



BLESS THIS NEST INSPECTIONS, LLC

954-593-0601

mattmiller1513@gmail.com

<https://www.BlessThisNestInspections.com>



PROPERTY INSPECTION REPORT

1234 Main St.
Margate Florida 33063

Buyer Name
02/18/2019 9:00AM



Inspector

Matthew Miller

Matthew Miller

InterNACHI Certified Professional
Inspector

9545930601

mattmiller1513@gmail.com



Agent

Agent Name

555-555-5555

agent@spectora.com

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SUMMARY




COSMETIC, MAINTENANCE,
MONITOR



REPAIR/EVALUATION



HIGH IMPORTANCE/SAFETY
HAZARD

-  1.1.1 Inspection details - Structure Details: Change Locks
-  2.1.1 Roof - General: Near life expectancy
-  2.1.2 Roof - General: Turbine vents
-  2.2.1 Roof - Shingles: Self Seal Strips Loose
-  2.2.2 Roof - Shingles: Shingles Damaged
-  2.2.3 Roof - Shingles: Shingles missing
-  3.2.1 Exterior - Driveway, Walkway, Patio: Significant Cracks
-  3.4.1 Exterior - Electrical: GFCI Issue
-  3.4.2 Exterior - Electrical: Hot-Neutral Reverse
-  3.4.3 Exterior - Electrical: Open Ground
-  3.7.1 Exterior - Gutters and Flashing: Downspout extensions
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-  4.1.1 Interiors - Electrical: Doorbell inoperable
-  4.3.1 Interiors - Smoke and CO alarms: No Carbon Monoxide Detector Present
-  4.4.1 Interiors - Windows and Door: Window hard to open
-  6.1.1 Water Heater - Water Heater: Exceeds Life Expectancy
-  7.1.1 Electric Service - Electric Panel: FPE/Challenger
-  9.3.1 Kitchen - Electrical: GFCI-wont trip
-  9.5.1 Kitchen - Sink: Drain Flexible pipe
-  10.3.1 Bathrooms - Electrical: GFCI Missing
-  10.8.1 Bathrooms - Toilets: No or bad caulk base
-  12.3.1 Garage - Floors, walls, Ceiling: Peeling paint ceiling
-  13.2.1 Appliances - Dishwasher: Dishwasher inop

1: INSPECTION DETAILS

Information

Start Time 10:00 AM	Finish Time 1:00	Ground Condition Dry
Present at time of the inspection Client, Clients Agent	Property Occupancy Unoccupied, but furnishings or stored items present	Temperature 75 Fahrenheit
Weather Condition Cloudy	Rain in the last few days Unknown	Structure Details: Inspected House, Attached Garage
Structure Details: Type Single Family	Structure Details: Age 46 Years	Structure Details: Foundation Slab
Structure Details: Faces South	Structure Details: Utilities All Utilities on	The following items have been excluded from the inspection. Dock

Categories Key

Listed below is a description of the Categories used throughout the report to help understand the severity of an item. This categorization is the opinion of the inspector and is based on what was observed at the time of inspection. It is not intended to imply that items documented in any one category are not in need of correction. Maintenance items or latent defects left unrepaired can soon become significant defects. There may also be defects that you feel belong in a different category, and again, you should feel free to consider the importance you believe they hold and act accordingly. These categories are not designed to be considered as an enforceable repair or responsibility of the current homeowner, but designed to inform the current client of the current condition of the property and structure. They may be used in negotiations between real estate professionals.

Cosmetic, Maintain, or Monitor = The item, component, or system while perhaps is functioning as intended may be in need of minor repair, service, or maintenance; is showing wear or deterioration that could result in an adverse condition at some point in the future; or consideration should be made in upgrading the item, component, or system to enhance the function, efficiency, and/or safety. Items that fall into this category frequently be addressed by a homeowner or Licensed Handyman and are considered to be cosmetic, routine homeowner maintenance (DIY) or recommended upgrades.

