



RESIDENTIAL REPORT

1234 Main St.
Everett WA 98201

Buyer Name
01/21/2018 9:00AM



Inspector

Pierre Arcos

Pierre Arcos

WA License #691
425-231-8983

pierre@homeinspectionsbyjake.com



Agent

Agent Name

555-555-5555

agent@spectora.com

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JAKE Home Inspections has prepared this confidential report for your personal use. This report is based on my opinions of the condition of the systems and components inspected on this date. The scope of this inspection is intended to be an overview rather than an exhaustive evaluation of a particular system or component.

My inspection is performed by visual examination only. Representative samples of building components are viewed in areas that are accessible at the time of the inspection. I do not include examination of concealed items within the walls, under concrete slabs or in other areas not visible without removing permanently assembled components or moving personal property. Not all needed repairs can be identified during the inspection. Unexpected repairs should be anticipated.

The inspection is conducted according to the Standards of Practice of the American Society of Home Inspectors (ASHI). The inspection should not be considered a guarantee or warranty of any kind for the continued use of any system component, nor does it dictate what should or should not be included in the property.

SUMMARY



ITEMS INSPECTED



MAINTENANCE ITEMS



RECOMMENDED REPAIRS



SAFETY HAZARDS

- Interiors - Closets: Closet Doors Missing
- Interiors - Bathroom Hardware: Missing Bathroom Hardware
- Interiors - Doors: Door Rubbing Flooring
- Interiors - Countertops & Cabinets: Cabinet Drawer Slider
- Interiors - Trim: Missing Trim
- Interiors - Floors: Unfinished floors
- Interiors - Ceilings: Acoustic Texture
- Interiors - Ceilings: Unfinished ceilings
- Interiors - Walls: Shower Surround Damaged
- Interiors - Walls: Poor Patching
- Interiors - Walls: Minor Wall Damages
- Interiors - Walls: Caulk in poor condition
- Heating - Distribution Systems: Dirty Ducts
- Heating - Heating Equipment: Makeup Air May be Contaminated
- Heating - Heating Equipment: Weatherstripping at Furnace Door
- Heating - Heating Equipment: Ill-fitting filter
- Heating - Heating Equipment: Blower - Excessive Noise
- Heating - Heating Equipment: Service & Clean Furnace
- Plumbing - Plumbing Fixtures: Sink Vanity Loose
- Plumbing - Plumbing Fixtures: Hose bibs - anti siphon
- Plumbing - Water Heater: Exhaust Flue Improperly Installed
- Plumbing - Water Heater: Plate is loose
- Plumbing - Water Heater: Missing Pipe Insulation
- Plumbing - Water Heater: Missing Expansion Tank
- Plumbing - Water Heater: Missing Insulating Jacket
- Plumbing - Water Heater: Water Temperature
- Plumbing - Water Heater: Missing T&P discharge pipe
- Plumbing - Water Heater: Missing seismic straps.
- Plumbing - Water Distribution Material: Leaking water valve
- Electrical - GFCI & AFCI: Missing GFCI receptacles in Kitchen / Bath

-
- Electrical - Carbon Monoxide Alarms: Missing Carbon Monoxide Alarm
 - Electrical - Smoke Alarms: Missing smoke alarms - Bedrooms
 - Electrical - Receptacles: Receptacles Not working - interior
 - Electrical - Receptacles: Missing cover plates
 - Electrical - Light Switches: Cover Plates Missing
 - Electrical - Electric Panel: Sub Panel and connections
 - Insulation and Ventilation - Exhaust Systems: Dirty Exhaust Fan
 - Insulation and Ventilation - Exhaust Systems: Dirty Dryer Duct
 - Insulation and Ventilation - Attic Insulation: Inadequate Insulation
 - Insulation and Ventilation - Attic Insulation: Attic Insulation Disturbed
 - Fireplaces and Stoves - Chimney & Vent Systems: Condition of flue unknown
 - Fireplaces and Stoves - Stoves : Firebox Dirty
 - Fireplaces and Stoves - Fireplaces: Firewall Cracked
 - Fireplaces and Stoves - Fireplaces: Firebox Dirty
 - Built-in Appliances - Exhaust Hood: Dirty Filter
 - Built-in Appliances - Garbage Disposal: Old appliance
 - Built-in Appliances - Garbage Disposal: Age
 - Garage - Garage Structure: Add Fire-Caulk in Wall / Ceiling Penetrations
 - Garage - Garage Structure: Damaged Drywall
 - Garage - Garage Pedestrian Door: Missing weatherstripping / Threshold
 - Garage - Garage Pedestrian Door: Missing Auto-Closing Hinges
 - Garage - Door Opener: Opener Not Functioning Properly
 - Garage - Door Opener: Extension Cord
 - Garage - Door Opener: Photoelectric Sensors missing or Improperly Installed
 - Roofing - Flashings: Chimney Flashing
 - Roofing - Roof Drainage Systems: Downspouts Drain Near House
 - Roofing - Roof Drainage Systems: Debris in Gutter
 - Roofing - Chimneys: Heavy Moss growth
 - Roofing - Chimneys: Chimney Cap Missing
 - Exterior / Site - Back Steps: Gap Between Risers
 - Exterior / Site - Back Steps: Missing Graspable Handrails
 - Exterior / Site - Back Deck: Deck Attached to House Cantilever
 - Exterior / Site - Back Deck: 4 x 4 Posts Notched
 - Exterior / Site - Back Deck: Improper Fasteners
 - Exterior / Site - Back Deck: Improper Deck Construction Practices
 - Exterior / Site - Fencing: Wood Fencing Weathered
 - Exterior / Site - Fencing: Fence post damaged/missing
 - Exterior / Site - Vegetation: Trees- Conditions conducive for Wood Destroying Organisms
 - Exterior / Site - Vegetation: Shrubs - Conditions conducive for Wood Destroying Organisms
 - Exterior / Site - Patios: Hot Tub on Patio
 - Exterior / Site - Trim: Wood Trim In Contact with Concrete
 - Exterior / Site - Siding: Metal Siding Working Loose
 - Exterior / Site - Siding: Damaged Metal Siding
-

- Exterior / Site - Fascia: New Fascia not painted
- Exterior / Site - Front Porch: Porch Concrete Shifting
- Exterior / Site - Walkways: Walkway Cracking - Minor
- Exterior / Site - Walkways: Trip Hazard - Perimeter walkway
- Exterior / Site - Driveways: Driveway Crack

1: INSPECTION DETAILS

Information

Weather Conditions

Cloudy, Cool, Light Rain

Style

Multi-level, Contemporary

Lot Size:

9148 Square Feet

Main Water Shut-Off Location

Not found

Outside Temperature

43 Fahrenheit

Age of House:

39 Years

Occupancy:

Vacant

Main Fuel Shut-Off Location

Garage-side of house

Type of Building

Detached, Single Family

Front Door Faces:

South

In Attendance

Client, Client's Agent, Inspector,
Client's Family



2: EXTERIOR / SITE

Information

Driveways: Driveway Material

Concrete

Walkways: Walkway Materials

Concrete, Gravel, Pavers

Front Door: Exterior Entry Doors

Steel and glass

Front Porch: Guardrail

Metal

Front Porch: Porch Material

Concrete

Front Steps: Guardrail

None

Front Steps: Step Material

Concrete

Fascia: Fascia

1x6, Wood

Eaves: Eaves

Plywood

Soffits: Soffits

Metal Panel

Siding: Siding Material

Metal, Plywood

Siding: Siding Style

Clapboard, Panels

Flashing : Flashing Material

Metal Z-Flashing

Trim: Trim

Wood, Metal Corner Pieces

Back Deck: Deck Material

Wood

Back Deck: Guardrail Material

Wood

Back Steps: Guardrail

Wood

Back Steps: Step Material

Wood

Patios: Patio Materials

Concrete

Back Doors: Exterior Entry Doors

Sliding Glass Door

Drainage: Drainage

Unknown. Not enough rain to make determination

Vegetation: Vegetation

Shrubs, Trees

Fencing: Fencing Materials

Wood

Recommended repairs

2.1.1 Driveways

DRIVEWAY CRACK

 Recommended Repair

Water can penetrate the crack and erode the substrate below the concrete. The freeze-thaw cycle during the winters could also further deteriorate the concrete at the crack. Recommend filling the crack with a high-quality caulk or cement filler.

