



BLACKSTONE PROPERTY INSPECTIONS

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<https://www.blackstoneinspect.com>



YOUR HOME INSPECTION REPORT

1234 Main St.
Apache Junction AZ 85120

Buyer Name
09/10/2018 9:00AM



Inspector
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Agent
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SUMMARY

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-  3.4.1 Kitchen Appliances - Garbage Disposal: Leaking garbage disposal
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-  4.2.1 Kitchen - Countertop: Typical wear and tear
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-  17.15.1 Bathrooms - Lights, Wall Switches: Light Fixture is Loose
-  18.5.1 Bedrooms - Closet: Doors do not open and close easily
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-  18.7.2 Bedrooms - Smoke Detectors: Smoke detector did not adequately respond

1: GENERAL COMMENTS

Information

General Comments: General Info

This report is the exclusive property of Blackstone Property Inspections and the client whose name appears herewith, and its use by any unauthorized persons is strictly prohibited.

The observations and opinions expressed in this report are those of Blackstone Property Inspections and supersede any alleged verbal comments. We inspect all of the systems, components, and conditions described in accordance with the standards of the Arizona Board of Technical Registration and those that I do not inspect are clearly disclaimed in the contract and/or in the aforementioned standards. However, some components that are inspected and found to be functional may not necessarily appear in the report, simply because we do not wish to waste our client's time by having them read an unnecessarily lengthy report about components that do not need to be serviced.

In accordance with the terms of the contract, the service recommendations that I make in this report should be completed well before the close of escrow by licensed specialists, who may well identify additional defects or recommend some upgrades that could affect your evaluation of the property.

This report has been produced in accordance with our signed contract and is subject to the terms and conditions agreed upon therein. All printed comments and the opinions expressed herein are those of the Inspection Company.

General Comments: Scope of work

You have contracted with Blackstone Property Inspections to perform a generalist inspection in accordance with the standards of practice established by the Arizona Board of Technical registration, you can click [HERE](#) or ask request them from us. Generalist inspections are essentially visual, and distinct from those of specialists, inasmuch as they do not include the use of specialized instruments, the dismantling of equipment, or the sampling of air and inert materials. Consequently, a generalist inspection and the subsequent report will not be as comprehensive, nor as technically exhaustive, as that generated by specialists, and it is not intended to be. The purpose of a generalist inspection is to identify significant defects or adverse conditions that would warrant a specialist evaluation. Therefore, you should be aware of the limitations of this type of inspection, which is clearly indicated in the standards. However, the inspection is not intended to document the type of cosmetic deficiencies that would be apparent to the average person, and certainly not intended to identify insignificant deficiencies. Similarly, we do not inspect for vermin infestation, which is the responsibility of a licensed exterminator.

Most homes built after 1978, are generally assumed to be free of asbestos and many other common environmental contaminants. However, as a courtesy to our clients, we are including some well documented, and therefore public, information about several environmental contaminants that could be of concern to you and your family, all of which we do not have the expertise or the authority to evaluate, such as asbestos, radon, methane, formaldehyde, termites and other wood-destroying organisms, pests and rodents, molds, microbes, bacterial organisms, and electromagnetic radiation, to name some of the more commonplace ones. Nevertheless, we will attempt to alert you to any suspicious substances that would warrant evaluation by a specialist. However, health and safety, and environmental hygiene are deeply personal responsibilities, and you should make sure that you are familiar with any contaminant that could affect your home environment. You can learn more about contaminants that can affect your home from a booklet published by The Environmental Protection Agency, which you can read online at www.epa.gov/iaq/pubs/insidest.htm.

MOLD is one such contaminant. It is a microorganism that has tiny seeds, or spores, that are spread in the air then land and feed on organic matter. It has been in existence throughout human history and actually contributes to the life process. It takes many different forms, many of them benign, like mildew. Some characterized as allergens are relatively benign but can provoke allergic reactions among sensitive people, and others characterized as pathogens can have adverse health effects on large segments of the population, such as the very young, the elderly, and people with suppressed immune systems. However, there are less common molds that are called toxins that represent a serious health threat. All molds flourish in the presence of moisture, and we make a concerted effort to look for any evidence of it wherever there could be a water source, including that from condensation. Interestingly, the molds that commonly appear on ceramic tiles in bathrooms do not usually constitute a health threat, but they should be removed. However, some visibly similar molds that form on cellulose materials, such as on drywall, plaster, and wood, are potentially toxigenic. If mold is to be found anywhere within a home, it will likely be in the area of tubs, showers, toilets, sinks, water heaters, evaporator coils, inside attics with unvented bathroom exhaust fans, and return-air compartments that draw outside air, all

of which are areas that we inspect very conscientiously. Nevertheless, mold can appear as though spontaneously at any time, so you should be prepared to monitor your home, and particularly those areas that we identified. Naturally, it is equally important to maintain clean air-supply ducts and to change filters as soon as they become soiled because contaminated ducts are a common breeding ground for dust mites, rust, and other contaminants. Regardless, although some mold-like substances may be visually identified, the specific identification of molds can only be determined by specialists and laboratory analysis and is absolutely beyond the scope of our inspection. Nonetheless, as a prudent investment in environmental hygiene, we categorically recommend that you have your home tested for the presence of any such contaminants, and particularly if you or any member of your family suffers from allergies or asthma. Also, you can learn more about mold from an Environmental Protection Agency document entitled "A Brief Guide to Mold, Moisture, and Your Home," by visiting their website at: <http://www.epa.gov/iaq/molds/moldguide.html/>, from which it can be downloaded.

ASBESTOS is a notorious contaminant that could be present in any home built before 1978. It is a naturally occurring mineral fiber that was first used by the Greek and Romans in the first century, and it has been widely used throughout the modern world in a variety of thermal insulators, including those in the form of paper wraps, bats, blocks, and blankets. However, it can also be found in a wide variety of other products too numerous to mention, including duct insulation and acoustical materials, plasters, siding, floor tiles, heat vents, and roofing products. Although perhaps recognized as being present in some documented forms, asbestos can only be specifically identified by laboratory analysis. The most common asbestos fiber that exists in residential products is chrysotile, which belongs to the serpentine or white-asbestos group, and was used in the clutches and brake shoes of automobiles for many years. However, a single asbestos fiber is said to be able to cause cancer and is, therefore, a potential health threat and a litigious issue. Significantly, asbestos fibers are only dangerous when they are released into the air and inhaled, and for this reason authorities such as the Environmental Protection Agency [EPA] and the Consumer Product Safety Commission [CPSC] distinguish between asbestos that is in good condition, or non-friable, and that which is in poor condition, or friable, which means that its fibers could be easily crumbled and become airborne. However, we are not specialists and, regardless of the condition of any real or suspected asbestos-containing material [ACM], we would not endorse it and recommend having it evaluated by a specialist.

POPCORN CEILING- In early formulations, it often contained white asbestos fibers. When asbestos was banned in ceiling treatments by the Clean Air Act of 1978 in the United States,[1] popcorn ceilings fell out of favor in much of the country. However, in order to minimize economic hardship to suppliers and installers, existing inventories of asbestos-bearing texturing materials were exempt from the ban, so it is possible to find asbestos in popcorn ceilings that were applied through the 1980s. According to the EPA, the use of asbestos in textured ceiling paint was banned in 1977. Inhaled in large quantities, asbestos fibers can cause lung disease, scarring of the lungs and lung cancer. However, not all popcorn ceilings contain asbestos. Moreover, if left undisturbed or contained, asbestos is not dangerous.

RADON is a gas that results from the natural decay of radioactive materials in the soil and is purported to be the second leading cause of lung cancer in the United States. The gas is able to enter homes through the voids around pipes in concrete floors or through the floorboards of poorly ventilated crawlspaces, and particularly when the ground is wet and the gas cannot easily escape through the soil and be dispersed into the atmosphere. However, it cannot be detected by the senses, and its existence can only be determined by sophisticated instruments and laboratory analysis, which is completely beyond the scope of our service. However, you can learn more about radon and other environmental contaminants and their effects on health, by contacting the Environmental Protection Agency (EPA), at www.epa.gov/radon/images/hmbuygud.pdf, and it would be prudent for you to inquire about any high radon readings that might be prevalent in the general area surrounding your home.

LEAD poses an equally serious health threat. In the 1920's, it was commonly found in many plumbing systems. In fact, the word "plumbing" is derived from the Latin word "plumbum," which means lead. When in use as a component of a waste system, it is not an immediate health threat, but as a component of potable water pipes, it is a definite health hazard. Although rarely found in modern use, the lead could be present in any home build as recently as the nineteen forties. For instance, lead was an active ingredient in many household paints, which can be released in the process of sanding, and even be ingested by small children and animals chewing on painted surfaces. Fortunately, the lead in painted surfaces can be detected by industrial hygienists using sophisticated instruments, but testing for it is not cheap. There are other environmental contaminants, some of which we have already mentioned, and others that may be relatively benign. However, we are not environmental hygienists, and as we stated earlier we disclaim any responsibility for testing or establishing the presence of any environmental contaminant, and recommend that you schedule whatever specialist inspections that may deem prudent within the contingency period.

CRACKS AND WINDOWS Unsealed cracks around windows, doors, and thresholds can permit moisture intrusion, which is the principal cause of the deterioration of any surface. Unfortunately, the evidence of such intrusion may only be obvious when it is raining. We have discovered leaking windows while it was raining that may not

have been apparent otherwise. Regardless, there are many styles of windows but only two basic types, single and dual-glazed. Dual-glazed windows are superior because they provide a thermal as well as an acoustical barrier. However, the hermetic seals on these windows can fail at any time, and cause condensation to form between the panes. Many environmental factors come into play when and if hermetic seals have failed and Unfortunately, it is not always apparent, which is why we disclaim an evaluation of hermetic seals or unnoticed fogging glass. Nevertheless, in accordance with industry standards, we test a representative number of unobstructed windows and ensure that at least one window in every bedroom is operable and facilitates an emergency exit.

FURTHERMORE, you are advised to seek two professional opinions and acquire estimates of repair as to any defects, comments, improvements or recommendations mentioned in this report. We recommend that the professional making any repairs inspect the property further in order to discover and repair related problems that were not identified in the report. We recommend that all repairs, corrections, and cost estimates be completed and documented prior to closing or purchasing the property. Feel free to hire other professionals to inspect the property prior to closing. Including HVAC professionals, electricians, engineers, window professionals roofers, pool etc etc.

All conditions are reported as they existed at the time of the inspection. The information contained in this report may be unreliable beyond the date of the inspection due to changing conditions.

General Comments: Renovations & Additions

NOTE: This property has recently been remodeled, upgraded and/or painted. It is possible for recent work, within the interior or exterior of this house, to hide pre-existing conditions that may have been otherwise noticeable at the time of inspection.