Repair or Evaluation = The item, component, or system while perhaps functioning as intended is in need of moderate repair, service, is showing signs of wear or deterioration that could result is an adverse condition at some point in the future; consideration should be made in upgrading the item, component, or system to enhance the function, efficiency and/or safety. Items falling into this category can frequently be addressed by a licensed handyman or qualified contractor of trade and are not considered routine maintenance or DIY items. Items that may need further evaluation by a licensed contractor fall into this category.

High Importance/Safety Hazard = The item, component, or system may need immediate attention, inspector feels need addressing, or may pose a safety concern in or around the home. Some listed concerns may have been considered acceptable for the time of the structures construction, but pose a current risk. The item, component or system is not functioning as intended, or needs further inspection by a qualified license contractor of trade; possible damage to the structure, item, or component may occur. Repairs may be possible to satisfactory condition with out replacement. Repair or replacement may be needed.

Overview

A home inspection is not a pass or fail type of inspection. It is a visual only evaluation of the conditions of the systems and accessible components of the home designed to identify areas of concern within specific systems or components defined by the Florida State and InterNACHI Standards of Practice, that are both observed and deemed material by the inspector at the exact date and time of inspection. Conditions can and will change after the inspection over time. Future conditions or component failure can not be foreseen or reported on.

Components that are not readily accessible can not be inspected. Issues that are considered as cosmetic are not addressed in this report. (Holes, stains, scratches, unevenness, missing trim, paint and finish flaws or odors). It is not the intent of this report to make the house new again. Any and all recommendations for repair, replacement, evaluation, and maintenance issues found, should be evaluated by the appropriate trades contractors within the clients inspection contingency window or prior to closing, which is contract applicable, in order to obtain proper dollar amount estimates on the cost of said repairs and also because these evaluations could uncover more potential issues than able to be noted from a purely visual inspection of the property.

This inspection will not reveal every concern or issue that exists, but only those material defects that were observable on the day of the inspection. This inspection is intended to assist in evaluation of the overall condition of the dwelling only. This inspection is not a prediction of future conditions and conditions with the property are subject to change the moment we leave the premises.

Observations

1.1.1 Structure Details

CHANGE LOCKS



Cosmetic, Maintenance, Monitor

Bless This Nest Inspections recommends that ALL locks and Security codes be changed before moving into the house.

Recommendation

Recommended DIY Project

2: ROOF

Information

General: Roof Type

Hipped, Gable, Flat

General: Roof covering

Asphalt/Fiberglass Shingles,
Modified bitumen

**General: Estimated roof age
(Main)**

13 year(s)

**General: Estimated roof age
(Secondary)**

13 year(s)

General: Roof Drainage

Gutter system

Shingles: Layers Visible

One Layer

General: Roof Inspected by a Licensed Roofing Company

The roof was inspected by a qualified, licensed roofing company at time of inspection. **Please see the attached roof inspection report** regarding the condition of the roof. Any defects and pictures listed in the roofing section is a summary, reflective of the findings from the roof inspection report and is done so for illustration and your information only. If you have any questions/concerns on the attached roof report, please contact them directly.

Limitations

General

ROOF STRUCTURE

Note that all areas of the attic and roof components may not be visible during the inspection, design and conditions may limit. All accessible areas are visually inspected and reported based on the condition at the time of inspection. The inspection is a snap shot in time, inspector can not predict future issue, which may occur post inspection.

Observations

2.1.1 General

NEAR LIFE EXPECTANCY



The flat roofing surface may be near the end of its service life based on age or physical condition. Repairs may be made to extend life slightly. There is no guarantee that issues may rise post inspection. See attached roof report.

Recommendation

Contact a qualified roofing professional.

Estimated Cost

\$1,600

2.1.2 General

TURBINE VENTS



The house has turbine roof vents. It is recommended as part of the yearly maintenance to have the turbines checked for the proper operation of the venting.

Recommendation

Contact a qualified professional.