Recommendation

Contact a handyman or DIY project



2.2.1 Walkways

TRIP HAZARD - PERIMETER WALKWAY

 Safety Hazard

WEST SIDE

Uneven surfaces at perimeter walkway could pose a trip hazard. Homeowner could be liable for injuries caused by the trip hazards. Have a licensed contractor repair or replace uneven walking surfaces to eliminate trip hazards.

Recommendation

Contact a qualified landscaper or gardener.



2.2.2 Walkways

WALKWAY CRACKING - MINOR

FRONT WALK

Minor cosmetic cracks observed. Recommend monitor and/or patch/seal.

[Here is a DIY article](#) on repairing cracked sidewalks.

Recommendation

Contact a handyman or DIY project



Recommended Repair



2.5.1 Front Porch

PORCH CONCRETE SHIFTING

Maintenance Item

The porch is shifting which indicates ground movement. The soil may not have been properly compacted when the house was built and now the porch has settled. The new homeowner should monitor the porch for continued movement. If the porch continues to separate from the house, recommend having a licensed contractor further evaluate and provide repair solutions.

Recommendation

Contact a foundation contractor.



2.7.1 Fascia

NEW FASCIA NOT PAINTED

SEVERAL LOCATIONS

New fascia board has not been painted. Paint the fascia board to protect the wood from the weather and premature deterioration.

Recommendation



Recommended Repair

Contact a qualified painter.



2.10.1 Siding

DAMAGED METAL SIDING

SOUTH SIDE

 Recommended Repair

There are several locations where the siding is damaged from hanging items. Fill the holes with a paintable caulk and then paint the patches.

Recommendation

Contact a handyman or DIY project



2.10.2 Siding

METAL SIDING WORKING LOOSE

EAST SIDE

 Recommended Repair

Several panels of siding are working loose. This type of siding is susceptible to working loose during high winds. Have a licensed contractor secure loose slats of siding where needed. The new homeowner should inspect the siding for loose or missing pieces after high wind events.

Recommendation

Contact a qualified siding specialist.



2.12.1 Trim

WOOD TRIM IN CONTACT WITH CONCRETE

GARAGE

Wood trim pieces were in direct contact with concrete. Wood trim contacting concrete surfaces will deteriorate at a faster rate as water is soaked up. Recommend a licensed contractor repair by cutting the bottom of the trim, cutting enough off the end of the trim piece to leave a gap between the trim and the surface of the concrete to allow for air circulation and quick drying.

Recommendation

Contact a qualified general contractor.



Recommended Repair



2.13.1 Back Deck

IMPROPER DECK CONSTRUCTION PRACTICES



Safety Hazard

Deck was observed to have general poor construction. Recommend qualified deck contractor correct all deck deficiencies.

Recommendation

Contact a qualified deck contractor.

2.13.2 Back Deck

IMPROPER FASTENERS



Safety Hazard

The deck joists, stair stringers and beam-to-joist brackets are secured with improper fasteners. The existing fasteners are designed for deck boards only and not structural metal brackets, they do not have the same shear strength as dedicated bracket fasteners. Have a licensed contractor replace the existing fasteners with new, proper fasteners as prescribed by the bracket manufacturer.

Recommendation

Contact a qualified deck contractor.



Joist-to-ledger

Beam-to-joist



Stair stringer-to-deck

2.13.3 Back Deck

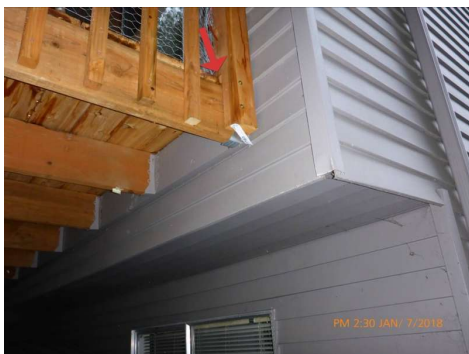
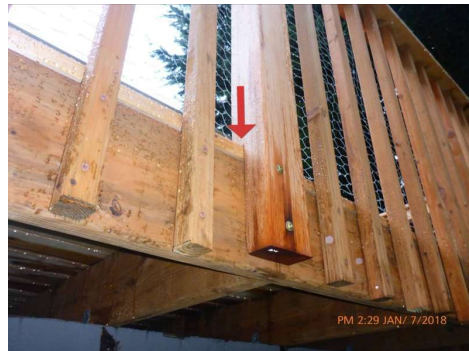
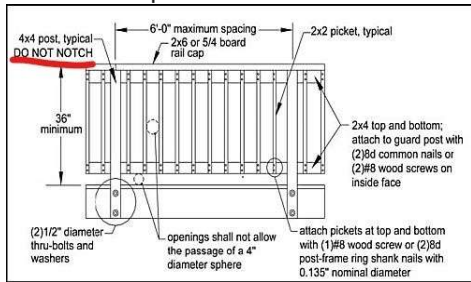
 Safety Hazard

4 X 4 POSTS NOTCHED

The deck 4x4 guardrail posts have been notched making them weak and in danger of breaking if put under a heavy load such as an adult falling into the guardrail. The posts should be replaced with new posts that are not notched. Have a licensed contractor replace the notched posts with new posts.

Recommendation

Contact a qualified deck contractor.



2.13.4 Back Deck

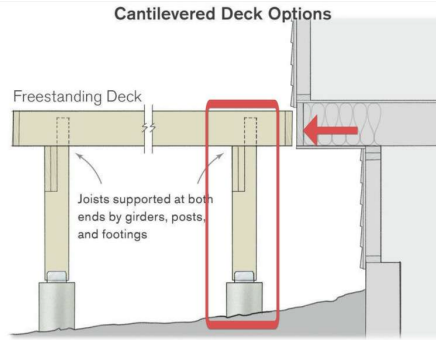
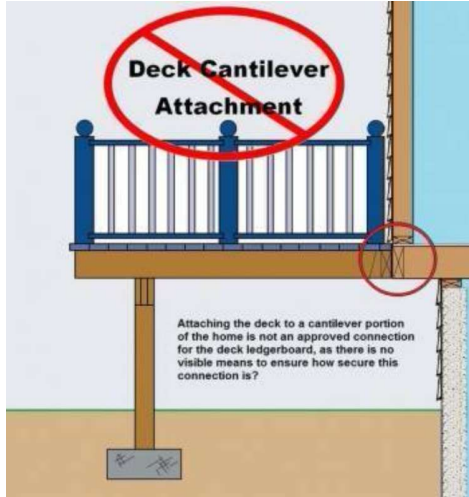
 Safety Hazard

DECK ATTACHED TO HOUSE CANTILEVER

The new deck is attached to the house at a cantilever. This is not recommended deck-building practice. Although the house is almost 40 years old and previous decks may have been built this way, the deck could potentially pull away from the house and cantilever. Recommend installing new vertical deck supports and new beam under the deck near the cantilever to remove the dead weight of the deck off of the house structure.

Recommendation

Contact a qualified deck contractor.



Preferred method of deck support. Note deck is not attached to the house cantilever.