2: INSPECTION DETAILS

Information

General: In Attendance

Client, Client's Agent Associate

General: Occupancy

Vacant, Unfurnished

General: Style

Single level

General: Type of Building

Single family

General: Weather Conditions

Clear, Dry and hot 100+

General: Utilities

Utilities on

3: KITCHEN APPLIANCES

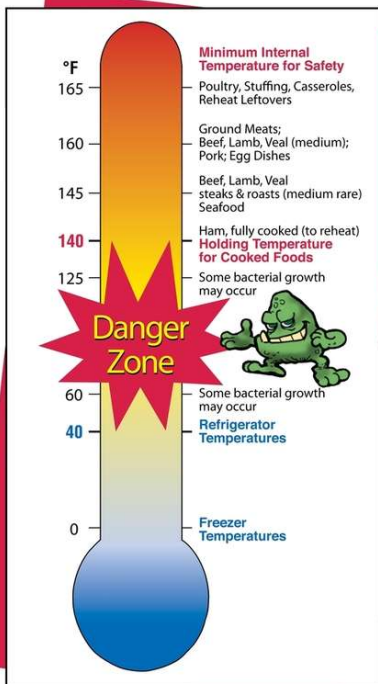
Information

Refrigerator: Picture of Fridge



Refrigerator: Fridge-Acceptable

The fridge was functional and achieved acceptable fridge and freezer temperatures. This is a limited courtesy fridge inspection you should ask the sellers about its full operation. You should make sure to set your fridge at appropriate temps.



Safe Fridge Temps

Refrigerator: Ice-Acceptable

The Ice was tested on the fridge and was functional. Reminder we do not test water quality.

Refrigerator: Water-Acceptable

The water was tested on the fridge and was functional. Reminder we do not test water quality.

Built in Microwave: Picture of Microwave



Built in Microwave: Microwave-Acceptable

The built in microwave was functional during the inspection, but I did not test it for leakage, which would require a specialized instrument. However, their power diminishes over time, and the specific measurement of the microwaves, as well as their containment within the unit, requires specialized instruments, which is beyond the scope of our service.

Dishwasher: Picture of Dishwasher



Range: Picture of Range



Range: Range type
Electric range

Recommendations

3.3.1 Dishwasher

NO HIGH LOOP

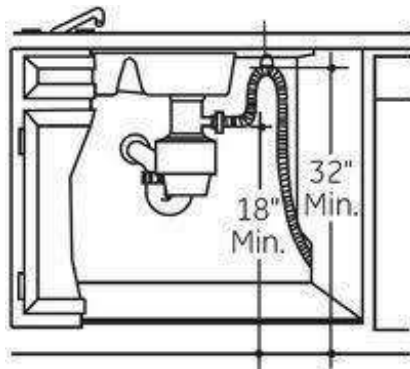
KITCHEN

Dishwasher drain pipe was installed without a "high loop" to prevent cross-contamination. Recommend a handyman or DIY to repair. This will also prevent smells from accumulating from a low spot.

Recommendation

Contact a handyman or DIY project





3.4.1 Garbage Disposal

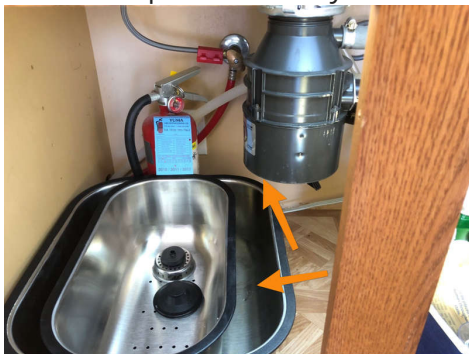
LEAKING GARBAGE DISPOSAL

KITCHEN

The garbage disposal is leaking or has been in the past and requires repair or replacement as necessary from a qualified technician.

Recommendation

Contact a qualified handyman.



3.4.2 Garbage Disposal

FROZEN

KITCHEN

The kitchen garbage disposal is frozen or does not work properly, most likely from inactivity. Garbage disposals usually come with a tool to free them. However, it is not uncommon for them to continue to freeze up, in which case they must be replaced.

Recommendation

Contact a qualified handyman.



3.5.1 Range

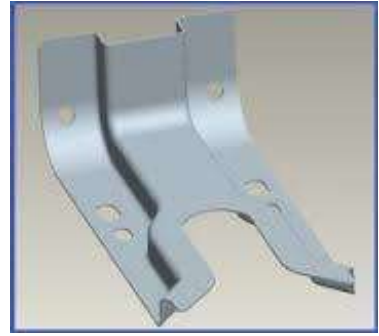
NO ANTI TIP DEVICE



The Anti Tip Device is missing from the range and one should be installed for safety.

Recommendation

Contact a qualified handyman.



Anti Tip Device

4: KITCHEN

Information

Picture of kitchen: Kitchen-PICTURE



Sink and Faucet: Sink and Faucet-Acceptable

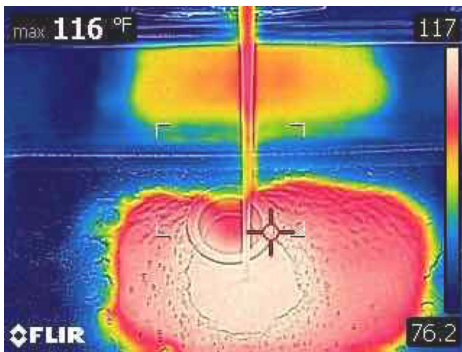
The kitchen sink and faucet are functional.

Sink and Faucet: Sink is acceptable

Sink was in acceptable condition

Sink and Faucet: Water temp

The U.S. Consumer Product Safety Commission (CPSC) urges all users to keep their water heater temps to 120 degrees Fahrenheit for scalding and bacteria prevention reasons.



TEMP (°F)	Approx TIME for 1st Deg Burn	Approx TIME for 3rd Deg Burn
100	Safe for bathing	Safe for bathing
120	8 min	10 min
125	2 min	4 min
130	17 sec	30 sec
140	3 sec	5 sec
155	Instant	1 sec
160	Instant	0.5 sec
180	Instant	Instant

Safe water Temperatures

Sink and Faucet: Tested Water Temp

116 Degrees

Trap and Drain: Acceptable

The kitchen trap and drain are functional. No leaking was noted.

Valves and Connectors: Acceptable

The kitchen valves and connectors below the sink appear functional. Valves were not turned, however no leaking was noted at the time of inspection. Valves are not in daily use and will inevitably become stiff or frozen.

Exhaust Fan or Downdraft:

Exhaust Fan-Acceptable

The exhaust fan and or downdraft were in acceptable condition

Flooring: Acceptable

The floor is in satisfactory condition and has no significant visible defects.

Walls and Ceiling: Acceptable

The walls and ceiling are textured drywall and in acceptable condition.

Windows: Type of windows

Double pane

Windows: Windows-Acceptable

The window(s) were functional.

Windows: Window Screens-Acceptable

There were window screens present and they appear to be in acceptable condition

Pantry Doors: Acceptable

The pantry door was acceptable at the time of inspection

Cabinets: Acceptable

The cabinets are functional, and do not have any significant damage.

Ceiling Fan: Acceptable

The ceiling fan works on demand.

Lights, Wall Switches: Ceiling lights-Acceptable

The ceiling lights are functional.

Lights, Wall Switches: Cooktop light-Acceptable

Lights, Wall Switches: Switches-Acceptable

The wall switches are functional.

Outlets, Electrical: Has GFCI protection

The kitchen has modern GFCI protection that was functional during the home inspection.

Limitations

Ro System/Filtration System

R/O NOT PRESENT

There was not a R/O system Present

Recommendations

4.2.1 Countertop

TYPICAL WEAR AND TEAR

KITCHEN

The kitchen countertop showed typical wear and tear, or cosmetic damage that you should view for yourself.

Recommendation

Recommend monitoring.



5: LAUNDRY

Information

Washer & Dryer: Equipment photos



Washer & Dryer: Washer acceptable

At the time of inspection the washer was working. It was ran momentarily on one cycle and appeared to be working correctly. This is a limited washer inspection and you should ask the seller about all the appliances and ask about any issues.

Washer & Dryer: Dryer acceptable

The dryer was briefly tested and produced heat and appeared to be working on at least one cycle. Efficiency or capability was not tested. This is a limited Dryer inspection and you should ask the seller about all the appliances.

Washer & Dryer: Dryer power source

220 Electric

Doors: Door-Acceptable

The door is functional.

Flooring: Floor-Acceptable

The floor is in satisfactory condition and has no significant visible defects.

Walls & Ceiling: Walls-Acceptable

The walls and ceiling are in acceptable condition.

Windows: Type of windows

None

Cabinets and Shelves: Cabinets-Acceptable

The cabinets are functional.

Exhaust Fan: Exhaust Fan-Acceptable

The laundry exhaust fan was functional.

Trap & Drain: Washer Drain Line-Acceptable

The washing machine drain line appears satisfactory but is not visible because it's behind or within the wall.

Gas Valve & Connector: No gas hookup

FYI there was not a optional gas hookup

220 Volt Receptacle: 220 In-Use

The 220 volt receptacle for the dryer is in use and power supply was verified at the outlet. I recommend you should evaluate this outlet style to be sure the dryer you plan on using here is compatible with it.

Lights, Wall Switches: Lights-Acceptable

The lights were functional.

Lights, Wall Switches: Wall Switches-Acceptable

The wall switches were functional.

Outlets, Electrical: GFCI Reset location

No GFCI
If GFCI's present unless noted were functional at the time of inspection

Outlets, Electrical: Outlets ok no gfci

The outlets are acceptable but not on a gfci.

HVAC: Heating/Cooling Source Present

Yes

Limitations

Ceiling Fans

NO FAN PRESENT

LAUNDRY ROOM

There was not a fan present

Closets

NOT PRESENT

Sink

NO SINK PRESENT

LAUNDRY ROOM

Gas Valve & Connector

NOT PRESENT

Recommendations

5.11.1 Valves & Connectors

CORROSION LEFT SHUT-OFF VALVE

LAUNDRY ROOM



Corrosion and/or mineral build-up was observed on the left shut-off valve . This corrosion or build-up may prevent the shut-off valve from working properly, especially if emergency shut-off is needed. I recommend a qualified, licensed plumber should evaluate and repair or replace this valve or connection as necessary.

Recommendation
Recommend monitoring.



5.15.1 Dryer Vent

SEPARATED BEHIND THE DRYER

LAUNDRY ROOM

The dryer vent is separated behind the dryer and should be hooked up before use.

Recommendation

Contact a qualified handyman.

 Maintenance Items



5.15.2 Dryer Vent

DRYER LINT IN THE ATTIC

LAUNDRY ROOM

There is a lot of dryer lint in the attic which can indicate a clogged or damaged dryer vent. I recommend further evaluation or service as necessary from a qualified technician.

Recommendation

Contact a qualified handyman.

 Recommendations



6: GARAGE(S)

Information

Picture and size of garage:

Picture and size of garage

Double Car Garage

The garage and its components were evaluated



Entry Door Into the House: Entry Door To House-Acceptable

The house entry door is solid core, or fire-rated, and self-closes in conformance with fire-safety regulations.

Garage Door & Hardware:

Vehicle Door-Acceptable

The sectional garage door and its hardware are functional.

Garage Door & Hardware: Seals-Acceptable

The garage door seals were in acceptable condition

Garage Door & Hardware: Rollers-Acceptable

The garage rollers were inspected and appear to be in acceptable condition

Garage Door & Hardware: Hinges- Acceptable

The garage door(s) hinges were in acceptable condition.