2.2.1 Shingles

Repair/Evaluation

SELF SEAL STRIPS LOOSE

Composition shingles were loose because the adhesive, self-sealing strips weren't sealed. Leaks can occur as a result. Self-sealing strips secure the lower edge of shingles and reduce vulnerability to wind damage. Strips may not be sealed because the sealant has failed or because the sealant never activated and cured after the original installation. Recommend that a qualified contractor repair as necessary. For example, by hand sealing shingles with an approved sealant.



Recommendation

Contact a qualified roofing professional.

2.2.2 Shingles

Repair/Evaluation

SHINGLES DAMAGED

One or more composition shingles were Damaged. Recommend that a qualified contractor repair as necessary. For example, by repairing or replacing shingles. This can reduce the life expectancy of the roofing material.



Recommendation

Contact a qualified roofing professional.

2.2.3 Shingles

High Importance/Safety Hazard

SHINGLES MISSING

Roofing shingles were missing. This can cause deterioration and moisture intrusion. Leaks can occur as a result. Recommend that a qualified contractor repair as necessary. For example, by replacing shingles.

Recommendation

Contact a qualified roofing professional.



3: EXTERIOR

Information

General: Foundation Material

Stem wall

General: Exterior wall structure

Concrete Block(CBS)

General: Wall Covering

Stucco

General: Driveway Material

Asphalt

General: Exterior doors

SC Wood

General: Fencing

Wood

General: Garage Door Material

Metal

General: Sidewalk/Patio Material

Asphalt, Tile

General: Vehicle Parking

Attached Garage, Driveway

Irrigation/Sprinkler: Irrigation water supply

Lake or canal

Irrigation/Sprinkler: Sprinkler system

West Exterior Wall Outside Garage

The irrigation system if present and accessible is evaluated for general condition and operation only. This is not a full system evaluation. Items such as timers can not be evaluated other than on and off operation. All irrigation heads are not located and individually tested for operation, coverage, volume and direction. The system is run through multiple zones to determine general operation only. Underground pipes obviously can not be viewed or tested. Any notations on the system should trigger a full evaluation by a specialist.



Limitations

Soffit and Fascia

FASCIA NOT VISIBLE

Some areas of the fascia board(wood trim around roof) may not be visible due to roof contour, design, and/or gutter installations.

Shutters(decorative and storm)

SHUTTERS NOT INVENTORIED

The storm shutters are not inventoried as part of the inspection. while there may not appear to be any missing shutters, this can not be determined until the shutters are installed and inventoried.

Observations

3.2.1 Driveway, Walkway, Patio

 High Importance/Safety Hazard

SIGNIFICANT CRACKS

One area on the interior side of the the exterior wall of the enclosed porch has a significant crack that appears to be structural. Due to the size and gapping at the cracks, a structural engineer should evaluate. *We recommend Troy Bishop of Axiom Structures.*

Recommendation

Contact a qualified structural engineer.



3.4.1 Electrical

 High Importance/Safety Hazard

GFCI ISSUE

EXTERIOR PORCH WALL

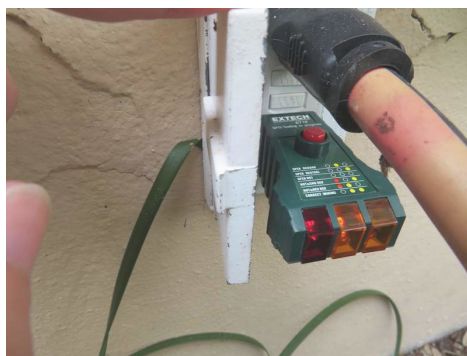
One or more ground fault circuit interrupter (GFCI) receptacles (outlets) were not functioning properly (would not trip/would not reset). Recommend a licensed electrical contractor replace with new GFCI outlet.

Recommendation

Contact a qualified electrical contractor.