Existing condition of deck-to-house connection

2.14.1 Back Steps

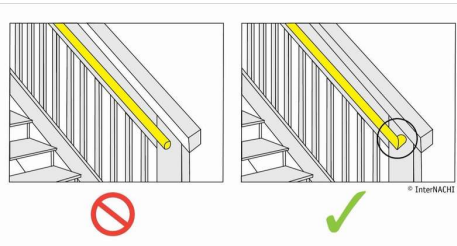
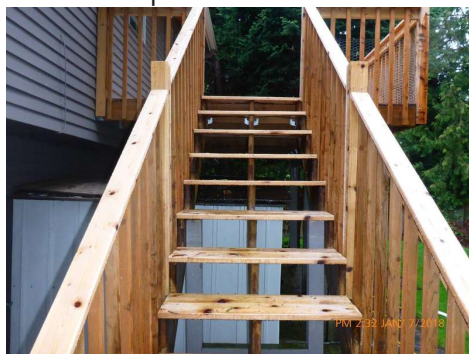
 Safety Hazard

MISSING GRASPABLE HANDRAILS

Missing graspable handrails at steps. Have a licensed contractor install a graspable handrail at steps. Handrail should be continuous and uninterrupted.

Recommendation

Contact a qualified deck contractor.



2.14.2 Back Steps

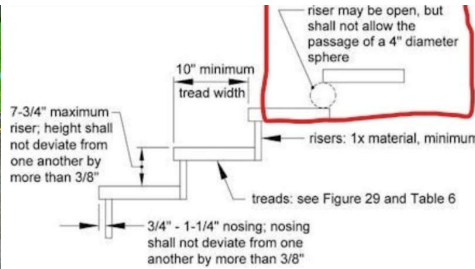
 Recommended Repair

GAP BETWEEN RISERS

Space between the stair treads is greater than 4 inches. Add wood material at the risers to close the gap or make the gaps smaller between the stair treads.

Recommendation

Contact a qualified deck contractor.



Stair Riser Gap

2.15.1 Patios

Recommended Repair

HOT TUB ON PATIO

A hot tub sits on top of the patio. If the patio was not designed to support the hot tub, concrete could settle and crack under the weight of the hot tub. Recommend asking seller if special thought was put into the design of the patio where the hot tub sits.

Recommendation

Contact a foundation contractor.



2.20.1 Vegetation

Recommended Repair

SHRUBS - CONDITIONS CONDUCTIVE FOR WOOD DESTROYING ORGANISMS

SOUTH SIDE

Vegetation growing against the house provides food and shelter for potential WDO activity. Recommend cutting back or removing (and relocating if possible) all vegetation growing against the house.

Clearing a 2' or wider path between the house and vegetation will allow the homeowner to monitor the perimeter of the house, promote drying of siding components and discourage WDO and rodent activity around the house.

Recommendation

Contact a qualified handyman.



2.20.2 Vegetation

Recommended Repair

TREES- CONDITIONS CONDUCTIVE FOR WOOD DESTROYING ORGANISMS

NW CORNER

Tree(s) growing close to the house and/or over the roofline provide food and shelter and a means for entry into the structure for potential WDO activity. Recommend cutting back trees.

Recommendation

Contact a qualified tree service company.



2.21.1 Fencing

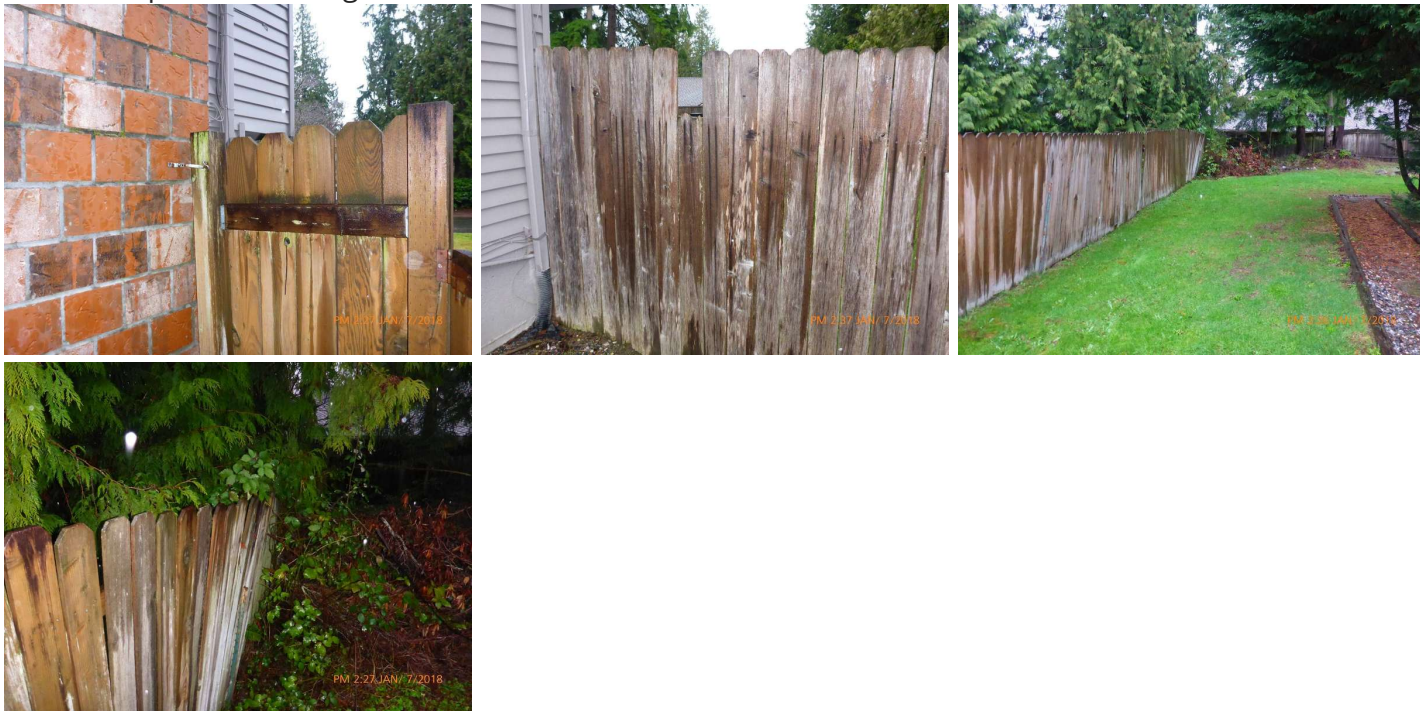
Recommended Repair

FENCE POST DAMAGED/MISSING

A fence panel is leaning due to a broken/missing fence post. Have a licensed contractor repair/replace the broken/missing fence post.

Recommendation

Contact a qualified fencing contractor



2.21.2 Fencing

Maintenance Item

WOOD FENCING WEATHERED

Wood posts/ fence pickets are weathered and require repair or replacement. Sometimes wood fencing just needs a good power washing and sealing to make it look good again.

Recommendation

Contact a handyman or DIY project

3: ROOFING

Information

Roof Type/Style
Gable

How Many Roofing Layers?
2

Inspection Method
With camera mounted on extension pole

Coverings: Asphalt composition

Roof Drainage Systems: Aluminum gutters and downspouts

Roof Drainage Systems: Surface drainage system with splash blocks

Flashings: Metal

Chimneys: Masonry

Roof Penetrations: Roof vents

Roof Penetrations: Plumbing vents

Safety Concern for Inspector

The roof is too high and wet. It was not safe to traverse.
The roof is either too steep or too high or both to safely traverse without fall protection equipment.

Recommended repairs

3.2.1 Roof Drainage Systems

 Recommended Repair

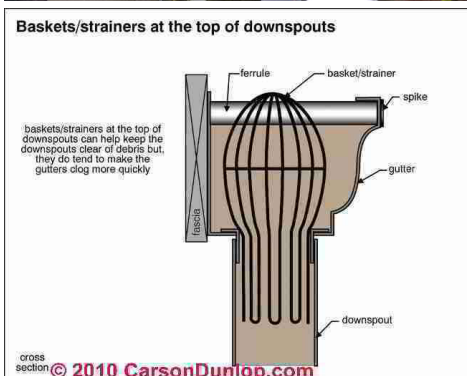
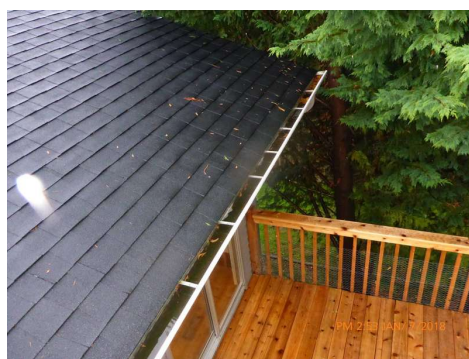
DEBRIS IN GUTTER

Debris has accumulated in the gutters. Recommend cleaning to facilitate water flow. Install basket strainers in the downspout openings in the gutters to help prevent debris from clogging the footing drains.