Automatic Opener: Garage Door Opener-Acceptable

The automatic garage door opener is acceptable

Automatic Opener: Safety lights-Acceptable

The garage door safety lights open the door when obstructed

Slab Floor: Visible Slab-Acceptable

The visible garage slab floor is in acceptable condition. Small cracks are common and result as a consequence of the curing process, seismic activity, common settling, or the presence expansive soils, but are not structurally threatening.

**Garage Cabinets: Shelves-Acceptable**

The shelves are in satisfactory condition.

Windows: Type of windows

No Windows

Firewall Separation: Firewall-Acceptable

The firewall separating the garage from the residence is functional.

Outlets, Electrical: GFCI reset Location

Garage

If GFCI's present unless noted were functional at the time of inspection

Outlets, Electrical: Garage gfci circuit -Acceptable

The garage was tested to be on a GFCI and was acceptable

Lights, Wall Switches: Acceptable

The ceiling lights are functional.

Lights, Wall Switches: Acceptable

The wall switches are functional.

Limitations

Ventilation Ports

NO GARAGE VENTILATION

There was no garage ventilation ports

Garage Side Door

NOT PRESENT

Sink and Faucet

NO GARAGE SINK

There was not a garage sink present.

Recommendations

6.6.1 Walls and Ceiling

**TYPICAL SETTLEMENT CRACKING
ON WALLS AND CEILINGS**

GARAGE

Observed typical settlement type cracking on walls and ceilings.

Recommendation

Recommend monitoring.



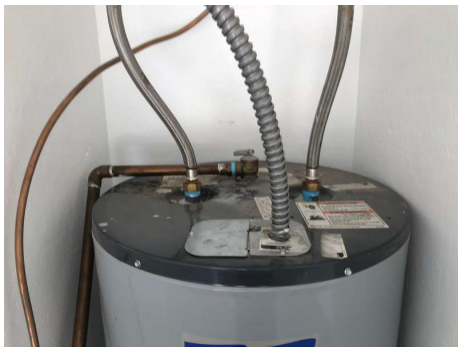
7: PLUMBING

Information

Hot Water System 1: Picture of unit and data plate



Hot Water System 1: Picture-Top of water Heater



Hot Water System 1: Manufacturer

American

I recommend flushing & servicing your water heater tank annually for optimal performance. Water temperature should be set to at least 120 degrees F to kill microbes and no higher than 130 degrees F to prevent scalding.

[Here is a nice maintenance guide from Lowe's to help.](#)

Hot Water System 1: Power Source/Type

Electric

Hot Water System 1: Year

2011

Hot Water System 1: Capacity

50

Hot Water System 1: Location

Garage

Hot Water System 1: Water Connections-Acceptable

The water plumbing connections at the water heater appear acceptable.

Hot Water System 1: Electrical Connections-Acceptable

The electrical connection to the water heater is functional.

Hot Water System 1: Water Shut-Off Valve-Acceptable

The shut-off valve appears functional but was not tested.

Hot Water System 1: Relief Valve & Discharge Pipe-Acceptable

The water heater is equipped with a mandated pressure-temperature relief valve and pipe.

Hot Water System 1: Water heater condition

needs work

Water Softener: Picture Of Soft Water System



Water Softener: Water softener inspected For leaks only

We inspected the soft water system for leaks only you should ask the sellers for documentation and its functionality.

Main Water Shut-Off, Distribution & Supply: Water Meter Picture and Video Upon-Arrival

Further Recommendations listed

Main Water Shut-Off, Distribution & Supply: Water Meter Picture and Video-Departchure

Further Recommendations listed

Main Water Shut-Off, Distribution & Supply: Water Meter Location/Shutoff

Street

Main Water Shut-Off, Distribution & Supply: House Water Shut off Location

Right side

Main Water Shut-Off, Distribution & Supply: Water Supply Material To House

Copper

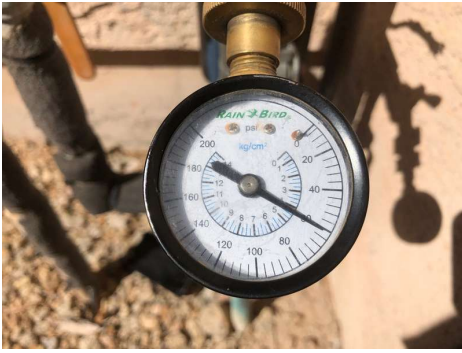
Main Water Shut-Off, Distribution & Supply: Water Distribution Material

Copper

A representative amount of the plumbing distribution system was observed and found to be in good repair.

Main Water Shut-Off, Distribution & Supply: House Pressure PICTURE-Acceptable

The pressure at a hose bib was within industry standards, between 40 and 80 and a regulator is not required on the plumbing system.



Main Water Shut-Off, Distribution & Supply: House Pressure Regulators

Does not have a regulator

Drain, Waste, & Vent Systems: Main drain pipes-Acceptable

Based on industry recommended water tests, the main drainpipes are functional and acceptable at this time and functional drainage was noted. However, only a video-scan of the main drainpipe could confirm its actual condition which is beyond the scope of a general home inspection. Visual capillary drains mentioned in kitchens, bathrooms etc.

Drain, Waste, & Vent Systems: Picture of clean outs



Drain, Waste, & Vent Systems: Clean Out Location

Front

Drain, Waste, & Vent Systems: Waste pipe Material

ABS

Irrigation: General Irrigation

Irrigation systems are beyond the scope of a home inspection, however, we check these as a courtesy only and disclaim any future issues that for obvious reasons and issues can arise at any time. There are a wide variety of irrigation components, such as pipes that could include old galvanized ones, more dependable copper ones, and modern polyvinyl ones that are commonly referred to as PVC. The quality can range and it is not uncommon to find a mixture of them. To complicate matters, significant portions of these pipes cannot be examined because they are buried. Therefore, we identify a system based on what type of pipe that can be seen. This inspection only includes the visible portions of the system, and we do not test each component, nor search below vegetation for any concealed hose bibs, actuators, risers, or drip heads. Because the actuators are under pressure, we look for any evidence of damage or leakage but recommend that you have the sellers demonstrate any automatic sprinkler system before the close of escrow and indicate any seasonal changes that they may make to the program or changes since the inspections during the final walkthrough. Further review from a qualified landscape professional may be required and is recommended for further review before the close of escrow. If tested at the timer we do not lift irrigation box lids. We typically run each zone for less than 2 minutes.

Irrigation: Irrigation type, How Tested

Tested at Timer, Drip System

Hose Bibs: Hose bibs Functional

The hose bibs that were found were functional.

Recommendations

7.1.1 Hot Water System 1



Maintenance Items

NO DRAIN PAN OR PIPE

The water heater is not equipped with a drain pan and a discharge pipe, which is designed to prevent water damage from a leak. Nevertheless, the water heater should be periodically monitored for any signs of a leak we recommend having one installed if feasible when the water heater is replaced.

Recommendation

Contact a qualified professional.



7.1.2 Hot Water System 1



Recommendations

WATER STAINS, RUST-LEAKAGE

Water stains, or rust were observed beneath water heater, indicating a past or present leak. Recommend further evaluation and repair or replacement by a qualified plumber.

Recommendation

Contact a qualified plumbing contractor.



7.3.1 Main Water Shut-Off, Distribution & Supply



Recommendations

WATER METER BOX LOCKED

The water meter box appears locked and we were unable to view the water meter. Recommend the water meter be inspected when access is available.

Recommendation

Contact a qualified professional.



7.5.1 Irrigation



Maintenance Items

MISSING DRIP HEADS

FRONT

There are missing drip heads or cracked drip lines on the irrigation system that need service or replacement. They are currently spraying uncontrolled in the yard when the system is turned on.

Recommendation

Contact a handyman or DIY project



7.6.1 Hose Bibs

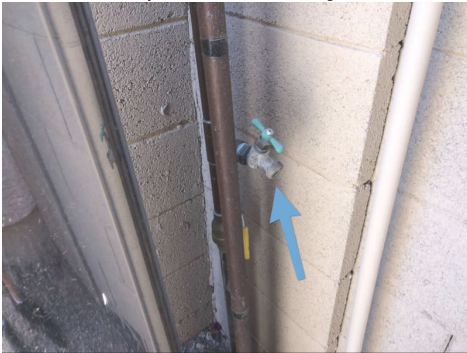
NO ANTI-SIPHON VALVES

SOUTHWEST AT WATER SOFTENER

The hose bibs do not include anti-siphon valves. These valves are relatively inexpensive and are required by current standards. However, I may not have located and tested every hose bib on the property.

Recommendation

Contact a qualified handyman.



Anti Siphon

8: FOUNDATION, CRAWLSPACE, STRUCTURE & BASEMENTS

Information

Various Hard Surfaces: Hard visible surfaces acceptable

The visible portions of the hard surfaces are in acceptable condition.

Foundation / Stem walls: Inspection Method

Outside along wall

Foundation / Stem walls: Material/Type

Post-Tension

Floor Structure: Identification of Floor Structure

Post- Tension

Floor Structure: Floor Structures-Acceptable

Where visible the floor structure(s) were acceptable

Wall Structure: Identification of Wall Structure

The walls are conventionally framed with wooden studs

Wall Structure: Wall Structure-Acceptable

The wall structure where visible was in satisfactory condition.

Roof / Ceiling Structure: Roof Ceiling Structure

The roof structure and components consist of a wood truss type system that should conform to the standards of the year it was built

Roof / Ceiling Structure: Roof/Ceiling- acceptable

The roof/ceiling structure was in acceptable condition

Slab Floor (First Floor): General Comments

This residence has a slab foundation. Such foundations vary considerably from older ones that have no moisture barrier under them and no reinforcing steel within them to newer ones that have both. Our inspection of slab foundations conforms to industry standards, which is that of a generalist and not a specialist. We check the visible portion of the stem walls on the outside for any evidence of significant cracks or structural deformation, but we do not move furniture or lift carpeting and padding to look for cracks or moisture penetration, and we do not use any of the specialized devices that are used to establish relative elevations and confirm differential movement. Significantly, many slabs are built or move out of level, but the average person may not become aware of this until there is a difference of more than one inch in twenty feet, which most authorities regard as being tolerable. Many slabs are found to contain cracks when the carpet and padding are removed, including some that contour the edge and can be quite wide. They typically result from shrinkage and usually have little structural significance. However, there is no absolute standard for evaluating cracks, and those that are less than 1/4" and which exhibit no significant vertical or horizontal displacement are generally not regarded as being significant. Although they typically do result from common shrinkage, they can also be caused by a deficient mixture of concrete, deterioration through time, seismic activity, adverse soil conditions, and poor drainage, and if they are not sealed they can allow moisture to enter a residence, and particularly if the residence is surcharged by a hill or even a slope, or if downspouts discharge adjacent to the slab. However, in the absence of any major defects, we may not recommend that you consult with a foundation contractor, a structural engineer, or a geologist, but this should not deter you from seeking the opinion of any such expert.

Slab Floor (First Floor): Method of Evaluation

The slab foundation was evaluated on the interior and exterior by walking through-out the house and examining the exterior stem walls. Most of the area was not visible.