Estimated Cost

\$150 - \$200



3.4.2 Electrical

 High Importance/Safety Hazard

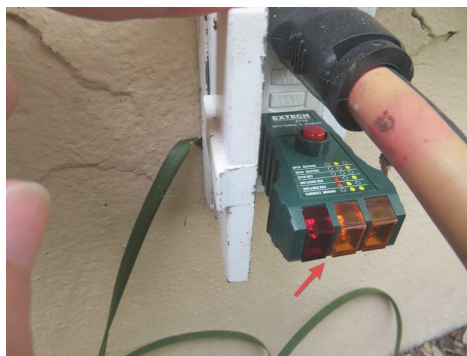
HOT-NEUTRAL REVERSE

EXTERIOR PORCH WALL

One or more electric receptacles had reverse-polarity wiring, where the hot and neutral wires were reversed. Sensitive electronics may result in damage. Recommend that a qualified electrician repair as necessary.

Recommendation

Contact a qualified electrical contractor.



3.4.3 Electrical

 High Importance/Safety Hazard

OPEN GROUND

EXTERIOR WALL SIDE OF HOUSE

One or more modern, 3-slot electric receptacles were found with an open ground. This is a shock hazard when appliances that require a ground are used with these receptacles. Examples of such appliances include computers and related hardware, refrigerators, freezers, portable air conditioners, clothes washers, aquarium pumps, and electrically operated gardening tools. Recommend that a qualified electrician repair as necessary so all receptacles are grounded per standard building practices.

Recommendation

Contact a qualified electrical contractor.

Estimated Cost

\$150 - \$200



3.7.1 Gutters and Flashing



Cosmetic, Maintenance, Monitor

DOWNSPOUT EXTENSIONS

Extensions such as splash blocks or drain pipes for one or more downspouts were *missing / poorly sloped / misaligned / clogged / substandard / damaged*. Water can accumulate around the building foundation or inside crawl spaces or basements as a result. Recommend the installation of downspout extensions to discharge roof drainage a minimum of 6 feet from the foundation.

Recommendation

Contact a qualified professional.

Estimated Cost

\$0 - \$50



3.9.1 Vegetation and Grading



Cosmetic, Maintenance, Monitor

VEGETATION

FRONT OF HOUSE

Vegetation such as trees, shrubs and/or vines was in contact with or close to the building exterior. Vegetation can serve as a pathway for wood-destroying insects and can retain moisture against the exterior after it rains. This is a conducive condition for wood-destroying organisms. Recommend pruning, moving or removing vegetation as necessary to maintain at least 6 inches of space between it and the building exterior. A 1-foot clearance is better.

Recommendation

Contact a handyman or DIY project



3.10.1 Shutters(decorative and storm)



Cosmetic, Maintenance, Monitor

SHUTTER STORAGE

EAST SIDE OF HOUSE

The storm shutters are stored in an area that is not protected from the elements of the weather. Per the Insurance standards, storm shutters are to be stored in a location that is protected from the elements of the weather. It is recommended to have the storm shutters located in a protected area from the elements of the weather.

Recommendation

Contact a handyman or DIY project



4: INTERIORS

Information

Floors, Walls, Ceilings: Wall material/covering

Drywall, Plaster

Smoke and CO alarms: Smoke Alarms Present

Yes

Windows and Door: Windows and doors

Windows and Doors need regular service. It is recommended to lubricate windows and doors periodically for ease of operation. Non-Petroleum based products are recommended, wax based (Alumaslick) or dry graphites.

Limitations

Electrical

OBSCURED PLUGS

Not every electrical plug may have been tested, only a sample of plugs are normally tested. Furniture or other items may have blocked electric plugs.

Floors, Walls, Ceilings

CONDITION IN WALLS

The condition of the interior of the walls can not be seen, therefore an evaluation can not be made of these areas.

Floors, Walls, Ceilings

FURNITURE/STORED ITEMS

There is furniture or stored items restricting views of wall areas. Once items are moved areas should be evaluated.

Observations

4.1.1 Electrical

DOORBELL INOPERABLE

FRONT OF HOUSE

The doorbell appears to be inoperable. It does not ring when pressed. Recommend having a qualified electrician evaluate and repair as necessary.

