automatic ice maker installed,

The ice maker tray was full.

The automatic ice maker was found in the ON position.

We urge you to verify the units proper operation after it has been running for sometime.

## Recommendations

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## 13.2.1 Dishwasher

 Deficiencies
**DISHWASHER INOP**

The dishwasher appears to be inoperable. The client(s) should ask the property owner(s) about this, and if necessary, the dishwasher should be replaced, or a qualified appliance technician should evaluate and repair.

Recommendation

Contact a qualified appliance repair professional.

## 13.4.1 Microwave

 Deficiencies
**LIGHT DOES NOT WORK**

Light does not work.

Recommendation

Contact a qualified professional.

## 13.6.1 Refrigerator

 Deficiencies
**WATER DISPENSER BROKEN**

Owner stated that the water dispenser does not dispense water correctly. Owner also stated that it was going to be fixed. Should verify repair prior to moving in.

Recommendation

Contact a qualified professional.

# 14: ATTIC

## Information

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**General: Ceiling Structure**

Trusses

**General: Insulation Depth**

R30

**General: Insulation Material**

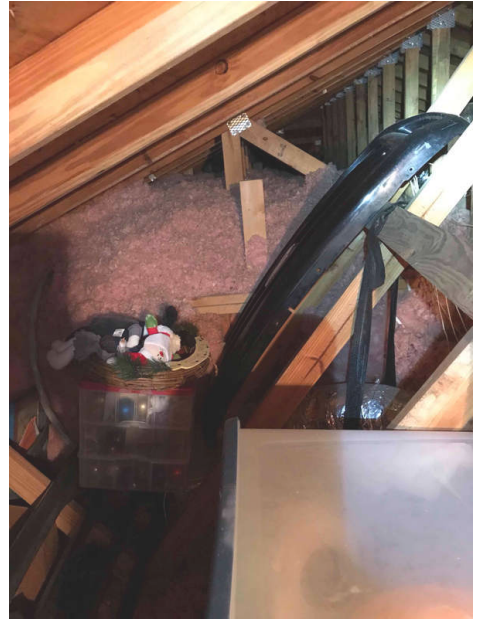
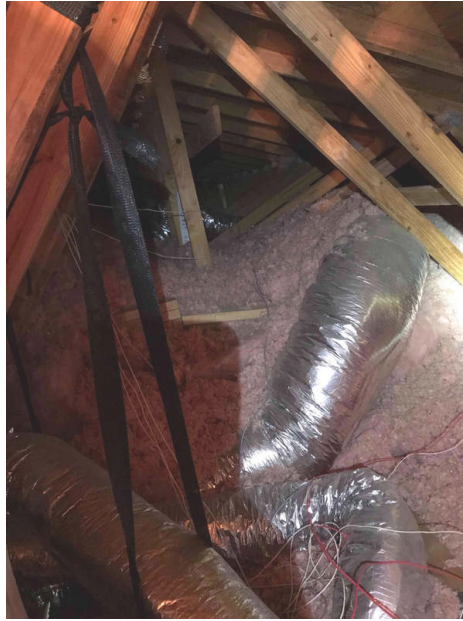
Fiberglass loose

**General: Roof Structure**

Rafters

**General: Inspection Method**

Partially Traversed



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# STANDARDS OF PRACTICE

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## Inspection details

Full Circle Home Inspectors is pleased to submit the enclosed report. This report is a professional opinion based on a visual inspection of the readily accessible areas and components of the building. This report is neither an engineering inspection nor an exhaustive technical evaluation. An engineering inspection or a technical evaluation of this nature would cost many times more and take days, if not weeks, to complete.

Please understand that there are limitations to this type of visual inspection. Many components of the property are not visual during the inspection and very little historical information (if any) is provided in advance of, or even during, the inspection. While we believe we can reduce your risk of purchasing a property, we can not eliminate it, nor can or do we assume it. Even the most comprehensive inspection cannot be expected to reveal every condition you may consider significant to ownership. In addition to those improvements recommended in our report, we recommended that you budget for unexpected repairs. On the average, we have found it necessary for you to set aside a percentage of the value of the home on an annual basis that will be sufficient to cover unexpected repairs. This maybe 1 % for a modest home and a higher amount, say maybe 3 % or so, for a more complex and /or an older home with aging systems and some deferred maintenance.

Your attention is directed to your copy of the Pre-Inspection Agreement. It more specifically explains the scope of the inspection and the limit of our ability in performing this inspection. The Standards of Practice and Code of Ethics of the National Association of Certification Home Inspectors (NACHI) prohibit us from making any repairs or referring any contractors. We are not associated with any other party to the transaction of this property, except as may be disclosed by you.

The information provided in this report is solely for your use. Full Circle Home Inspectors will not release a copy of this report, nor will we discuss its contents with any third party, without your written consent.

We know you had many options in your choice of an inspection company. Thank you for selecting us. We appreciate the opportunity to be your choice in the building inspection industry. Should you have any questions about the general conditions of the house in the future, we would be happy to answer these. There is no fee for your 1st telephone consulting call. Additional calls may incur additional fees. Our inspection fees are based on a single visit to the property. If additional visits are required for any reason, additional fees will be assessed.