[Here is a DIY resource](#) for cleaning your gutters.

Recommendation

Contact a qualified handyman.



Basket Strainer

3.2.2 Roof Drainage Systems

DOWNSPOUTS DRAIN NEAR HOUSE

WEST SIDE

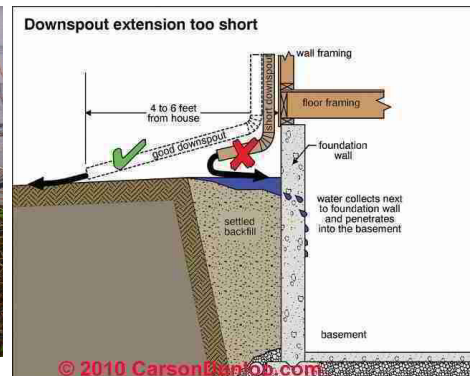


One or more downspouts drain too close to the home's foundation. This can result in excessive moisture in the soil at the foundation, which can lead to foundation/structural movement. Recommend a qualified contractor adjust downspout extensions to drain at least 6 feet from the foundation.

[Here is a helpful DIY link](#) and video on draining water flow away from your house.

Recommendation

Contact a qualified professional.



Downspout Extension

3.3.1 Flashings

CHIMNEY FLASHING

The flashing at the chimney is improperly installed. It is making a dam and holding water. That water may be seeping below the shingles and reaching the wood decking. Have a licensed contractor replace the flashing so that water can drain off the roof.

Recommendation

Contact a qualified roofing professional.



3.4.1 Chimneys

CHIMNEY CAP MISSING

No chimney cap was observed. This is important to protect from moisture intrusion and protect the chimney. Recommend installing a cap over the flue opening.

Recommendation

Contact a qualified roofing professional.



3.4.2 Chimneys

HEAVY MOSS GROWTH

Clean moss off chimney. The moss retains moisture that can deteriorate the mortar joints and crown. Have a licensed contractor power wash the chimney. Cracks in the crown should be caulked with a high-quality caulk.

Recommendation

Contact a qualified professional.

 Recommended Repair



4: GARAGE

Information

General: Attached or Detached Garage

Attached

Garage Structure: Firewall

Breached

Garage Structure: Garage Structure

Wood frame

Overhead Garage Door: Material

Insulated Metal

Overhead Garage Door: Type

Roll-Up, Sectional

Door Opener: Brand

Chamberlain

Door Opener: Auto Reverse

Present & working normally

Door Opener: Photoelectric Edge Sensors

Improperly Installed

Garage Pedestrian Door: Door

Wood

Recommended repairs

4.2.1 Garage Structure

 Safety Hazard

DAMAGED DRYWALL

Damaged drywall at walls and/or ceiling in garage adjacent to the living space is a safety hazard. Smoke, fire and toxic fumes could enter the house through the damaged drywall harming the occupants. Have a licensed contractor fill cracks in the drywall and repair damaged drywall.

Recommendation

Contact a qualified drywall contractor.



4.2.2 Garage Structure

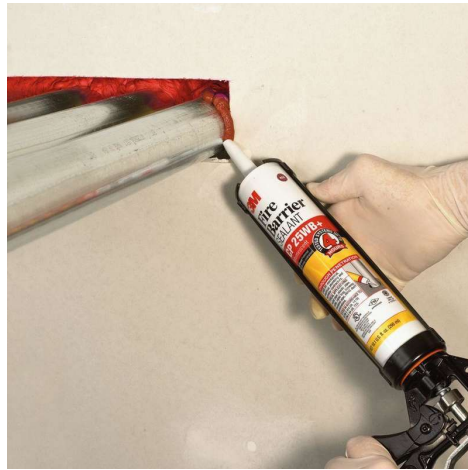
 Safety Hazard

ADD FIRE-CAULK IN WALL / CEILING PENETRATIONS

Holes in drywall around penetrations could allow smoke and fire to spread to the living space quickly. Fill the holes with a fire-caulk or fire-retardant expanding foam.

Recommendation

Recommended DIY Project



Fire Caulk



Fire-Foam

4.4.1 Door Opener

 Safety Hazard

PHOTOELECTRIC SENSORS MISSING OR IMPROPERLY INSTALLED

The overhead garage door is missing photoelectric edge sensors. The sensors work by reversing the door if an obstacle is in the path of the door. People could be injured or property can be damaged without operable sensors. Have a licensed contractor install new photoelectric edge sensors to help prevent personal injuries or property damage.

Recommendation

Contact a qualified garage door contractor.

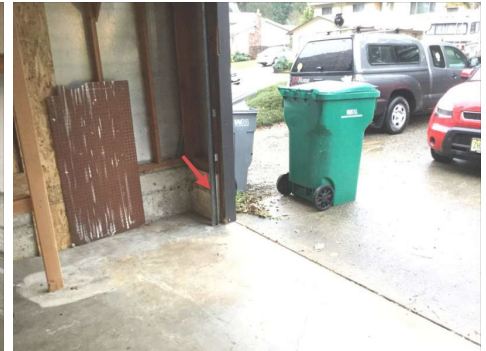


Photo-electric sensors are at ceiling. They should be at the door rail near the garage floor.

photo-electric sensor should be here. photo-electric sensor should be here

4.4.2 Door Opener

 Recommended Repair

EXTENSION CORD

GARAGE

An extension cord is feeding power to the garage door opener. The cord sweeps across a wall and ceiling to reach the opener. Recommend having a licensed contractor install a new outlet close to the opener to eliminate the cord.

Recommendation

Contact a qualified electrical contractor.



4.4.3 Door Opener

 Recommended Repair

OPENER NOT FUNCTIONING PROPERLY

The garage door opener was operating normally the first few times it was opened and closed. After the 3rd or 4th cycle of opening and closing, the door did not want to stay closed. The door lowered to within 1 foot of the garage floor and then pop back up to the open position. Have a licensed contractor make adjustments to the opener and the safety features so that the opener works reliably.

Recommendation

Contact a qualified garage door contractor.

4.5.1 Garage Pedestrian Door

 Safety Hazard

MISSING AUTO-CLOSING HINGES

The pedestrian door is missing auto-closing hinges. Garage sourced gases and fire could spread quickly into the dwelling if the pedestrian door was left open. Have a licensed contractor install new auto-closing hinges on pedestrian door.

Recommendation

Contact a qualified handyman.



4.5.2 Garage Pedestrian Door

 Safety Hazard

MISSING WEATHERSTRIPPING / THRESHOLD

The garage pedestrian door is missing weatherstripping and/or a threshold. The weatherstripping and threshold help prevent toxic fumes such as CO2 gases, smoke and flames from entering the living space through the garage. Have a licensed contractor install new weatherstripping and/or threshold around the garage door frame.

Recommendation

Contact a qualified handyman.



5: PLUMBING

Information

Sewer System

Connected to public utility

Water Source

Public

Water Heater: Brand

Whirlpool

Water Heater: Location

Garage

Water Heater: Power Source

Natural Gas

Water Heater: Capacity

50 Gallons



Water Heater: Age:

8 Years

Water Heater: Was the water temperature tested?

No

Water Heater: Generally accepted safe water temperature is 120 degrees.