Recommendation

Contact a qualified electrical contractor.

Estimated Cost

\$50 - \$100



Repair/Evaluation



4.3.1 Smoke and CO alarms

 Repair/Evaluation

NO CARBON MONOXIDE DETECTOR PRESENT

Carbon Monoxide Detectors are Recommended to be installed in the appropriate locations as a precaution. Most importantly the garage

[Article on CO Alarms](#)

Recommendation

Contact a qualified professional.

Estimated Cost

\$0 - \$50

4.4.1 Windows and Door

 Repair/Evaluation

WINDOW HARD TO OPEN

FRONT AND MASTER BEDROOM

One or more windows are difficult to open and close. The windows should be adjusted so that they will open and close freely all necessary repairs should be made.

Recommendation

Contact a qualified professional.



5: PLUMBING

Information

General: Location of Water meter

Exterior wall outside of garage

General: Service Pipe to house

Copper, Where Visible

General: Interior Supply piping

Not visible

General: Water Source

Public Water

General: Drain Pipe

PVC

General: Location of Main Shut off

Exterior wall outside of garage

General: Plumbing In Walls

As is typical of most buildings, the majority of the supply piping is concealed from view. Basically it is installed inside the walls and under the floors. Where the supply piping was noted, it was found to be copper. This is an excellent water piping material with an indefinite lifespan.

Limitations

General

NOT VISIBLE

Not all components of the plumbing system are visible. Components in walls, floors, under insulation, etc can not be evaluated.

Supply Lines

NOT VISIBLE

Much of the water lines are hidden from view. Lines in walls, floors, and/or ceiling are not evaluated. An adequate evaluation can not be completed for such lines.

Drain and Waste

NOT VISIBLE

Much of the waste and drain lines are not visible. A full evaluation of these lines can not be made. A more intrusive inspection would be required.

6: WATER HEATER

Information

Water Heater: Serial # RU 0381M81636	Water Heater: Model # PE40-2	Water Heater: Estimated Age 38 Years
Water Heater: Energy Source Electric	Water Heater: Manufacturer Ruud	Water Heater: Location Garage
Water Heater: Capacity 40	Water Heater: Type Tank	

Limitations

Water Heater

WATER HEATER FAILURE

The inspector can not determine when a water heater will or may fail. They can only give a time based on the visual condition or age. Water heaters may fail without notice.

Observations

6.1.1 Water Heater

EXCEEDS LIFE EXPECTANCY

GARAGE

Water heater was operable during time of inspection and no signs of rust or leaks. However, the estimated useful life for most water heaters is 8 to 12 years. This water heater appears to be much older and could need replacing at any time. Recommend budgeting for a replacement in the near future.

Life Expectancy

Recommendation

Contact a qualified plumbing contractor.