Slab Floor (First Floor): Visible Slab Floor-Acceptable

The visible portions of the slab floor appears to be in acceptable condition

Recommendations

8.2.1 Foundation / Stem walls

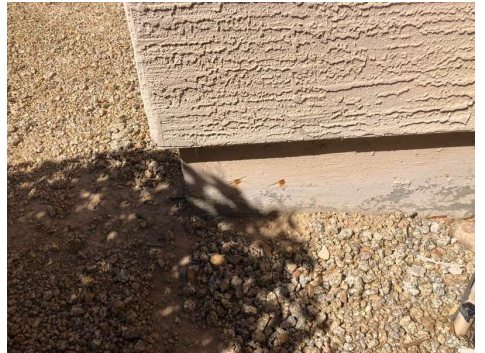


EXPOSED METAL

The exposed metal at one or more location(s) around the stemwall should be covered/sealed to prevent corrosion and deterioration.

Recommendation

Contact a qualified professional.



9: MAIN ELECTRICAL PANEL

Information

Service Entrance: Main Lines

Underground

Service Entrance: Main Lines Acceptable

The electrical service entrances are acceptable

Panel Size & Location: Picture of panel



Panel Size & Location: Panel Amps, Location

200 AMP, Left Side

Panel Size & Location: Panel Manufacturer

Square D

Panel Size & Location: Earth Ground

The panel is grounded to a water pipe at the main hose bib.

The main panel grounding was observed and found to be in good repair and of adequate function at the time of the inspection.

Panel Cover Observations: Exterior-Acceptable

The exterior panel cover is in acceptable condition.

Panel Cover Observations: Interior-Acceptable

The interior panel cover is in acceptable condition.

Circuit Breakers: Circuit Breakers-Acceptable

There are no visible deficiencies with the circuit breakers.

Circuit Breakers: Includes arc-faults

The system does include arc-fault circuit interrupters that are mandated by current standards. An AFCI is an electrical safety device installed in new home bedroom circuits, in some jurisdictions, for construction permitted after January 1, 2002. The AFCI's purpose is to prevent fires, which may occur due to faulty electrical appliances connected to a bedroom circuit.

Wiring Observations: Picture of wiring.



Wiring Observations: Electrical Service Conductors

Copper, 120/240 volt

**Wiring Observations: Wiring-
Acceptable**

The visible portions of the wiring have no deficiencies.

**Wiring Observations: Romex
wiring**

The residence is wired with a modern vinyl conduit known as Romex.

**Main Panel Observations:
Acceptable**

The panel and its components have no visible deficiencies.

10: EXTERIOR

Information

General Comments: Exterior comments

It is important to maintain a property, including painting or sealing walkways, decks, and other hard surfaces, and it is particularly important to keep the house walls sealed, which provide the only barrier against deterioration. Unsealed cracks around windows, doors, and thresholds can permit moisture intrusion, which is the principle cause of the deterioration of any surface. Unfortunately, the evidence of such intrusion may only be obvious when it is raining. We have discovered leaking windows while it was raining that may not have been apparent otherwise. Regardless, there are many styles of windows but only two basic types, single and dual-glazed. Dual-glazed windows are superior because they provide a thermal as well as an acoustical barrier. However, the hermetic seals on these windows can fail at any time, and cause condensation to form between the panes. Unfortunately, this is not always apparent, which is why we disclaim an evaluation of hermetic seals. Nevertheless, in accordance with industry standards, we test a representative number of unobstructed windows and ensure that at least one unobstructed window in every bedroom is operable and facilitates an emergency exit. Just a reminder we unless noted we did not test exterior water features, Docks, low voltage systems, including garage door keypads, Malibu lights, Further evaluation of these systems are recommended if you are concerned.

House Wall Finish: House wall

Type

Stucco

Landscaping Observations: Acceptable

The property existing landscaping appears to be in satisfactory condition. However, you may wish to have it evaluated by a qualified landscape company for more information.

Grading & Drainage: General Grading Comments

Water can be destructive and foster conditions that are deleterious to health. For this reason, the ideal property will have soils that slope away from the residence and the interior floors will be several inches higher than the exterior grade. Also, the residence will have roof gutters and downspouts that discharge into area drains with catch basins that carry water away to hard surfaces. However, we cannot guarantee the condition of any subterranean drainage system, but if a property does not meet this ideal, or if any portion of the interior floor is below the exterior grade, we cannot endorse it and recommend that you consult with a grading and drainage contractor, even though there may not be any evidence of moisture intrusion. The sellers or occupants will obviously have a more intimate knowledge of the site than we could possibly hope to have during our limited visit, however we have confirmed moisture intrusion in residences when it was raining that would not have been apparent otherwise. Also, in conjunction with the cellulose material found in most modern homes, moisture can facilitate the growth of biological organisms that can compromise building materials and produce mold-like substances that can have an adverse affect on health.

Grading & Drainage: Interior-Exterior Elevations

There is an acceptable difference in elevation between the exterior grade and the interior floors that should ensure that moisture intrusion would not threaten the living space, but of course I cannot guarantee that.

Columns/Supports: Front

Column, Support Type

None

Columns/Supports: Rear

Column, Support Type

Metal

Columns/Supports: Acceptable

The rear columns or supports were in acceptable condition

Outlets, Electrical: GFCI reset location

Garage

If GFCI's present unless noted were functional at the time of inspection

Outlets, Electrical: Outlets functional

The exterior outlets were functional.

Doorbell: Acceptable

The doorbell is functional and works on demand.

Driveways: Acceptable

The driveway is in acceptable condition.

Walkways: Acceptable

The walkways are in acceptable condition.

Fences & Gates: Fences-Acceptable

The fences are were in acceptable condition

Fences & Gates: Gates in acceptable condition

The gates were in acceptable condition

Patio: Acceptable

The patio covers were in acceptable condition.

Exterior Doors: Front door Acceptable

The front door is in acceptable condition with door sweep and weather stripping

Exterior Doors: Sliding glass door(s) is dual pane glass-Acceptable

The sliding glass door is dual pane glass, tempered, operates smoothly and in acceptable condition.

Recommendations

10.2.1 House Wall Finish



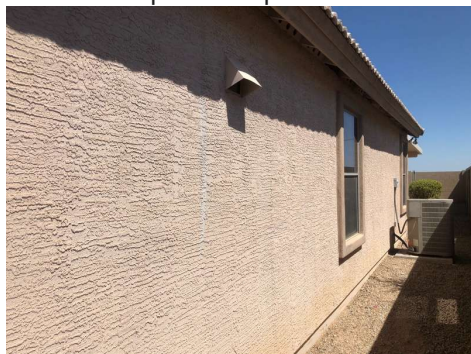
PAINT IS DISCOLORED

ALL SIDES

The exterior paint is discolored at some areas around the residence. A likely result of normal wearing and its age. Most homes need a new exterior coat of paint every 10-12 years. I recommend further evaluation from a painter.

Recommendation

Contact a qualified painter.



10.2.2 House Wall Finish



DAMAGED SIDING OR STUCCO

FRONT

Observed areas of damaged siding or stucco around the residence that should be further evaluated and repaired to help prevent moisture intrusion issues. These damaged areas can allow moisture to penetrate the walls if not properly repaired.

Recommendation

Contact a qualified handyman.



10.6.1 Lights

SOME EXTERIOR LIGHTS DID NOT WORK.

BACK

Observed exterior lights that did not work on demand and should be serviced as necessary or demonstrated. Maybe just bad bulbs?

Recommendation

Contact a qualified handyman.



10.12.1 Fascia & Trim

FASCIA AND TRIM NEED TYPICAL MAINTENANCE

Sections of the fascia and trim need maintenance type service, paint etc.

Recommendation

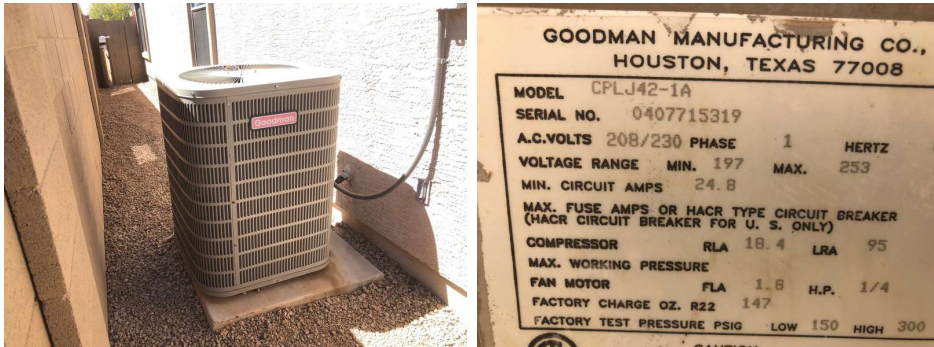
Contact a qualified handyman.



11: HEATING & COOLING

Information

Pictures: Equipment Photos and data plate(s)



Pictures: Disclaimer

The components of most heating and air-conditioning systems have a design-life ranging from ten to twenty years, but can fail prematurely with poor maintenance, which is why we apprise you of their age whenever possible. We test and evaluate them in accordance with the standards of practice, which means that we do not dismantle and inspect the concealed portions of evaporator and condensing coils, the heat exchanger, which is also known as the firebox, electronic air-cleaners, humidifiers, ducts and in-line duct-motors or dampers. We perform a conscientious evaluation of both systems, but we are not specialists. However, even the most modern heating systems can produce carbon monoxide, which in a sealed or poorly ventilated room can result in sickness, debilitating injury, and even death. Therefore, in accordance with the terms of our contract, it is essential that any recommendations that we make for service or a second opinion be scheduled before the close of escrow, or within the inspection period if possible, because a specialist could reveal additional defects or recommend further upgrades that could affect your evaluation of the property, and our service does not include any form of warranty or guarantee. Having the heating and cooling system fully evaluated by a qualified HVAC technician before the close of escrow and at least annually is recommended, regardless of its condition, because we rely heavily on these systems during the warmer months and summer months in Arizona.

Pictures: Picture of Air handler and components

Picture of air handler



Differential Temperature Readings: Heat pump not tested due above 70' to ambient temps

The heat pump was not tested in the heat mode due to high ambient temps. These components work similarly in the air conditioning mode. It was only tested in that mode. But should also work in heat mode. You may want to contact an HVAC professional for more information

Make, Type, Location, Year, Tonnage: Type and Location

Heat Pump, Split System, Air Handler in Attic, Electric Cooling

Make, Type, Location, Year, Tonnage: HVAC - Brands

Goodman

Make, Type, Location, Year, Tonnage: Total Tonnage (of combined units or single)

3.5 Tons 1750sq'

General rules for HVAC square footages check with an HVAC for specific applications per home. Some homes may be newer or deemed high efficiency and have smaller units.

Make, Type, Location, Year, Tonnage: Year

2004

Make, Type, Location, Year, Tonnage: Number of Units

1

Age Observations: Functional 3rd trimester of design 14-19 years of age

The HVAC system is functional and in the 3rd trimester of its design life and will need to be more closely monitored, serviced bi-annually, and should have its filter changed every two to three months. However, it would also be wise to keep a home protection policy current.

Condensing Coil (outside): Coil fins acceptable - picture

The fins were in acceptable condition.



Condensing Coil Disconnect: Acceptable

The electrical disconnect(s) at the condensing coils are present and appear functional; however they were not activated or used at the time of inspection.