Fuel Distribution System: Black Iron galvanized pipe

Water Distribution Material: Copper

Drain, Waste, & Vent Systems: ABS pipe

Drain, Waste, & Vent Systems: PVC pipe

Recommended repairs

5.1.1 Water Heater

 Recommended Repair

MISSING EXPANSION TANK

Missing an expansion tank at the water heater. A safety device known as a **water heater expansion tank** (sometimes called a thermal **expansion tank**) can help minimize the risk of pressure damage to the plumbing system. ... Since **water** expands when it is heated due to thermal **expansion**, the **water heater** creates extra **water** volume every time it heats **water**. Have a licensed contractor install a new expansion tank.

Recommendation

Contact a qualified plumbing contractor.



Example of an Expansion Tank at Water Heater

5.1.2 Water Heater

 Safety Hazard

MISSING SEISMIC STRAPS.

Install new seismic straps around the water heater to prevent it from tipping over in the event of an earthquake.

Recommendation

Contact a qualified handyman.

5.1.3 Water Heater

 Safety Hazard

MISSING T&P DISCHARGE PIPE

With discharge/overflow pipe missing or too short; potential for scalding injuries. Have a licensed contractor install a new discharge pipe that terminates within 2 to 6 inches from the floor when the water heater is replaced.

Recommendation

Contact a qualified professional.



5.1.4 Water Heater

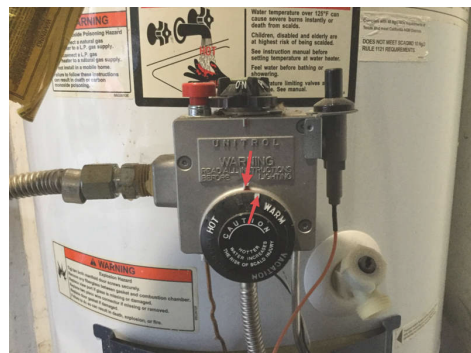
 Safety Hazard

WATER TEMPERATURE

The water temperature is above the recommended water temperature of 120 degrees. Turn the water temperature dial(s) down to 120 degrees to prevent potential scalding injuries. Aligning the white triangles or red markers on the gas control housing and on the dial provide the 120 degree water temperature.

Recommendation

Recommended DIY Project



5.1.5 Water Heater

 Maintenance Item

MISSING PIPE INSULATION

Wrap water lines and T&P valve with insulation.

Recommendation

Recommended DIY Project





Example of Pipe Insulation at Water Supply Pipes

5.1.6 Water Heater



Maintenance Item

MISSING INSULATING JACKET

Because the water heater is located in an unheated space, recommend installing an insulating jacket specifically made for wrapping around water heaters. This may help keep the water in the tank hotter for a longer period of time saving on heating bills.

Recommendation

Recommended DIY Project

5.1.7 Water Heater



Safety Hazard

EXHAUST FLUE IMROPERLY INSTALLED

The exhaust flue is loose and falling out of place. Exhaust gases are escaping into the garage and potentially into the living space above the garage. Have a licensed contractor repair the exhaust flue so that gases travel through the flue and diverted to the exterior of the house.

Recommendation

Contact a qualified plumbing contractor.



5.1.8 Water Heater



Safety Hazard

PLATE IS LOOSE

Plate loose. The plate should be reinstalled and fire-caulked to make

it smoke and gas tight.

Recommendation

Contact a qualified HVAC professional.



5.2.1 Plumbing Fixtures

HOSE BIBS - ANTI SIPHON

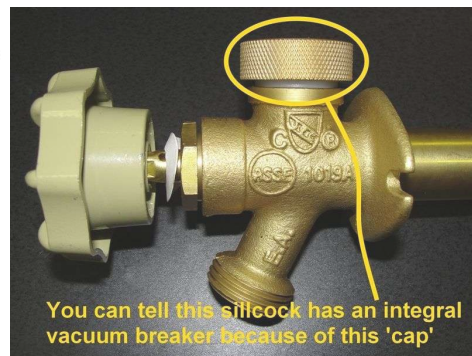
FRONT YARD, BACK YARD

 Recommended Repair

Existing hose bib does not have anti siphon valve. The anti siphon valve prevents potentially contaminated water from being sucked back into the house's potable water supply in the event the municipal water system should lose water pressure. Install a new anti siphon hose bib or install an anti siphon valve at the existing hose bib. They can be found at any home improvement store.

Recommendation

Contact a qualified plumbing contractor.



Example of Anti-Siphon Hose Bib

Example of Anti-Siphon Valve added to Existing Hose Bib

5.2.2 Plumbing Fixtures

SINK VANITY LOOSE

LAUNDRY

 Recommended Repair

The vanity is loose. Have a licensed contractor secure it to the wall. A secured cabinet will prevent the plumbing drain and water supply lines from being damaged.

Recommendation

Contact a qualified handyman.



5.5.1 Water Distribution Material

LEAKING WATER VALVE

KITCHEN

Evidence of water leak at water shut off valve. Replace with new valve.

Recommendation

Contact a qualified handyman.

 Recommended Repair



Dishwasher Valve

6: ELECTRICAL

Information

Electric Service Overhead or Underground

Underground

Location of Main Disconnect

Garage



Location of Subpanel(s)

North Side

Exterior of house, Hot Tub



Electric Panel: Panel Brand

Square D

Electric Panel: Panel Type

Circuit Breaker

**Service Entrance Conductors:
Electrical Service Conductors**

Unknown

**Service Entrance Conductors:
Panel Capacity**

100 AMP

**Light Fixtures: Light located at
top and bottom of stairs?**

Yes

Smoke Alarms: In a typical home fire, occupants have just minutes to escape. And because smoke in one area may not reach a smoke alarm in another, the National Fire Protection Association (NFPA) recommends placement of at least one smoke alarm on every level of the home (including basements) and in every bedroom , and outside each sleeping area. The NFPA also recommends interconnection of alarms to provide better whole-home protection than stand-alone alarms. Leading authorities recommend that both ionization and photoelectric smoke alarms be installed to help insure maximum detection of the various types of fires that can occur within the home. Ionization sensing alarms may detect invisible fire particles (associated with fast flaming fires) sooner than photoelectric alarms. Photoelectric sensing alarms may detect visible fire particles (associated with slow smoldering fires) sooner than ionization alarms.

Carbon Monoxide Alarms: We recommend choosing carbon monoxide alarms that have the most accurate sensing technology available. Carbon monoxide poisoning is the leading cause of accidental poisoning deaths in America. (Centers for Disease Control) At a minimum, industry experts recommend a CO alarm be installed on each level of the home--ideally on any level with fuel burning appliances and outside of sleeping areas. Additional CO alarms are recommended 5-20 feet from sources of CO such as a furnace, water heater or fireplace. Alarms can alert you to a problems only after smoke or carbon monoxide reach their sensors. Choose locations free of obstructions, where the alarm will stay clean and protected from adverse environmental conditions. Do not place the unit in dead air spaces or next to a window or door.

Service Entrance Conductors: Cannot Remove Panel Cover

Shelving is blocking access to the electric panel. It is important to keep the area in front of the electric panel clear for easy access to the panel.



Limitations

Panel Contents

NOT ACCESSIBLE

Recommended repairs

6.1.1 Electric Panel

 Recommended Repair

SUB PANEL AND CONNECTIONS

The conduit and fittings leading up to the hot tub sub panel or falling apart leaving the wires exposed. Have a licensed contractor reconnect the fittings and conduit so that the electrical wires are protected.

Recommendation

Contact a qualified electrical contractor.



6.5.1 Light Switches

 Safety Hazard

COVER PLATES MISSING

One or more receptacles are missing a cover plate. This causes short and shock risk. Recommend installation of plates.

Recommendation

Contact a qualified handyman.