Estimated Cost

\$800 - \$900



High Importance/Safety Hazard



7: ELECTRIC SERVICE

Information

Electric Panel: Amperage

150

Electric Panel: Panel

Manufacturer

Federal Pacific

Electric Panel: Protection

Breakers

Electric Panel: Service Type

Underground

Electric Panel: Service Voltage

120/240

Electric Panel: Branch Wiring

Copper

Electric Panel: Location of Main Disconnect

Top of Panel

Electric Panel: Service Conductor

Copper

Electric Panel: Location of Exterior Main Panel

Outside next To the garage

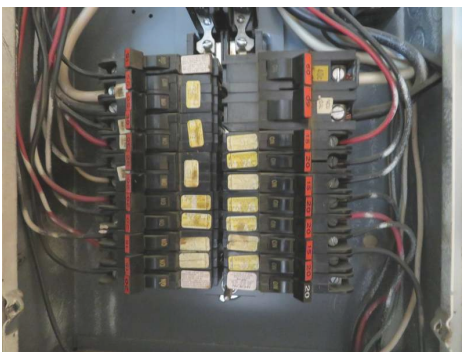
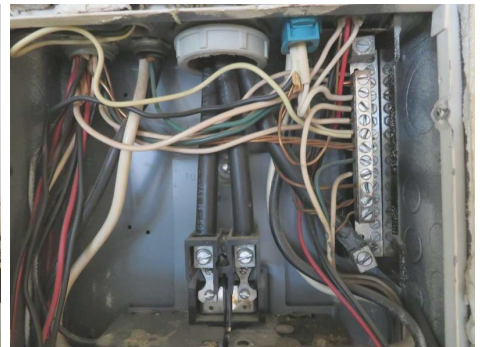
Electric Panel: Location of Main Panel

Inside the garage near entry door

Electric Panel: Panel pictures

Garage

[Info on FPE Panels](#)



Electric Panel: Testing of GFCI's

GFCI receptacles and breakers should be tested regularly. All GFCI circuits have test and reset buttons. Click the link below for more information.



Testing GFCI's

Observations

7.1.1 Electric Panel

FPE/CHALLENGER

GARAGE



High Importance/Safety Hazard

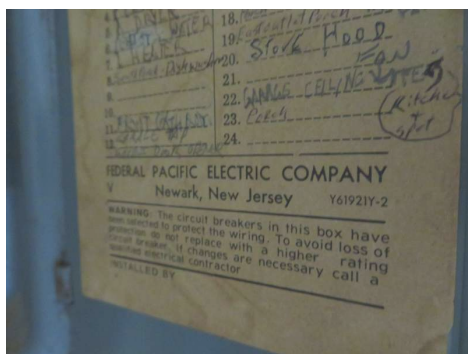
An electric panel was manufactured by the Federal Pacific Electric/Challenger company and used "Stab-Lok" circuit breakers. There is evidence that both double and single pole versions of these circuit breakers fail by not tripping when they are supposed to. However, in 2011 the Consumer Products Safety Commission (CPSC) closed an investigation into this product because they did not have enough data to establish that the circuit breakers pose a serious risk of injury to consumers. Regardless, and due to other evidence of safety issues, recommend that a qualified electrician carefully evaluate all Federal Pacific panels and make repairs as necessary. Consider replacing Federal Pacific panels with modern panels that offer more flexibility for new, safer protective technologies like ground fault circuit interrupters (GFCIs) and arc fault circuit interrupters (AFCIs).

Recommendation

Contact a qualified electrical contractor.

Estimated Cost

\$1,550 - \$2,000



8: HVAC

Information

General: Cooling source

Electric

General: Heat Source

Electric

General: Distribution

Flex Duct

General: A/C Type

Package unit

Package Unit: Estimated Age

Package Unit

3 Year(s)

Package Unit: Package unit

Serial #

1610032471

Package Unit: Package unit

Model #

GPC1436H41DD

Package Unit: Manufacturer

Goodman

Package Unit: Good condition

The condensing unit was in good condition.

General: Temperature Differential

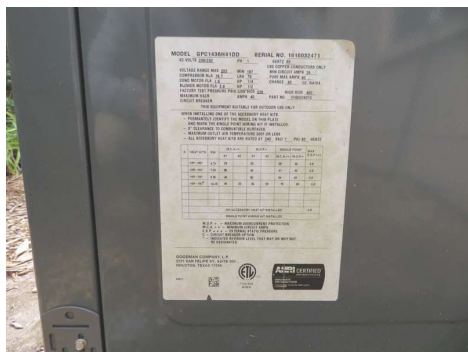
21 Degrees

This is the number of degrees the system is cooling (or heating) the house air. Normal range for this number is 14-22 degrees when operating the system during hot weather, lower when ambient temperatures are lower. The system functioned as expected when tested and appeared to be serviceable at the time of the inspection. As with all mechanical equipment, the unit may fail at any time without warning. The inspector cannot determine future failures.



Package Unit: Pictures of Unit

East Side of Exterior



Limitations

General

AIR CONDITIONING SYSTEM FAILURE

The inspector can not make a determination on when a system will or may fail. Air conditioning systems should always be evaluated and serviced upon taking ownership.