Condensate Drainpipe: Drainpipe-Acceptable

The condensate drainpipe(s) discharges correctly outside the residence.

Air Handler/ (Inside): Air Handler-Acceptable

The air handler appears to be in acceptable condition

Air Handler/ (Inside): Air Handler Location

Attic

Return-Air Compartment: Acceptable

The return-air compartments are in acceptable condition. I recommend changing the filters every 30 - 60 days or as required by the manufacturer. Any interior or internal HVAC system filters were not evaluated as part of this inspection. This includes any filters located within the interior air handler or furnace unit where located in the attic, garage or a closet etc.

Thermostats: Acceptable

The thermostats were functional at the time of the inspection

Ducting: Ducts-Acceptable

The easily visible ducts have no visible deficiencies.

Registers: Acceptable

The air supply registers are reasonably clean and appear functional.

Limitations

Differential Temperature Readings

HEAT PUMP NOT TESTED DUE ABOVE 70' TO AMBIENT TEMPS

The heat pump was not tested due to high ambient temps. These components work similarly in the air conditioning mode. It was only tested in that mode. But should also work in heat mode. You may want to contact an HVAC professional for more information

Recommendations

11.2.1 Differential Temperature Readings

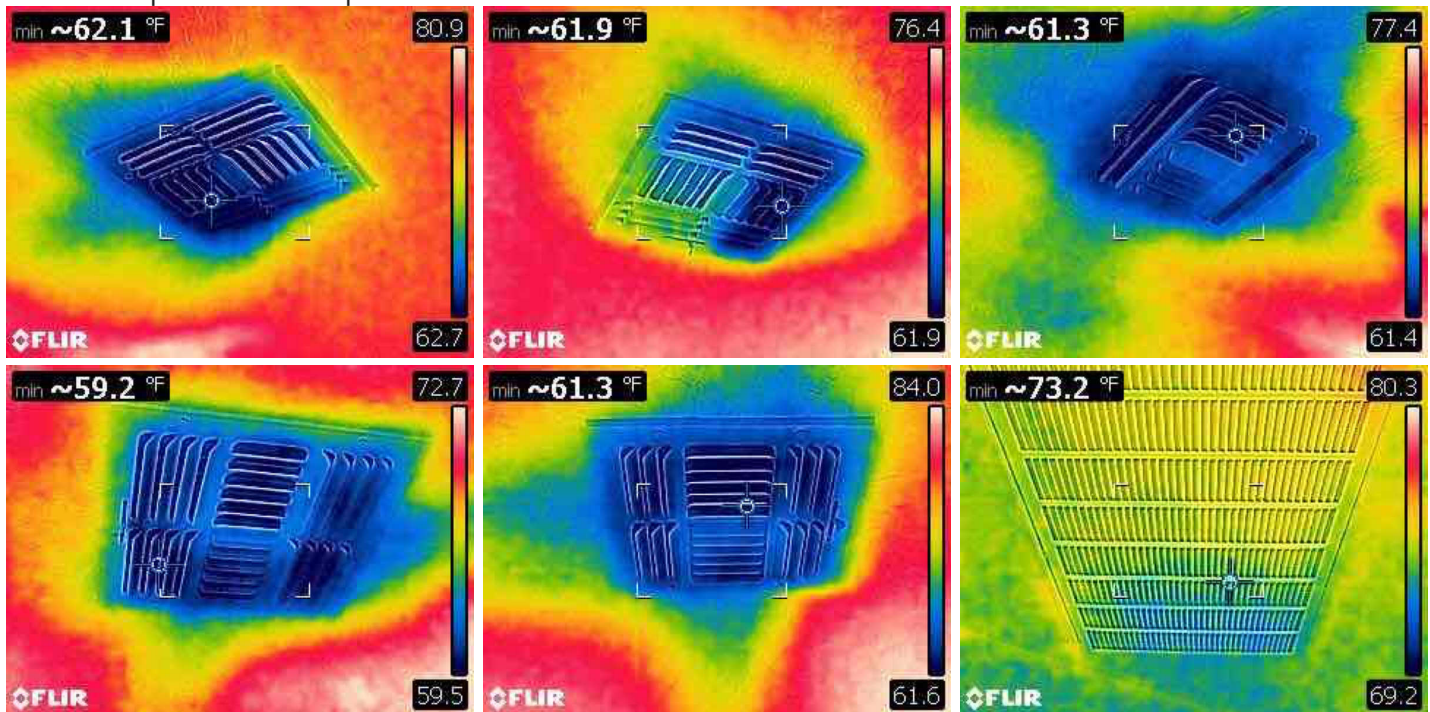


AC LOW DIFFERENTIAL TEMPERATURE SPLIT

The air-conditioning responded, but only achieved a low differential temperature split between the air entering the system and that coming out. This could indicate that the system is low on refrigerant, or that other service is necessary, and should be serviced by a qualified, licensed HVAC professional within the inspection period or before the close of escrow.

Recommendation

Contact a qualified HVAC professional.



11.5.1 Condensing Coil (outside)



VIBRATING COIL

The Coil is vibrating which can have an adverse effect on a HVAC unit. I recommend you have a HVAC technician check this issue out and the entire system for other issues before the end of escrow.

Recommendation

Contact a qualified HVAC professional.

11.5.2 Condensing Coil (outside)

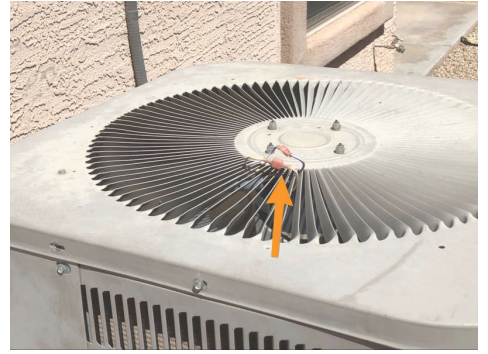


EXPOSED WIRING

The exposed wiring should be relocated for safety reasons.

Recommendation

Contact a qualified professional.



11.6.1 Refrigerant Lines

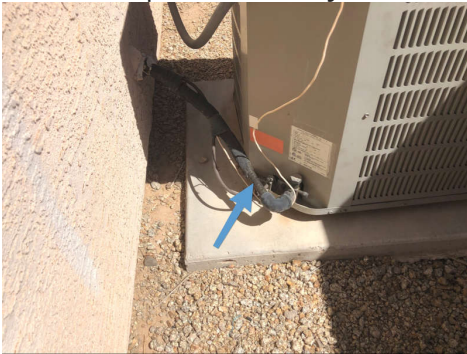
INSULATION MISSING

 Maintenance Items

Insulation is missing from the refrigerant lines at the condensing coil, which could help inhibit condensation to form and drip within the wall, hvac foam should be installed for that reason and for increased efficiency. These are easily found at the hardware store.

Recommendation

Contact a qualified handyman.



Add insulation to refrigerant lines

11.9.1 Drip Pan

RUST STAINING IN PAN

 Recommendations

The rust colored staining in the drain pan indicates a previous leak issue that may or may not have been corrected; most likely a clogged or blocked primary condensation drain line. I recommend further review from a qualified HVAC service to determine if this needs repair or not.

Recommendation

Contact a qualified HVAC professional.



12: ATTIC

Information

Attic Access Location: General Info

In accordance with our standards, we do not attempt to enter attics that have less than thirty-six inches of headroom, are restricted by ducts, or in which the insulation obscures the joists and thereby makes mobility hazardous, in which case we would inspect them as best we can from the access point. In regard to evaluating the type and amount of insulation on the attic floor, we use only generic terms and approximate measurements, and do not sample or test the material for specific identification. Also, we do not disturb or move any portion of it, and it may well and often does obscure water pipes, electrical conduits, junction boxes, exhaust fans, heating and cooling ducts and other components.

Attic Access Location: Attic

Access Location

Laundry Room

Method of Evaluation: 3 Pictures Of Attic



Method of Evaluation: Access

The attic was evaluated by direct access to easily accessible areas, and viewed from easy vantage points near the catwalk if it has one.

Framing: Factory-built truss system-Acceptable

The roof framing is in satisfactory condition. The roof framing consists of a factory- built wood truss system, comprised of components called chords, webs, and struts that are connected by metal gussets nailed in place. Each component of the truss is designed for a specific purpose, and cannot be removed or modified without compromising the integrity of the entire truss. The lowest component, which is called the chord and to which the ceiling is attached, can move by thermal expansion and contraction and cause creaking sounds, which are more pronounced in the mornings and evenings along with temperature changes. Such movement has no structural significance, but can result in small cracks or divots in the drywall or plaster.

Roof Decking: Type of Decking with Picture

OSB

Roof Decking: Decking- Acceptable

The viewable decking was in acceptable condition.

Exhaust Ducts: Acceptable

The visible portions of the exhaust ducts appear to be functional.

Electrical: Attic electrical-Acceptable

The attic electrical components that are easily visible and not covered by insulation appear to be in acceptable condition.

**Electrical: The attic lights-
Acceptable**

The attic lights work on demand at the attic switch.

Ventilation: Ventilation-Acceptable

Ventilation is provided by a combination soffit, gable or roof vents and should be adequate. However, contacting a qualified insulation contractor about having your attic ventilation upgraded could help lower energy costs by cooling down your attic during the warmer summer months.

Plumbing stacks: Acceptable

The plumbing stacks were in acceptable condition.

**Insulation: Insulation Type
Blown, Cellulose****Insulation: Acceptable With
Picture****Other Observations: OK.**

Insulation is acceptable



Limitations

Water Pipes**ATTIC WATER PIPES WERE NOT VISIBLE DURING THE INSPECTION**

Any attic water pipes were not visible during the inspection. They may be obscured or hidden from view behind insulation, framework, ductwork etc.

Vapor Retarder**NOT VIEWABLE**

We were not able to view the vapor retarder. It is most likely a class 3 for warmer climates underneath the exterior cladding

13: ROOF

Information

Method of Evaluation: 5 Pictures of roof



Method of Evaluation: Method of Evaluation

Walking on its surface

Types Of Roof(s) On Property:

Types of Roofs on Property

Concrete Tiles, Metal

Concrete Tile Roof: General Comments and Description

Concrete tile roofs are among the most expensive and durable of all roofs, and are warranted by the manufacturer to last for forty years or more, but are usually only guaranteed against leaks by the installer from three to five years. Like other pitched roofs, they are not designed to be waterproof, only water resistant, and are dependant on the integrity of the waterproof membrane beneath them, which cannot be seen without removing the tiles, but which can be split by movement, deteriorated through time, or by ultra-violet contamination.

Significantly, although there is some leeway in installation specifications, the type and quality of membranes that are installed can vary from one installer to another, and leaks do occur. The majority of leaks result when a roof has not been well maintained or kept clean, and we recommend servicing them annually.

Concrete Tile Roof: Overhangs acceptable

There was no visible moisture issues on the overhangs

Concrete Tile Roof: This inspection is not a guarantee against leaks

This inspection is not a guarantee against leaks. For a guarantee, you would need to have a roofing company perform a water-test and issue a roof certification.

Concrete Tile Roof: Felt underlayment comment

Felt underlayment lasts 15 to 30 years. If the home is more than 15 years old or there was any exposed underlayment consult a licensed roofer for further evaluation.