6.6.1 Receptacles

 Safety Hazard

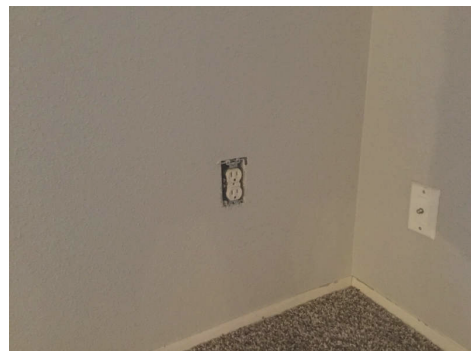
MISSING COVER PLATES

LIVING ROOM

Receptacle(s) missing cover plates. Potential electric shock. Install new covers.

Recommendation

Recommended DIY Project



6.6.2 Receptacles

 Recommended Repair

RECEPTACLES NOT WORKING - INTERIOR

KITCHEN

There are non-working receptacles in the house. It is unknown why these receptacles are not working. Have a licensed contractor further evaluate the non-working receptacles and make repairs to the electric system as needed.

Recommendation

Contact a qualified electrical contractor.



6.7.1 GFCI & AFCI

 Safety Hazard

MISSING GFCI RECEPTACLES IN KITCHEN / BATH

Electric receptacles within 6 feet of a water source should be GFCI protected. Recommend having a licensed electrician install new GFCI outlets in wet locations of the house.

[Here is a link](#) to read about how GFCI receptacles keep you safe.

Recommendation

Contact a qualified electrical contractor.



6.8.1 Smoke Alarms

 Safety Hazard

MISSING SMOKE ALARMS - BEDROOMS

Install a new photoelectric smoke alarm in each bedroom. Smoke alarm should be located within 3 feet of the bedroom door.

Recommendation

Recommended DIY Project



6.9.1 Carbon Monoxide Alarms

 Safety Hazard

MISSING CARBON MONOXIDE ALARM

CO Alarms should be installed in hallways adjacent to bedrooms. Have a licensed contractor install a new CO alarm at each hall adjacent to bedrooms.

Recommendation

Recommended DIY Project

7: HEATING

Information

Furnace Location

Basement



Thermostat

Present

Gas Shutoff Location

Garage Wall



Evidence of of an underground storage tank?

No

Working normally at time of inspection?

Yes

Heating Equipment: Heat Type

Natural gas-fired forced air

Heating Equipment: Heater Brand

Heil

Heating Equipment: Furnace Age:

16 Years

Heating Equipment: Filter Location

inside furnace cabinet



Heating Equipment: Filter Type

Disposable

Heating Equipment: Filter Size

16 x 25 x 1

Distribution Systems: Means of Heat Distribution

Metal duct

Distribution Systems: Ductwork

unknown

Recommended repairs

7.1.1 Heating Equipment

SERVICE & CLEAN FURNACE



Recommend a qualified HVAC contractor clean, service and certify furnace before the next heating season starts.

[Here is a resource](#) on the importance of furnace maintenance.

Recommendation

Contact a qualified HVAC professional.

7.1.2 Heating Equipment

BLOWER - EXCESSIVE NOISE



Recommended Repair

Furnace blower was excessively noisy during operation. Recommend a qualified HVAC technician evaluate and repair.

Recommendation

Contact a qualified HVAC professional.



7.1.3 Heating Equipment

ILL-FITTING FILTER



Maintenance Item

The filter does not properly fit in the filter niche. Dirty air is getting around the filter. Have a licensed HVAC contractor correct the problem so that the filter fits properly.

Recommendation

Contact a qualified HVAC professional.



7.1.4 Heating Equipment

WEATHERSTRIPPING AT FURNACE DOOR

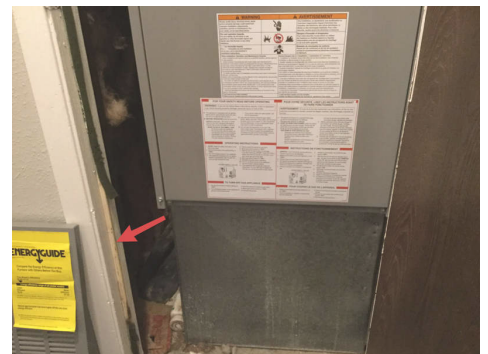


Recommended Repair

Missing weatherstripping at furnace door. Since there is direct venting from the garage into the furnace closet, this door should be fire-rated and have weather stripping and air-tight threshold like a typical exterior door would have. Have a licensed contractor install new weatherstripping to door jamb and install a gasketed threshold / door sweep. If the closet door is hollow, replace it with a new fire-rated door.

Recommendation

Contact a qualified general contractor.



7.1.5 Heating Equipment

MAKEUP AIR MAY BE CONTAMINATED



Safety Hazard

The furnace closet has 2 vents in the garage that provide air supply for the combustion of natural gas. Toxic fumes originating from the garage could be sucked into the furnace. It is recommended that makeup air is taken from the exterior of the house such as a side wall or roof. Have a licensed HVAC professional further evaluate the furnace and alternate makeup air supply sources.

Recommendation

Contact a qualified HVAC professional.



Make up air vents on left side of furnace. Direct line to garage.

7.3.1 Distribution Systems

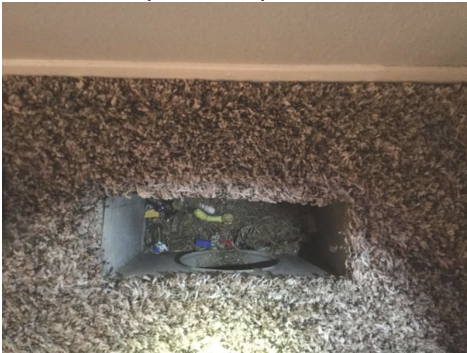
 Maintenance Item

DIRTY DUCTS

Dust, dander and miscellaneous trash are in the ducts. This could be a health problem for people with respiratory allergies. Recommend having a licensed air-duct cleaning company clean out the ducts.

Recommendation

Contact a qualified professional.



8: INTERIORS

Information

Interior

Interior rooms were inspected for general condition. Minor cracks on surfaces are usually cosmetic and are not mentioned in the report. Doors and windows are randomly inspected for proper operation. Not all windows and doors may be accessible during the inspection due to personal property and window dressings blocking access.

Walls: Wall Material

Drywall

Walls: Shower Surround

fiberglass

Ceilings: Ceiling Material

Drywall

Floors: Floor Coverings

Carpet, Laminate, Vinyl

Stair / Balcony Railings: Railing Material

Wood

Stairways: Stair Materials

Carpeted

Countertops & Cabinets: Countertop Material

Laminate

Countertops & Cabinets: Cabinetry

Wood

Windows: Window Type

Horizontal sliders, Aluminum, Single Pane

Windows: Window Manufacturer

Unknown

Recommended repairs

8.1.1 Walls

CAULK IN POOR CONDITION

TUB SURROUND

Have a licensed contractor remove the deteriorating caulk and install new caulk.

Recommendation

Contact a qualified handyman.



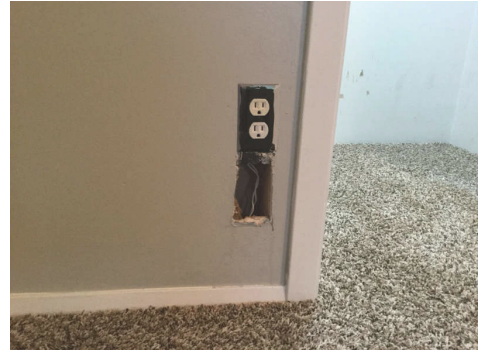
8.1.2 Walls

 Recommended Repair
MINOR WALL DAMAGES

Throughout the house, there are minor wall damages due to child gates and every day living. Have a licensed contractor patch all of the wall dings throughout the house. Paint the repairs to match the surrounding color.

Recommendation

Contact a qualified drywall contractor.



8.1.3 Walls

 Recommended Repair
POOR PATCHING

HALL, HALL BATH

Sub-standard drywall patching observed at time of inspection. Recommend re-patching.

Recommendation

Contact a qualified drywall contractor.