9: KITCHEN

Observations

9.3.1 Electrical

GFCI-WONT TRIP

LEFT SIDE OF KITCHEN SINK

One or more ground fault circuit interrupter (GFCI) electric receptacles did not trip when tested. A qualified electrician should evaluate and repair as necessary.

Repair/Evaluation

Recommendation

Contact a qualified electrical contractor.

Estimated Cost

\$150 - \$200



9.5.1 Sink

DRAIN FLEXIBLE PIPE

UNDER KITCHEN SINK

One or more sink drains use flexible drain pipe. This type of drain pipe is more likely to clog than smooth wall pipe. Recommend having a qualified plumber replace this pipe with standard plumbing components (smooth wall pipe) to prevent clogged drains.

Recommendation

Contact a qualified plumbing contractor.

Estimated Cost

\$150 - \$200

Repair/Evaluation



10: BATHROOMS

Observations

10.3.1 Electrical

GFCI MISSING

HALLWAY BATHROOM

One or more electric receptacles at the bathroom(s) had no visible ground fault circuit interrupter (GFCI) protection, or the inspector was unable to determine if GFCI protection was present. If not GFCI-protected, receptacles in wet areas pose a shock hazard. Recommend that a qualified electrician evaluate and install GFCI protection if necessary and per standard building practices. General guidelines for GFCI-protected receptacles include the following locations:

- Outdoors (since 1973)
- Bathrooms (since 1975)
- Garages (since 1978)
- Kitchens (since 1987)
- Crawl spaces and unfinished basements (since 1990)
- Wet bar sinks (since 1993)
- Laundry and utility sinks (since 2005)

Recommendation

Contact a qualified electrical contractor.

Estimated Cost

\$150 - \$200

 High Importance/Safety Hazard



10.8.1 Toilets

NO OR BAD CAULK BASE

BOTH BATHROOMS

Caulk around the base of the toilet was missing, substandard and/or deteriorated. Modern standards require caulk to be installed around the entire toilet base where it meets the floor for sanitary reasons. Without it, soiled water can soak into flooring and sub-floor materials if the toilet overflows. Condensation from the toilet can also soak into the flooring. Recommend that a qualified person caulk around toilet bases per standard building practices.

Recommendation

Recommended DIY Project

 Cosmetic, Maintenance, Monitor



11: LAUNDRY

Information

General: Dryer Manufacturer

Kenmore

General: Washer Manufacturer

Kenmore

General: Dryer Observation

Garage

The dryer unit was operated through a cycle. It heated it's drum and then stopped at the end of the cycle.

General: Washer Observation

Garage

Both hot and cold water was available to the washer. The unit was operated through a full cycle. It filled, cycled through a wash, initial spin and drain, rinse and final spin cycle. No leakage was detected and there were no unusual conditions noted.

MAINTENANCE TIP:

For equipment more than a few years old, we recommend that all clothes washer machine hoses and their gaskets be replaced upon your taking possession of the unit.

Limitations

General

WASHER AND DRYER FAILURE

There is no way to determine when a washer or dryer may fail. They may fail at anytime with out warning.

12: GARAGE

Information

Vehicle door: Door Maintenance

The garage door should be maintained on a regular schedule. Hinges and spring should be lubricated with the proper lubricant. This will help extend the life of door components.

[Garage Door Maintenance](#)

Vehicle door: Vehicle Door safety

VEHICLE DOOR: safety tips:

1. The garage door is the largest moving object in the home. It can weigh hundreds of pounds. Often it is supported with spring tension Both the weight of the door itself and the condition of these powerful springs can be dangerous on their own. Combined these two items can become a potentially lethal item. During our inspection, we attempt to inspect vehicle doors for proper operation.
2. Operation of the safety mechanisms should be verified monthly. Switches for door openers should be located as high as practical to prevent children from playing with the door. Children should be warned of the potential risk of injury.
3. Regular lubrication of the garage door tracks, rollers, springs and mounting hardware is recommended. (consult the owners manual or contact the door/opener manufacture. www.overheaddoor.com/Pages/safety-information.aspx)

Observations

12.3.1 Floors, walls, Ceiling

Repair/Evaluation

PEELING PAINT CEILING

Paint is peeling at one or more locations in the ceiling. This is typically due to the heat in the garage and/or poor preparation. The areas should be properly repaired.