Concrete Tile Roof: Acceptable

The concrete tile roof covering is in acceptable condition, but this is not a guarantee against leaks. For a guarantee, you would need to have a roofing company perform a water-test and issue a roof certification. Further evaluation from a qualified roofer is still recommended for more information about your roof, including maintenance tips and advise.

Metal Roof: General Comments and Description

[back](#)

There are different types of metal roofs, but the most common ones consist of ribbed, interlocking panels, or tiles that have been coated with a mineral compound that is warranted for as long as fifty years. They tend to be maintenance-free, and many can be walked on, but some can be damaged by careless foot-traffic, and it is essential for service personnel to wear soft shoes and to tread directly in the pan and not across the tile. As with other pitched roofs, many metal roofs are dependant on the waterproof membrane that is concealed beneath them and cannot be examined, and this is why our service does not include a guarantee against leaks.

Metal Roof: Metal roof is in acceptable condition**General Observations: NONE**

The metal roof is in acceptable condition.

Flashings: Acceptable

The roof flashings are in acceptable condition where viewed. They appear to consist of metal flashing around roof penetrations and in valleys.

Flashings: Acceptable

The kick out flashings are in acceptable condition.

Gutters & Drainage: Acceptable

The gutters appear to be in acceptable condition. However, without water in them it is difficult to judge whether they are correctly pitched to direct water into the downspouts, but they should function as they were intended.

Plumbing stack: Acceptable

Limitations

Skylights

NOT PRESENT

14: GENERAL INTERIOR COMMENTS

Information

General: This property is vacant

This property is vacant. The inspector is unable to determine the period of time this house has been unoccupied. Major systems were reviewed during the home inspection. Plumbing related fixtures, appliances and piping systems were reviewed for appropriate function and leaks, as applicable, at visible areas. However, due to non-use of plumbing and other major systems for a period of time it is important that these systems be reviewed during your final walk-through prior to closing and closely monitored for a few months after occupancy for evidence of leaks and other problems. We also suggest monitoring visible areas of sub-flooring, under showers, toilets and tubs for wet conditions during this same period.

15: LIVING AREAS

Information

General: Disclaimer

Our inspection of living space includes the visually accessible areas of walls, floors, cabinets and closets, and includes the testing of a representative number of windows and doors, switches and outlets. However, we do not evaluate window treatments, or move furniture, lift carpets or rugs, empty closets or cabinets, and we do not comment on cosmetic deficiencies. We may not comment on the cracks that appear around windows and doors, or which follow the lines of framing members and the seams of drywall and plasterboard. These cracks are a consequence of movement, such as wood shrinkage, common settling, and seismic activity, and will often reappear if they are not correctly repaired. Such cracks can become the subject of disputes, and are therefore best evaluated by a specialist. Similarly, there are a number of environmental pollutants that we have already elaborated upon, the specific identification of which is beyond the scope of our service but which can become equally contentious. In addition, there are a host of lesser contaminants, such as that from moisture penetrating carpet-covered cracks in floor slabs, as well as odors from household pets and cigarette smoke that can permeate walls, carpets, heating and air conditioning ducts, and other porous surfaces, and which can be difficult to eradicate. However, inasmuch as the sense of smell adjusts rapidly, and the sensitivity to such odors is certainly not uniform, we recommend that you make this determination for yourself, and particularly if you or any member of your family suffers from allergies or asthma, and then schedule whatever remedial services may be deemed necessary before the close of escrow. The hermetic seals

Flooring: Flooring-Acceptable

The floor is in satisfactory condition and has no significant visible defects.

Walls and Ceiling: Walls and Ceiling- Acceptable

The walls and ceiling are textured drywall and in acceptable condition.

Windows: Type of windows

Double pane

Windows: Window(s)-Acceptable

The window(s) were functional.

Windows: Window Screens-Acceptable

There were window screens present and they appear to be in acceptable condition

Ceiling Fan: Acceptable

The ceiling fan(s) worked on demand.

Lights, Wall Switches: Ceiling lights-Acceptable

The ceiling lights are functional.

Lights, Wall Switches: Wall switches-Acceptable

The wall switches are functional.

Outlets, Electrical: Outlets-Acceptable

The outlets were functional and grounded

HVAC: Heating/Cooling Source Present

Yes

Limitations

Closet

NO CLOSETS

Smoke Detectors

NOT PRESENT

Not Present

16: HALLWAYS

Information

Flooring: Flooring-Acceptable

The floor is in satisfactory condition and has no significant visible defects.

Walls and Ceiling: Walls and Ceiling-Acceptable

The walls and ceiling are textured drywall and in acceptable condition.

Windows: Type of windows

No windows

Closet: Closet Doors-Acceptable

The door(s) are functional.

Closet: Closet is acceptable

The closet was inspected and appeared to be in acceptable condition

Lights, Wall Switches: Hallway lights-Acceptable

The hallway lights were functional.

Lights, Wall Switches: Wall switches-Acceptable

The wall switches are functional.

Outlets, Electrical: Outlet(s)-Acceptable

The outlets were functional and grounded

Limitations

Ceiling Fan

NOT PRESENT

Not Present

Recommendations

16.6.1 Smoke Detectors

SMOKE DETECTOR DID NOT RESPOND

HALLWAY

The smoke detector did not respond, and should be serviced.

Recommendation

Contact a qualified handyman.



Recommendations

17: BATHROOMS

Information

Doors: Door(s)-Acceptable

The door(s) are functional.

Flooring: Floor-Acceptable

The floor is in satisfactory condition and has no significant visible defects.

Walls and Ceiling: Walls and Ceiling-Acceptable

The walls and ceiling are textured drywall and in acceptable condition.

Windows: Type of windows

Double pane

Windows: Window Screens-Acceptable

There were window screens present and they appear to be in acceptable condition

Cabinets: Cabinet(s)-Acceptable

The cabinets are functional, and do not have any significant damage.

Sink and Faucet: Sinks-Acceptable

The sinks were functional.

Valves and Connectors: Valves and connectors-Acceptable

The valves and connectors below the sink appear functional. Valves were not turned, however no leaking was noted at the time of inspection. Valves are not in daily use and will inevitably become stiff or frozen.

Exhaust Fan: Exhaust Fan-Acceptable

The bathroom exhaust fan is functional and works on demand.

Toilet: Toilet-Acceptable

The toilets were functional, flushes properly and no leaking noted.

Heating and cooling:

Heating/Cooling Source Present
Yes

Lights, Wall Switches: Wall switches-Acceptable

The wall switches are functional.

Outlets, Electrical: Has GFCI protection

The bathrooms have modern GFCI protection that were functional during the home inspection.

Outlets, Electrical: Has GFCI Protection That Resets In The..

Hallway Bathroom

Has modern GFCI protection that were functional during the home inspection.

Limitations

Closet

NOT PRESENT

Recommendations

17.4.1 Windows

 Maintenance Items

THE SEALS ARE DROOPING

HALLWAY BATHROOM

A window(s) seals are drooping this is mostly cosmetic however we recommend that you have a professional check out all the window seals in the residence if you are concerned.

Recommendation

Contact a qualified window repair/installation contractor.



17.7.1 Countertop

 Maintenance Items

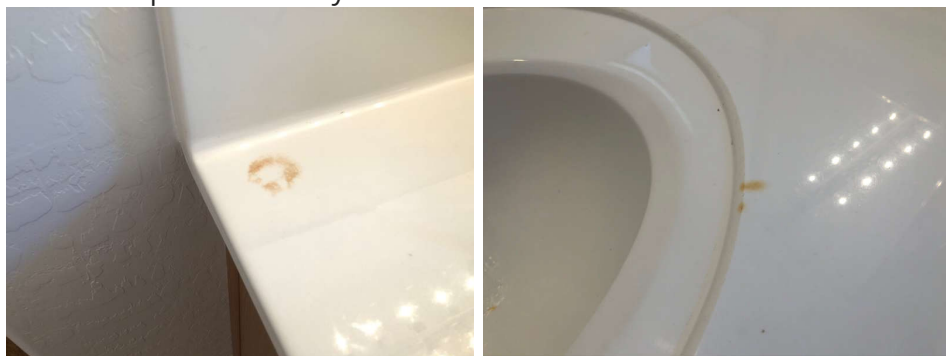
TYPICAL WEAR AND TEAR

MASTER BATHROOM

The countertop showed typical wear and tear that you should view for yourself

Recommendation

Contact a qualified handyman.



17.8.1 Trap and Drain

 Recommendations

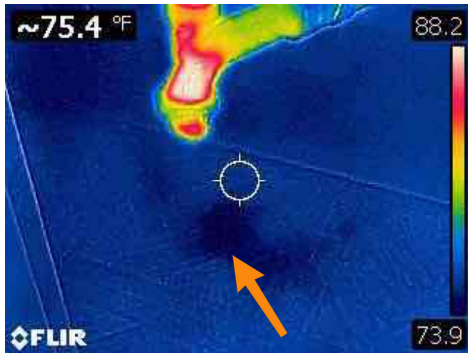
LEAK AT DRAIN LINE BELOW THE SINK

MASTER BATHROOM

There is a leak at the drain line below the sink which should be repaired as necessary.

Recommendation

Contact a qualified professional.



17.12.1 Tub-Shower

TUB STOPPER IS MISSING

HALLWAY BATHROOM, MASTER BATHROOM

The tub stopper is missing or incomplete and should be repaired or replaced.

Recommendation

Recommended DIY Project



17.12.2 Tub-Shower

SLOW DRAIN

HALLWAY BATHROOM

The tub/shower drains too slowly and should be serviced as necessary, because such blockages can progress beyond the drain trap and involve the main waste line. Maybe a build up of hair and soap or stopper?

Recommendation

Contact a qualified plumbing contractor.



17.15.1 Lights, Wall Switches

LIGHT FIXTURE IS LOOSE

MASTER BATHROOM

A light fixture is loose at the wall/ceiling and should be serviced.

Recommendation

Contact a qualified handyman.



18: BEDROOMS

Information

Doors: Door(s)-Acceptable

The door(s) are functional.

Flooring: Floor-Acceptable

The floor is in satisfactory condition and has no significant visible defects.

Walls and Ceiling: Walls, Ceilings-Acceptable

The walls and ceiling are textured drywall and in acceptable condition.

Windows: Type of windows

Double pane

Windows: Windows-Acceptable

The window(s) were functional.

Windows: Window Screens-Acceptable

There were window screens present and they appear to be in acceptable condition

Closet: Closet-Acceptable

The closet was inspected and appeared to be in acceptable condition

Ceiling Fan: Fan-Acceptable

The ceiling fan works on demand.

Lights, Wall Switches: Ceiling lights-Acceptable

The ceiling lights are functional.

Lights, Wall Switches: Wall switches-Acceptable

The wall switches are functional.

Outlets, Electrical: Outlets-Acceptable

The outlets were functional and grounded

HVAC: Heating/Cooling Source Present

Yes

Recommendations

18.5.1 Closet

DOORS DO NOT OPEN AND CLOSE EASILY

NORTHWEST BEDROOM

The closet doors do not open and close easily, and should be serviced.

Recommendation

Contact a qualified handyman.