8.1.4 Walls

 Recommended Repair
SHOWER SURROUND DAMAGED

The old shower door and frame have been removed. The result are screw holes and adhesive left on the walls. Have a licensed contractor repair or replace the damaged shower surround.

Recommendation

Contact a qualified handyman.



8.2.1 Ceilings

 Safety Hazard
ACOUSTIC TEXTURE

The acoustic texture may potentially contain asbestos; a material that can be hazardous to people. If disturbed, the asbestos fibers could be inhaled and cause damage to the lungs. If the ceiling texture is to be removed, recommend having a licensed contractor safely remove it. Otherwise, the texture if left undisturbed can be harmless.

Here is a link to a local asbestos testing lab; <http://www.seattleasbestostest.com/asbestos-house->

[buying.html](#)

You may also want to contact similar testing labs to find good pricing.

Recommendation

Contact a qualified professional.

8.2.2 Ceilings

UNFINISHED CEILINGS

BASEMENT BEDROOM

Ceilings are unfinished. Tape, joint compound poorly applied. Have a licensed contractor finish the ceilings where needed.

Recommendation

Contact a qualified professional.

 Recommended Repair



8.3.1 Floors

UNFINISHED FLOORS

It is unknown why flooring is missing in a portion of the basement. Was there a water issue? Mold? Mildew? Recommend asking the seller if any event occurred that required them to remove the flooring. Finish floors in basement if there are no underlying issues.

Recommendation

Contact a qualified flooring contractor

 Recommended Repair



8.4.1 Trim

MISSING TRIM

LAUNDRY, BACK BEDROOM

Trim boards are missing throughout the house. Have a licensed contractor install trim at door frames, window frames, floor base and ceiling.

Recommendation

Contact a qualified carpenter.

 Recommended Repair



8.7.1 Countertops & Cabinets

CABINET DRAWER SLIDER

KITCHEN

Sliding shelf bracket off track. Repair or replace.

Recommendation

Contact a qualified handyman.



8.8.1 Doors

DOOR RUBBING FLOORING

BASEMENT BEDROOM

Interior door is rubbing against the flooring. Have a licensed contractor trim about 1 to 2 inches off the bottom of the door so that there is a gap between the bottom of the door and the flooring. Install a rubber door sweep to help keep the door weather tight.

Recommendation

Contact a qualified handyman.



8.10.1 Bathroom Hardware

MISSING BATHROOM HARDWARE

Bathroom missing towel bar(s) and toilet paper holder. Have a licensed contractor install new bathroom hardware.

Recommendation

Contact a qualified handyman.



8.12.1 Closets

CLOSET DOORS MISSING

BASEMENT BEDROOMS , BACK BEDROOM

Closet doors missing. Have a licensed contractor install new doors or reinstall existing doors at all closets. Replace damaged door hardware if needed.

Recommendation

Contact a qualified carpenter.





9: FIREPLACES AND STOVES

Information

How Many Fireplaces?

1

How Many Stoves?

1

Fireplaces: Type of Fireplace

Masonry

Fireplaces: Hearth

Stone

Stoves : Type of Stove

Wood-burning

Stoves : Hearth

Tile

Recommended repairs

9.1.1 Fireplaces

FIREBOX DIRTY



Recommended Repair

Clean out the fire box. Have a licensed contractor check the flue for creosote. Clean as needed.

Recommendation

Contact a qualified repair chimney contractor.

9.1.2 Fireplaces

FIREWALL CRACKED



Safety Hazard

The brick lining of the fireplace was cracked in one or more places, which could lead to chimney damage or toxic fumes entering the home. Recommend a qualified fireplace contractor evaluate and repair.

Recommendation

Contact a qualified fireplace contractor.



9.2.1 Stoves

FIREBOX DIRTY



Maintenance Item

BASEMENT

Clean out the fire box. Have a licensed contractor check the flue for creosote. Clean as needed.

Recommendation

Contact a qualified repair chimney contractor.



9.3.1 Chimney & Vent Systems

CONDITION OF FLUE UNKNOWN



Safety Hazard

The chimney flue was not visible for inspection. Have a licensed contractor clean the flue before using the pellet stove.

Recommendation

Contact a qualified repair chimney contractor.

10: INSULATION AND VENTILATION

Information

Attic Insulation: Insulation Type

Blown, Fiberglass

Ventilation: Ventilation Type

Gable Vents, Soffit Vents, Roof Vents

Exhaust Systems: Exhaust Fans

Laundry Fan, Bathroom Fan, Kitchen Fan

Crawlspace / Basement

Insulation: Crawlspace

Insulation

Unknown

Limitations

Crawlspace / Basement Insulation

BASEMENT LEVEL OF THE HOUSE IS FINISHED. INSULATION WAS NOT VISIBLE.

Recommended repairs

10.1.1 Attic Insulation

ATTIC INSULATION DISTURBED



Recommended Repair

The attic insulation has been disturbed and compressed by people working in there. The insulation has been compressed or pushed out of position. Consider having a licensed contractor redistribute the existing insulation so that it evenly covers the attic floor.

Recommendation

Contact a qualified insulation contractor.



10.1.2 Attic Insulation

INADEQUATE INSULATION



Recommended Repair

Insulation depth was inadequate. Inadequate insulation in the attic results in a colder living space and higher heating costs in the winter. Recommend a qualified insulation contractor install additional insulation to raise the insulation value to between R-38 and R-60.

Recommendation

Contact a qualified insulation contractor.

10.3.1 Exhaust Systems

DIRTY DRYER DUCT



Recommended Repair

The dryer duct has built-up dryer lint in it. The lint could potentially clog up the duct and cause the dryer to perform poorly or even catch fire. Recommend having a licensed air-duct cleaning company clean out the

dryer duct.

Recommendation

Contact a qualified professional.



10.3.2 Exhaust Systems

DIRTY EXHAUST FAN

BATHROOMS, LAUNDRY, KITCHEN

Clean the exhaust fan to ensure it is removing excess moisture from the house. Recommend replacing the old, inefficient exhaust fan with a new, more efficient fan.

Recommendation

Recommended DIY Project

 Recommended Repair



11: STRUCTURAL COMPONENTS

Information

Foundation Type: Finished Basement with Concrete Floor

Foundation Type: Concrete Slab-on-Grade

Foundation Type: Inspection Method

Traversed basement

Floor Structure: Wood joists supporting plywood floor decking

Wall Structure: Unknown; finish materials covering walls

Ceiling Structure: Material

Wood trusses

Ceiling Structure: Unknown; finish materials covering ceiling structure

Roof Structure & Attic: Wood trusses and plywood roof decking

Roof Structure & Attic: Inspection Method

Traversed Attic

12: BUILT-IN APPLIANCES

Information

HVAC, Water Heater, Dishwasher, Oven/Range/Cooktop/Wall Oven & Microwave Oven model numbers and serial numbers are submitted to RecallChek for potential recalls. RecallChek may contact you with further information about your appliances.

Garbage Disposal: Brand
Insinkerator

Garbage Disposal: Working normally at time of inspection?
Yes

Dishwasher: Brand
Samsung

Dishwasher: Working normally at time of inspection?
Yes

Range/Oven: Brand
GE

Range/Oven: Range/Oven Energy Source
Electric

Range/Oven: Working normally at time of inspection?
Yes

Exhaust Hood: Brand
NuTone

Exhaust Hood: Working normally at time of inspection?
Yes

Appliances

Appliances are inspected for general condition. Temperature and calibration are not part of the inspection. Anti-tip safety anchor for freestanding stoves are recommended, if not present for increased child safety. Dishwasher and disposal are operated and inspected for leaks. Ventilators are operated and inspected for proper ventilation. Searches for recalls on appliances or other products is not part of this inspection. If you would like information about recalls, visit <https://www.cpsc.gov/>

Recommended repairs

12.1.1 Garbage Disposal

AGE

The garbage disposal is an older model and may be reaching the end of its lifespan. Expect to replace it soon.

Recommendation

Contact a qualified professional.