Recommendation

Contact a qualified professional.



13: APPLIANCES

Information

Dishwasher: Dishwasher

Frigidaire

Garbage Disposal: Disposer

Badger

Garbage Disposal: Normal operation

The garbage disposal was serviceable at the time of the inspection.

Hood/Vent: Normal operation

The vent hood was serviceable at the time of the inspection.

Microwave: Microwave

Kenmore

Microwave: Normal operation

The microwave was serviceable at the time of the inspection.

Range-Cooktop-Oven: Oven

Whirlpool

Range-Cooktop-Oven: Normal operation

The oven, range, or cooktop was serviceable at the time of the inspection.

Range-Cooktop-Oven: Range

Whirlpool

Refrigerator: Refrigerator

Kenmore

Refrigerator: Chiller and freezer temp

40 - 0 Fahrenheit

Limitations

General

APPLIANCE FAILURE

All though appliance were serviceable at the time the inspection was completed. Appliances may fail at anytime. An inspector can not project when an item will or may fail.

Observations

13.2.1 Dishwasher

DISHWASHER INOP

Repair/Evaluation

The dishwasher was not run during the inspection. The inspector was informed of a leak and asked not to run it. The client(s) should ask the property owner(s) about this, and if necessary, the dishwasher should be replaced, or a qualified appliance technician should evaluate and repair.

Recommendation

Contact a qualified appliance repair professional.



14: ATTIC

Information

General: Ceiling Structure

Trusses

General: Inspection Method

Traversed

General: Roof Structure

Trusses

General: Attic pictures

Limitations

General

AREAS INACCESSIBLE

Some attic areas were inaccessible due to lack of permanently installed walkways, the possibility of damage to insulation, low height and/or stored items. These areas are excluded from this inspection.

General

LIMITED VISIBILITY

Due to the nature of the attic area, not all areas may be adequately visible. Other factors may also limit visibility (i.e. excessive heat, pest evidence, live animals, limited light areas, shadows).

STANDARDS OF PRACTICE

Inspection details

Bless This Nest Inspections is pleased to submit the enclosed report. This report is a professional opinion based on a visual inspection of the readily accessible areas and components of the building. This report is neither an engineering inspection nor an exhaustive technical evaluation. An engineering inspection or a technical evaluation of this nature would cost many times more and take days, if not weeks, to complete. We adhere to the [Standards of Practice and Code of Ethics](#) of the International Association of Certified Home Inspectors.

Please understand that there are limitations to this type of visual inspection. Many components of the property are not visual during the inspection and very little historical information (if any) is provided in advance of, or even during, the inspection. While we believe we can reduce your risk of purchasing a property, we can not eliminate it, nor can or do we assume it. Even the most comprehensive inspection cannot be expected to reveal every condition you may consider significant to ownership. In addition to those improvements recommended in our report, we recommended that you budget for unexpected repairs. On the average, we have found it necessary for you to set aside a percentage of the value of the home on an annual basis that will be sufficient to cover unexpected repairs. This maybe 1 % for a modest home and a higher amount, say maybe 3 % or so, for a more complex and /or an older home with aging systems and some deferred maintenance.

The information provided in this report is solely for your use. Bless This Nest Inspections will not release a copy of this report, nor will we discuss its contents with any third party, without your written consent.

We know you had many options in your choice of an inspection company. Thank you for selecting us. We appreciate the opportunity to be your choice in the building inspection industry. Should you have any questions about the general conditions of the house in the future, we would be happy to answer these.

Exterior