## Roof

The following items or areas are not included in this inspection: areas that could not be traversed or viewed clearly due to lack of access; solar roofing components. Any comments made regarding these items are made as a courtesy only. Note that the inspector does not provide an estimate of remaining life on the roof surface material, nor guarantee that leaks have not occurred in the roof surface, skylights or roof penetrations in the past. Regarding roof leaks, only active leaks, visible evidence of possible sources of leaks, and evidence of past leaks observed during the inspection are reported on as part of this inspection. The inspector does not guarantee or warrant that leaks will not occur in the future. Complete access to all roof and attic spaces during all seasons and during prolonged periods of all types of weather conditions (e.g. high wind and rain) would be needed to do so. Occupants should monitor the condition of roofing materials in the future. For older roofs, recommend that a professional inspect the roof surface, flashings, appurtenances, etc. annually and maintain/repair as might be required. If needed, the roofer should enter attic space(s). Regarding the roof drainage system, unless the inspection was conducted during and after prolonged periods of heavy rain, the inspector was unable to determine if gutters, downspouts and extensions perform adequately or are leak-free.

The report is not intended to be conclusive regarding the life span of the roofing system or how long it will remain watertight in the future. The inspection and report are based on visual and apparent conditions at the time of the inspection. Unless prolonged and extensive rain has fallen just prior to the inspection, it may not be possible to determine if active leakage is occurring. Even Then, numerous features may conceal active leakage. Usually not all attics are readily accessible for inspection. The client is advised to inquire about the presence of any roof leaks with the present owner.

IF Required, Only Qualified, License personnel Should Carry Out Any Repairs Needed.

All roofs require periodic maintenance to achieve typical lifespans, and should be inspected annually. Expect to



make periodical repairs to any roof on a routine basis with replacement at the end of the roof's material Useful Service Life, which may not be equal to its Design Life.

CONCLUSIONS MADE BY THE INSPECTOR DO NOT CONSTITUTE A WARRANTY, GUARANTY, OR POLICY OF INSURANCE.

### **Exterior**

The inspector performs a visual inspection of accessible components or systems at the exterior. Items excluded from this inspection include below-grade foundation walls and footings; foundations, exterior surfaces or components obscured by vegetation, stored items or debris; wall structures obscured by coverings such as siding or trim. Some items such as siding, trim, soffits, vents and windows are often high off the ground, and may be viewed using binoculars from the ground or from a ladder. This may limit a full evaluation. Regarding foundations, some amount of cracking is normal in concrete slabs and foundation walls due to shrinkage and drying. Note that the inspector does not determine the adequacy of seismic reinforcement.

Unless specifically included in the inspection, the following items and any related equipment, controls, electric systems and/or plumbing systems are excluded from this inspection: detached buildings or structures; fences and gates; retaining walls; underground drainage systems, catch basins or concealed sump pumps; swimming pools and related safety equipment, spas, hot tubs or saunas; whether deck, balcony and/or stair membranes are watertight; trees, landscaping, properties of soil, soil stability, erosion and erosion control; ponds, water features, irrigation or yard sprinkler systems; sport courts, playground, recreation or leisure equipment; areas below the exterior structures with less than 3 feet of vertical clearance; invisible fencing; sea walls, docks and boathouses; retractable awnings. Any comments made regarding these items are as a courtesy only.

### **Plumbing**

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following.

- 1) Portions of the plumbing system canceled by finishes and/or storage (below sinks etc.) below the structure, or beneath the ground surface are not inspected.
- 2) Water quantity and water quality are not tested unless explicitly contracted for and discussed in this or a separate report.
- 3) Clothes washing machine connections are not inspected.
- 4) Interior of flues or chimneys which are not readily accessible are not inspected.
- 5) Water conditioning systems, solar water heaters, fire and lawn sprinklers, and private waste disposal systems are not inspected unless explicitly contracted for and discussed in this or a separate report.

Please refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

### **Water Heater**

The following items are not included in this inspection: solar water heating systems; circulation systems. Any comments made regarding these items are as a courtesy only. Note that the inspector does not provide an estimate of remaining life on water heaters, does not determine if water heaters are appropriately sized, or perform any evaluations that require a pilot light to be lit.