 Recommended Repair

12.1.2 Garbage Disposal

OLD APPLIANCE

The disposal is older and may be reaching the end of its life. Expect to replace it soon.

Recommendation

Contact a handyman or DIY project

 Recommended Repair

12.4.1 Exhaust Hood

DIRTY FILTER

The air filter at the exhaust hood is dirty. Clean the filter with warm soapy water, dry and then reinstall.

Recommendation

Contact a qualified professional.



STANDARDS OF PRACTICE

Exterior / Site

4.1 The inspector shall: A. inspect: 1. wall coverings, flashing, and trim. 2. exterior doors. 3. attached and adjacent decks, balconies, stoops, steps, porches, and their associated railings. 4. eaves, soffits, and fascias where accessible from the ground level. 5. vegetation, grading, surface drainage, and retaining walls that are likely to adversely affect the building. 6. adjacent and entryway walkways, patios, and drive-ways. B. describe wall coverings. 4.2 The inspector is NOT required to inspect: A. screening, shutters, awnings, and similar seasonal accessories. B. fences, boundary walls, and similar structures. C. geological and soil conditions. D. recreational facilities. E. outbuildings other than garages and carports. F. seawalls, break-walls, and docks. G. erosion control and earth stabilization measures.

Roofing

5.1 The inspector shall: A. inspect: 1. roofing materials. 2. roof drainage systems. 3. flashing. 4. skylights, chimneys, and roof penetrations. B. describe: 1. roofing materials. 2. methods used to inspect the roofing. 5.2 The inspector is NOT required to inspect: A. antennas. B. interiors of vent systems, ues, and chimneys that are not readily accessible. C. other installed accessories.

Plumbing

6.1 The inspector shall: A. inspect: 1. interior water supply and distribution systems including fixtures and faucets. 2. Interior drain, waste, and vent systems including fixtures. 3. water heating equipment and hot water supply systems. 4. vent systems, flues, and chimneys. 5. fuel storage and fuel distribution systems. 6. sewage ejectors, sump pumps, and related piping. B. describe: 1. interior water supply, drain, waste, and vent piping materials. 2. water heating equipment including energy source(s). 3. location of main water and fuel shut-off valves. 6.2 The inspector is NOT required to: A. inspect: 1. clothes washing machine connections. 2. interiors of vent systems, flues, and chimneys that are not readily accessible. 3. wells, well pumps, and water storage related equipment. 4. water conditioning systems. 5. solar, geothermal, and other renewable energy water heating systems. 6. manual and automatic re extinguishing and sprinkler systems and landscape irrigation systems. 7. septic and other sewage disposal systems. B. determine: 1. whether water supply and sewage disposal are public or private. 2. water quality. 3. the adequacy of combustion air components. C. measure water supply ow and pressure, and well water quantity. D. fill shower pans and fixtures to test for leaks.

Electrical

7.1 The inspector shall: A. inspect: 1. service drop. 2. service entrance conductors, cables, and raceways. 3. service equipment and main disconnects. 4. service grounding. 5. interior components of service panels and subpanels. 6. conductors. 7. overcurrent protection devices. 8. a representative number of installed lighting fixtures, switches, and receptacles. 9. ground fault circuit interrupters and arc fault circuit interrupters. B. describe: 1. amperage rating of the service. 2. location of main disconnect(s) and subpanels. 3. presence or absence of smoke alarms and carbon monoxide alarms. 4. the predominant branch circuit wiring method. 7.2 The inspector is NOT required to: A. inspect: 1. remote control devices. 2. or test smoke and carbon monoxide alarms, security systems, and other signaling and warning devices. 3. low voltage wiring systems and components. 4. ancillary wiring systems and components not a part of the primary electrical power distribution system. 5. solar, geothermal, wind, and other renewable energy systems. B. measure amperage, voltage, and impedance. C. determine the age and type of smoke alarms and carbon monoxide alarms.

Heating

8.1 The inspector shall: A. open readily openable access panels. B. inspect: 1. installed heating equipment. 2. vent systems, ues, and chimneys. 3. distribution systems. C. describe: 1. energy source(s). 2. heating systems. 8.2 The inspector is NOT required to: A. inspect: 1. interiors of vent systems, ues, and chimneys that are not readily accessible. 2. heat exchangers. 3. humidi ers and dehumidi ers. 4. electric air cleaning and sanitizing devices. 5. heating systems using ground-source, water-source, solar, and renewable energy technologies. 6. heat-recovery and similar whole-house mechanical ventilation systems. B. determine: 1. heat supply adequacy and distribution balance. 2. the adequacy of combustion air components.

Interiors

10.1 The inspector shall inspect: A. walls, ceilings, and floors. B. steps, stairways, and railings. C. countertops and a representative number of installed cabinets. D. a representative number of doors and windows. E. garage vehicle doors and garage vehicle door operators. F. installed ovens, ranges, surface cooking appliances, microwave ovens, dishwashing machines, and food waste grinders by using normal operating controls to activate the primary function. 10.2 The inspector is NOT required to inspect: A. paint, wallpaper, and other finish treatments. B. floor

coverings. C. window treatments. D. coatings on and the hermetic seals between panes of window glass. E. central vacuum systems. F. recreational facilities. G. installed and free-standing kitchen and laundry appliances not listed in Section 10.1.F. H. appliance thermostats including their calibration, adequacy of heating elements, self cleaning oven cycles, indicator lights, door seals, timers, clocks, timed features, and other specialized features of the appliance. I. operate, or confirm the operation of every control and feature of an inspected appliance.

Fireplaces and Stoves

12.1 The inspector shall: A. inspect: 1. fuel-burning replaces, stoves, and replace inserts. 2. fuel-burning accessories installed in replaces. 3. chimneys and vent systems. B. describe systems and components listed in 12.1.A.1 and .2. 12.2 The inspector is NOT required to: A. inspect: 1. interiors of vent systems, ues, and chimneys that are not readily accessible. 2. fire screens and doors. 3. seals and gaskets. 4. automatic fuel feed devices. 5. mantles and replace surrounds. 6. combustion air components and to determine their adequacy. 7. heat distribution assists (gravity fed and fan assisted). 8. fuel-burning replaces and appliances located out- side the inspected structures. B. determine draft characteristics. C. move fireplace inserts and stoves or firebox contents.

Insulation and Ventilation

11.1 The inspector shall: A. inspect: 1. insulation and vapor retarders in un nished spaces. 2. ventilation of attics and foundation areas. 3. kitchen, bathroom, laundry, and similar exhaust systems. 4. clothes dryer exhaust systems. B. describe: 1. insulation and vapor retarders in unfinished spaces. 2. absence of insulation in unfinished spaces at conditioned surfaces. 11.2 The inspector is NOT required to disturb insulation.

Structural Components

3. STRUCTURAL COMPONENTS 3.1 The inspector shall: A. inspect structural components including the foundation and framing. B. describe: 1. the methods used to inspect under floor crawlspaces and attics. 2. the foundation. 3. the floor structure. 4. the wall structure. 5. the ceiling structure. 6. the roof structure. 3.2 The inspector is NOT required to: A. provide engineering or architectural services or analysis. B. offer an opinion about the adequacy of structural systems and components. C. enter under floor crawlspace areas that have less than 24 inches of vertical clearance between components and the ground or that have an access opening smaller than 16 inches by 24 inches. D. traverse attic load-bearing components that are concealed by insulation or by other materials.

Built-in Appliances

10.1 The inspector shall inspect: F. installed ovens, ranges, surface cooking appliances, microwave ovens, dishwashing machines, and food waste grinders by using normal operating controls to activate the primary function. 10.2 The inspector is NOT required to inspect: G. installed and free-standing kitchen and laundry appliances not listed in Section 10.1.F. H. appliance thermostats including their calibration, adequacy of heating elements, self cleaning oven cycles, indicator lights, door seals, timers, clocks, timed features, and other specialized features of the appliance. I. operate, or con rm the operation of every control and feature of an inspected appliance.