18.7.1 Smoke Detectors

THE SMOKE DETECTORS MISSING

NORTHEAST BEDROOM, MASTER BEDROOM



The smoke detector is missing and should be replaced as a fire safety feature.

Recommendation

Contact a qualified handyman.



18.7.2 Smoke Detectors

SMOKE DETECTOR DID NOT ADEQUATELY RESPOND

NORTHWEST BEDROOM

The smoke detector did not adequately respond, and should be serviced.

Recommendation

Contact a qualified handyman.

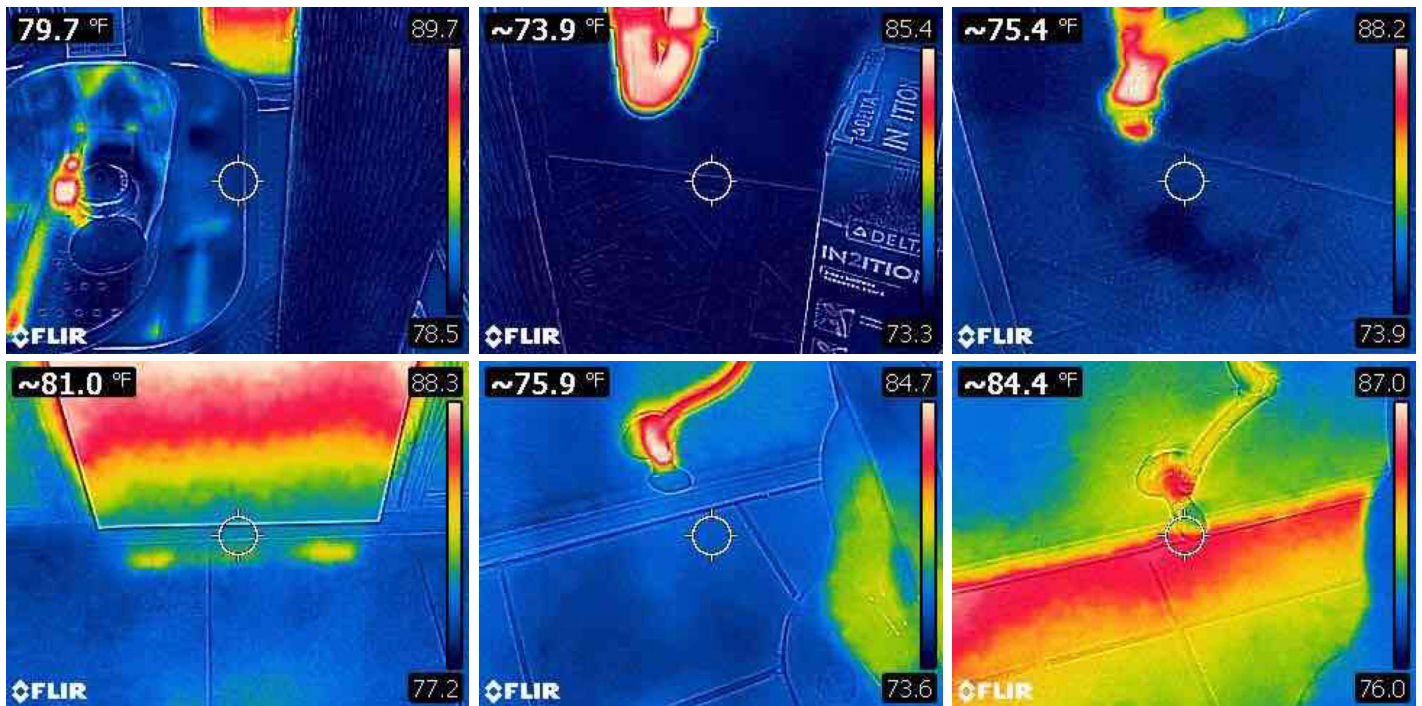


19: THERMAL IMAGING

Information

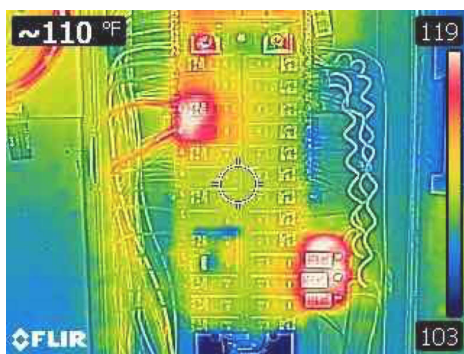
About Thermal Imaging: Disclaimer Courtesy

Thermal images included in this inspection report are provided as a courtesy, they are limited to certain portions of the home and should not be considered as part of a full-home thermal imaging inspection. The inspector chooses the portions of the home to be scanned or photographed and photographs are included in the report at the Inspector's sole discretion. Disclaimer: It is important to note that thermal imaging only reads temperature differences. It can not see through walls. If the surface is the same temperature the image will be one color. A leak can only be detected if the area is wet and a different temperature than the surface around it. Wet areas of the same surrounding areas can not be seen. Thermal Imaging does not guarantee to find every defect that may ever have existed or exist. It is a valuable tool that helps better the chances in finding important defects but not a guarantee.



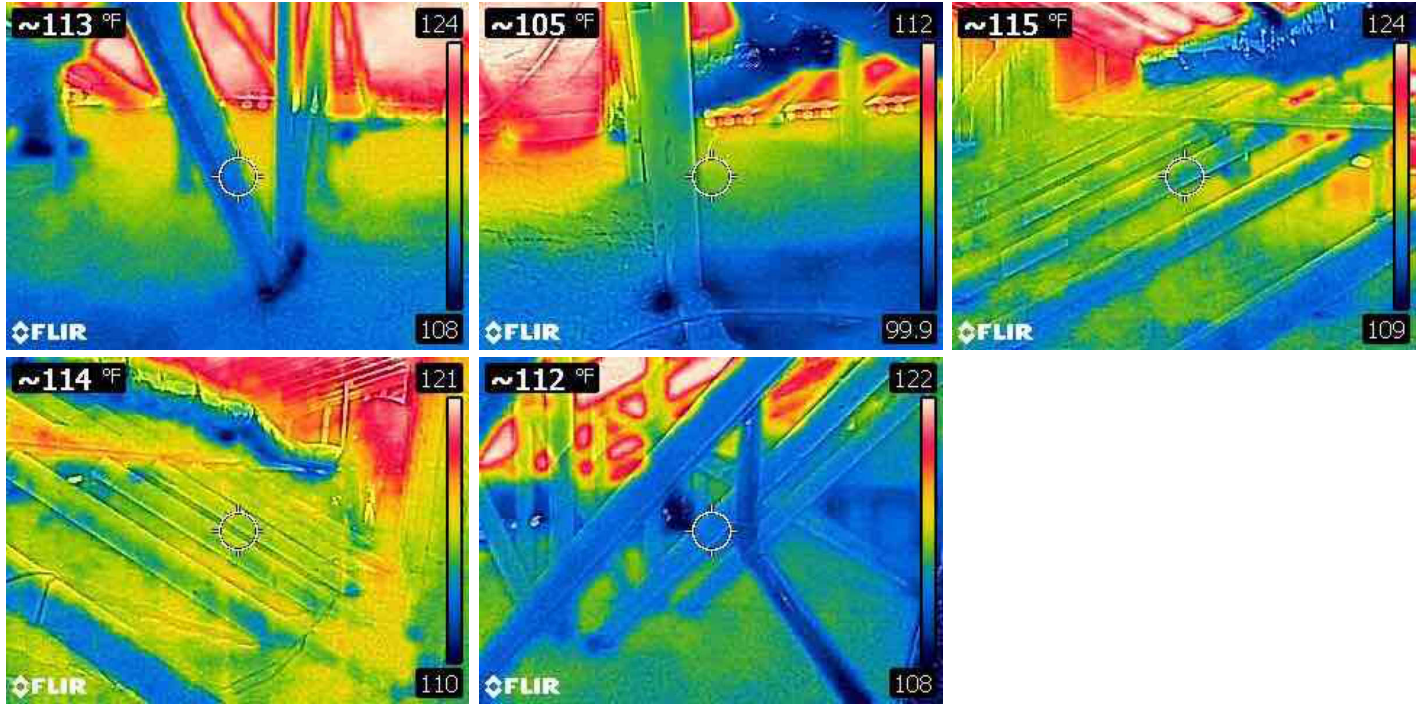
Electrical: Normal W AFCI

The thermal image of the electrical breakers and electrical wires within the panel are in use but within normal temperature range. The hot area are the Arc Fault breakers, which run hotter than the others but within normal specs.