### **Electric Service**

The following items are not included in this inspection: generator systems, transfer switches, surge suppressors, inaccessible or concealed wiring; underground utilities and systems; low-voltage lighting or lighting on timers or sensors. Any comments made regarding these items are as a courtesy only. Note that the inspector does not determine the adequacy of grounding or bonding, if this system has an adequate capacity for the client's specific or anticipated needs, or if this system has any reserve capacity for additions or expansion. The inspector does not operate circuit breakers as part of the inspection, and does not install or change light bulbs. The inspector does not evaluate every wall switch or receptacle, but instead tests a representative number of them per various standards of practice. When furnishings, stored items or child-protective caps are present some receptacles are usually inaccessible and are not tested; these are excluded from this inspection. Receptacles that are not of standard 110 volt configuration, including 240-volt dryer receptacles, are not tested and are excluded. The functionality of, power source for and placement of smoke and carbon monoxide alarms is not determined as part of this inspection. Upon taking occupancy, proper operating and placement of smoke and carbon monoxide alarms should be verified and batteries should be changed. These devices have a limited lifespan and should be replaced every 10 years. The inspector attempts to locate and evaluate all main and sub-panels. However, panels are often concealed. If panels are found after the inspection, a qualified electrician should evaluate and repair if necessary. The inspector attempts to determine the overall electrical service size, but such estimates are not guaranteed because the overall

capacity may be diminished by lesser-rated components in the system. Any repairs recommended should be made by a licensed electrician.

## HVAC

The following items are not included in this inspection: humidifiers, dehumidifiers, electronic air filters; solar, coal or wood-fired heat systems; thermostat or temperature control accuracy and timed functions; heating components concealed within the building structure or in inaccessible areas; underground utilities and systems; safety devices and controls (due to automatic operation). Any comments made regarding these items are as a courtesy only. Note that the inspector does not provide an estimate of remaining life on heating or cooling system components, does not determine if heating or cooling systems are appropriately sized, does not test coolant pressure, or perform any evaluations that require a pilot light to be lit, a shut-off valve to be operated, a circuit breaker to be turned "on" or a serviceman's or oil emergency switch to be operated. It is beyond the scope of this inspection to determine if furnace heat exchangers are intact and free of leaks. Condensation pans and drain lines may clog or leak at any time and should be monitored while in operation in the future. Where buildings contain furnishings or stored items, the inspector may not be able to verify that a heat source is present in all "liveable" rooms (e.g. bedrooms, kitchens and living/dining rooms).

## Interiors

The following items are not included in this inspection: security, intercom and sound systems; communications wiring; central vacuum systems; elevators and stair lifts; cosmetic deficiencies such as nail-pops, scuff marks, dents, dings, blemishes or issues due to normal wear and tear in wall, floor and ceiling surfaces and coverings, or in equipment; deficiencies relating to interior decorating; low voltage and gas lighting systems. Any comments made regarding these items are as a courtesy only. Note that the inspector does not evaluate any areas or items which require moving stored items, furnishings, debris, equipment, floor coverings, insulation or similar materials. The inspector does not test for asbestos, lead, radon, mold, hazardous waste, urea formaldehyde urethane, or any other toxic substance. Some items such as window, drawer, cabinet door or closet door operability are tested on a sampled basis. The client should be aware that paint may obscure wall and ceiling defects, floor coverings may obscure floor defects, and furnishings may obscure wall, floor and floor covering defects. If furnishings were present during the inspection, recommend a full evaluation of walls, floors and ceilings that were previously obscured when possible. Carpeting and flooring, when installed over concrete slabs, may conceal moisture. If dampness wicks through a slab and is hidden by floor coverings that moisture can result in unhygienic conditions, odors or problems that will only be discovered when/if the flooring is removed. Determining the cause and/or source of odors is not within the scope of this inspection.

## Pool

The following items are not included in this inspection: swimming pool bodies; equipment on timers, remote controls or sensors; underground or concealed piping; motorized covers; waterfalls and related equipment; Ozone generators; ultraviolet light systems; filter backflushing mechanisms. Any comments made regarding these items are as a courtesy only. Note that the inspector does not disassemble filters, remove pool covers, nor determine if swimming pool bodies, filters or skimmers leak, nor determine if swimming pool bodies are level.

The following items are not included in this inspection: spa bodies; equipment on timers, remote controls or sensors; underground or concealed piping; motorized covers; waterfalls and related equipment; Ozone generators; ultraviolet light systems; filter backflushing mechanisms. Any comments made regarding these items are as a courtesy only. Note that the inspector does not disassemble filters, nor determine if spa bodies, filters or skimmers leak, nor determine if spa bodies are level.

## Attic

The following items or areas are not included in this inspection: areas that could not be traversed or viewed clearly due to lack of access; areas and components obscured by insulation. Any comments made regarding these items are made as a courtesy only. The inspector does not determine the adequacy of the attic ventilation system. Complete access to all roof and attic spaces during all seasons and during prolonged periods of all types of weather conditions (e.g. high/low temperatures, high/low humidity, high wind and rain, melting snow) would be needed to do so. The inspector is not a licensed engineer and does not determine the adequacy of roof structure components such as trusses, rafters or ceiling beams, or their spacing or sizing.

Some attic areas were inaccessible due to the lack of permanently installed walkways, the possibility of damage to insulation, low height and/or stored items. These areas are excluded from this inspection. We conducted our typical attic inspection by walking through the attic areas as much as possible, in what we call the "random walk" methodology. This method of inspection is not intended to cover every square foot of the attic area, nor will it. Further we could not recreate the route of a random walk even if we tried. We do arrive at an overall impression of the attic's condition developed during this random walk inspection and extrapolate it to the entire attic area. In all the attics area shows normal wear and tear for a home of this age.