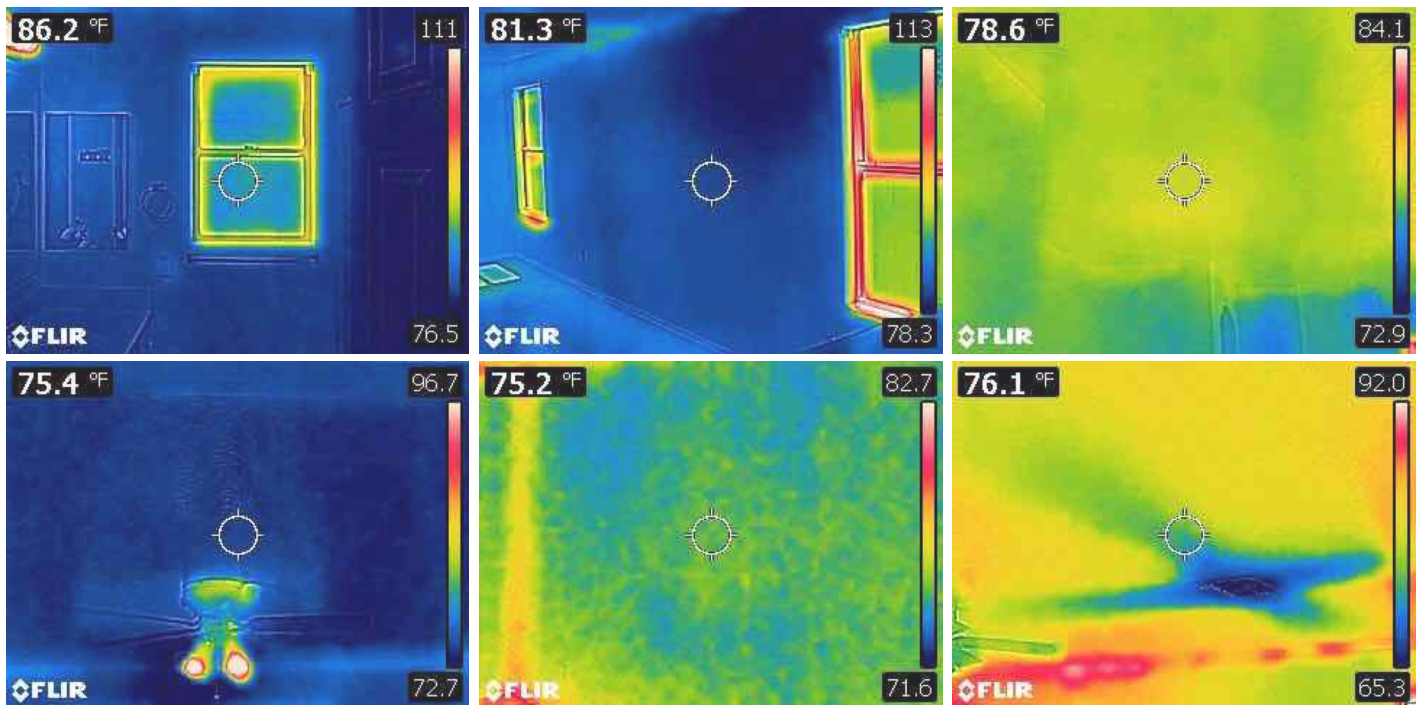
Attic: Attic ok

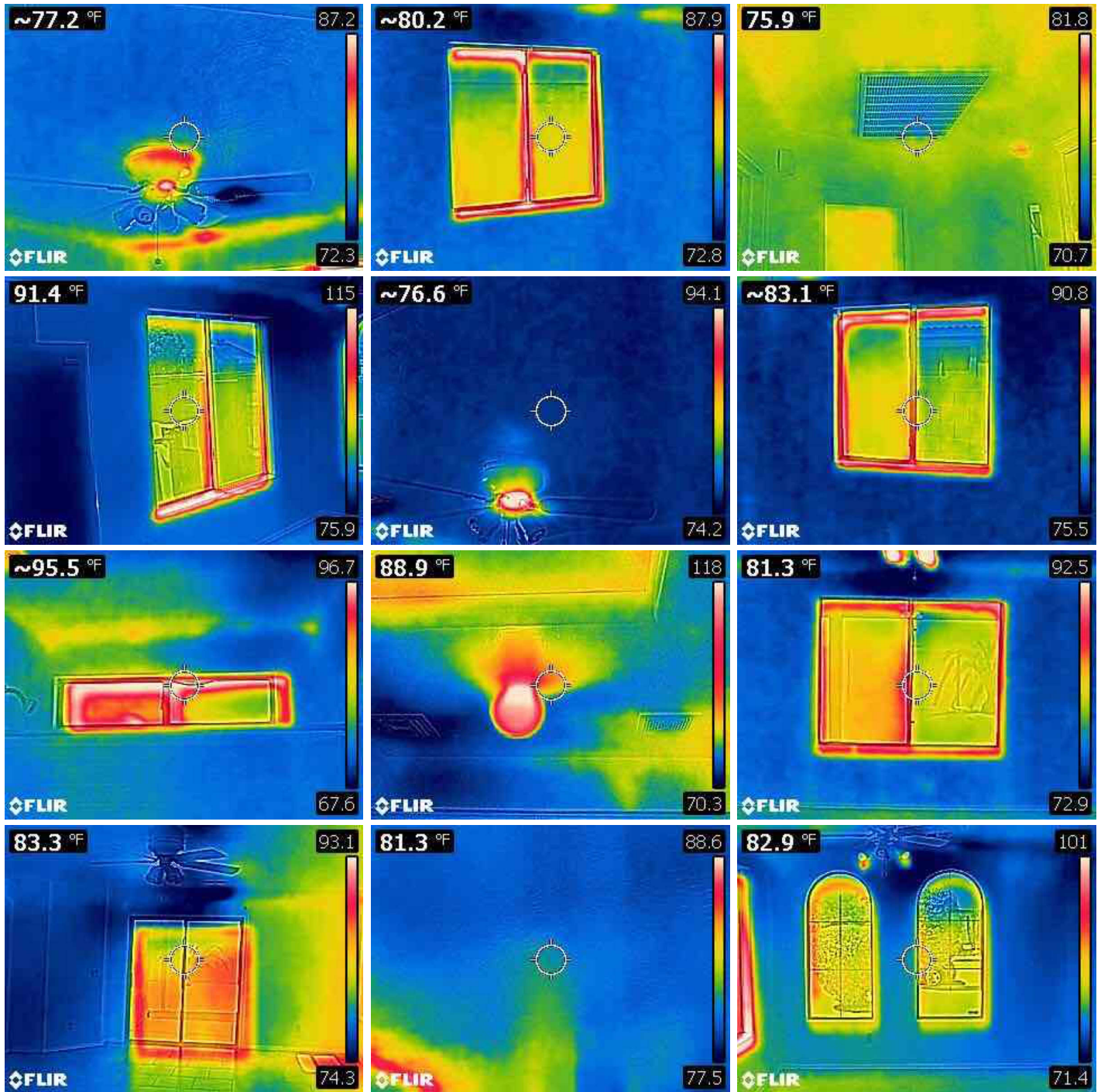
Components within the attic was scanned by thermal camera and they appear to all be working as normal, with no immediate signs of rodents, abnormal leaking HVAC pipes, wet spots etc.



Interior: Walls and other interior locations-ok

Various places of the walls were scanned with a thermal camera for plumbing leaks and voids in insulation. Unless noted there were no leaks found during the inspection or abnormal voids in the insulation





Water heater base: Acceptable

The base of the water was scanned with the thermal imager and no leaking was noted.



20: SETTING REASONABLE EXPECTATIONS

Information

Setting Reasonable Expectations

Setting Reasonable Expectations When Things Go Wrong.

There may come a time that you discover something wrong with the house, and you may be upset or disappointed with your home inspection.

Intermittent Or Concealed Problems

Some problems can only be discovered by living in a house. They cannot be discovered during the few hours of a home inspection. For example, some shower stalls leak when people are in the shower, but do not leak when you simply turn on the tap. Some roofs and basements only leak when specific conditions exist. Some problems will only be discovered when carpets were lifted, furniture is moved or finishes are removed.

No Clues

These problems may have existed at the time of the inspection but there were no clues as to their existence. Our inspections are based on the past performance of the house. If there are no clues of a past problem, it is unfair to assume we should foresee a future problem.

We Always Miss Some Minor Things

Some say we are inconsistent because our reports identify some minor problems but not others. The minor problems that are identified were discovered while looking for more significant problems. We note them simply as a courtesy. The intent of the inspection is not to find the \$200 problems; it is to find the \$2,000 problems. These are the things that affect people's decisions to purchase.

Contractors' Advice

The main source of dissatisfaction with home inspectors comes from comments made by contractors. Contractors' opinions often differ from ours. Don't be surprised when three roofers all say the roof needs replacement when we said that, with some minor repairs, the roof will last a few more years.

Last Man In Theory

While our advice represents the most prudent thing to do, many contractors are reluctant to undertake these repairs. This is because of the "Last Man In Theory". The contractor fears that if he is the last person to work on the roof, he will get blamed if the roof leaks, regardless of whether the roof leak is his fault or not. Consequently, he won't want to do a minor repair with high liability when he could re-roof the entire house for more money and reduce the likelihood of a callback. This is understandable.

Most Recent Advice Is Best

There is more to the "Last Man In Theory". It suggests that it is human nature for homeowners to believe the last bit of "expert" advice they receive, even if it is contrary to previous advice. As home inspectors, we unfortunately find ourselves in the position of "First Man In" and consequently it is our advice that is often disbelieved.

Why Didn't We See It

Contractors may say "I can't believe you had this house inspected, and they didn't find this problem". There are several reasons for these apparent oversights:

1. Conditions During Inspection

It is difficult for homeowners to remember the circumstances in the house, at the time of the inspection. Homeowners seldom remember that it was snowing, there was storage everywhere in the basement or that the furnace could not be turned on because the air conditioning was operating, et cetera. It's impossible for contractors to know what the circumstances were when the inspection was performed.

2. The Wisdom Of Hindsight

When the problem manifests itself, it is very easy to have 20/20 hindsight. Anybody can say that the basement is wet when there is 2 inches of water on the floor. Predicting the problem is a different story.

3. A Long Look

If we spent 1/2 an hour under the kitchen sink or 45 minutes disassembling the furnace, we'd find more problems too. Unfortunately, the inspection would take several days and would cost considerably more.

4. We're Generalists

We are generalists; we are not specialists. The heating contractor may indeed have more heating expertise than we do.

5. An Invasive Look

Problems often become apparent when carpets or plaster are removed, when fixtures or cabinets are pulled out, and so on. A home inspection is a visual examination. We don't perform any invasive or destructive tests.

Not Insurance

In conclusion, a home inspection is designed to better your odds. It is not designed to eliminate all risk. For that reason, a home inspection should not be considered an insurance policy. The premium that an insurance company would have to charge for a policy with no deductible, no limit and an indefinite policy period would be considerably more than the fee we charge. It would also not include the value added by the inspection.

We hope this is food for thought.

21: REPORT CONCLUSION

Information

Conclusion

Congratulations on the purchase of your new home. Since we never know who will be occupying or visiting a property, whether it be children or the elderly, we ask you to consider following these general safety recommendations: install and monitor smoke and carbon monoxide detectors; identify all escape and rescue ports; rehearse an emergency evacuation of the home; upgrade older electrical systems (if present) by at least adding ground-fault outlets; never service any electrical equipment without first disconnecting its power source; safety-film all non-tempered glass; ensure that every elevated window and the railings of stairs, landings, balconies, and decks are child-safe, meaning that barriers are in place or that the distance between the rails is not wider than three inches; regulate the temperature of water heaters to prevent scalding; make sure that goods that contain caustic or poisonous compounds, such as bleach, drain cleaners, and nail polish removers be stored where small children cannot reach them; ensure that all garage doors are well balanced and have a safety device, particularly if they are the heavy wooden type; remove any double-cylinder deadbolts from exterior doors; and consider installing child-safe locks and alarms on the exterior doors of all pool and spa properties.

We are proud of our service and trust that you will be completely satisfied with the quality of our report. We have made every effort to provide you with an accurate assessment of the condition of the property and its components and to alert you to any significant defects or adverse conditions. However, we may not have tested every outlet, and opened every window and door, or identified every minor defect. Also because we are not specialists or because our inspection is essentially visual, latent defects could exist. Therefore, you should not regard our inspection as conferring a guarantee or warranty. It does not. It is simply a report on the general condition of a particular property at a given point in time. Furthermore, as a homeowner, you should expect problems to occur. Roofs will leak, drain lines will become blocked, and components and systems will fail without warning. For these reasons, you should take into consideration the age of the house and its components and keep a comprehensive insurance policy current. If you have been provided with a home protection policy, read it carefully. Such policies usually only cover insignificant costs, such as that of roofer service, and the representatives of some insurance companies can be expected to deny coverage on the grounds that a given condition was preexisting or not covered because of what they claim to be a code violation or manufacturers defect. Therefore, you should read such policies very carefully, and depend upon our company for any consultation that you may need.

FURTHERMORE, you are advised to seek two professional opinions and acquire estimates of repair as to any defects, comments, improvements or recommendations mentioned in this report. We recommend that the professional making any repairs inspect the property further in order to discover and repair related problems that were not identified in the report. We recommend that all repairs, corrections, and cost estimates be completed and documented prior to closing or purchasing the property. Feel free to hire other professionals to inspect the property prior to closing. Including HVAC professionals, electricians, engineers, window professionals roofers etc.

Thank you for taking the time to read this report, and call us if you have any questions or observations whatsoever. I am always attempting to improve the quality of my service and this report, and I will continue to adhere to the highest standards of the real estate industry and to treat everyone with kindness, courtesy, and respect.