



LEGENDARY INSPECTION GROUP, LLC

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HOME INSPECTION

1234 Main St.
Beaumont TX 77706

Buyer Name
08/29/2018 9:00AM



Inspector
Gregory Clark, Jr
TREC #:23283
4092735909

gregory@legendaryinspections.com



Agent
Agent Name
555-555-5555
agent@spectora.com



PROPERTY INSPECTION REPORT

Prepared For: Buyer Name
(Name of Client)

Concerning: 1234 Main St. Beaumont TX 77706
(Address or Other Identification of Inspected Property)

By: Gregory Clark, Jr - TREC #:23283 08/29/2018 9:00AM
(Name and License Number of Inspector) (Date)

PURPOSE, LIMITATIONS AND INSPECTOR / CLIENT RESPONSIBILITIES

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions. If any item or comment is unclear, you should ask the inspector to clarify the findings. It is important that you carefully read ALL of this information.

This inspection is subject to the rules ("Rules") of the Texas Real Estate Commission ("TREC"), which can be found at www.trec.texas.gov.

The TREC Standards of Practice (Sections 535.227-535.233 of the Rules) are the minimum standards for inspections by TREC-licensed inspectors. An inspection addresses only those components and conditions that are present, visible, and accessible at the time of the inspection. While there may be other parts, components or systems present, only those items specifically noted as being inspected were inspected. The inspector is NOT required to turn on decommissioned equipment, systems, utility services or apply an open flame or light a pilot to operate any appliance. The inspector is NOT required to climb over obstacles, move furnishings or stored items. The inspection report may address issues that are code-based or may refer to a particular code; however, this is NOT a code compliance inspection and does NOT verify compliance with manufacturer's installation instructions. The inspection does NOT imply insurability or warrantability of the structure or its components. Although some safety issues may be addressed in this report, this inspection is NOT a safety/code inspection, and the inspector is NOT required to identify all potential hazards.

In this report, the inspector shall indicate, by checking the appropriate boxes on the form, whether each item was inspected, not inspected, not present or deficient and explain the findings in the corresponding section in the body of the report form. The inspector must check the Deficient (D) box if a condition exists that adversely and materially affects the performance of a system or component or constitutes a hazard to life, limb or property as specified by the TREC Standards of Practice. General deficiencies include inoperability, material distress, water penetration, damage, deterioration, missing components, and unsuitable installation. Comments may be provided by the inspector whether or not an item is deemed deficient. The inspector is not required to prioritize or emphasize the importance of one deficiency over another.

Some items reported may be considered life-safety upgrades to the property. For more information, refer to Texas Real Estate Consumer Notice Concerning Recognized Hazards or Deficiencies below.

THIS PROPERTY INSPECTION IS NOT A TECHNICALLY EXHAUSTIVE INSPECTION OF THE STRUCTURE, SYSTEMS OR COMPONENTS. This inspection may not reveal all deficiencies. A real estate inspection helps to reduce some of the risk involved in purchasing a home, but it cannot eliminate these risks, nor can the inspection anticipate future events or changes in performance due to changes in use or occupancy. It is recommended that you obtain as much information as is available about this property, including seller's disclosures, previous inspection reports, engineering reports, building/remodeling permits, and reports performed for and by relocation companies, municipal inspection departments, lenders, insurers, and appraisers. You should also attempt to determine whether repairs, renovation, remodeling, additions, or other such activities have taken place at this property. It is not the inspector's responsibility to confirm that information obtained from these sources is complete or accurate or that this inspection is consistent with the opinions expressed in previous or future reports.

ITEMS IDENTIFIED IN THE REPORT DO NOT OBLIGATE ANY PARTY TO MAKE REPAIRS OR TAKE OTHER ACTIONS, NOR IS THE PURCHASER REQUIRED TO REQUEST THAT THE SELLER TAKE ANY ACTION. When a deficiency is reported, it is the client's responsibility to obtain further evaluations and/or cost estimates from qualified service professionals. Any such follow-up should take place prior to the expiration of any time limitations such as option periods.

Evaluations by qualified tradesmen may lead to the discovery of additional deficiencies which may involve additional repair costs. Failure to address deficiencies or comments noted in this report may lead to further damage of the structure or systems and add to the original repair costs. The inspector is not required to provide follow-up services to verify that proper repairs have been made.

Property conditions change with time and use. For example, mechanical devices can fail at any time, plumbing gaskets and seals may crack if the appliance or plumbing fixture is not used often, roof leaks can occur at any time regardless of the apparent condition of the roof, and the performance of the structure and the systems may change due to changes in use or occupancy, effects of weather, etc. These changes or repairs made to the structure after the inspection may render information contained herein obsolete or invalid. This report is provided for the specific benefit of the client named above and is based on observations at the time of the inspection. If you did not hire the inspector yourself, reliance on this report may provide incomplete or outdated information. Repairs, professional opinions or additional inspection reports may affect the meaning of the information in this report. It is recommended that you hire a licensed inspector to perform an inspection to meet your specific needs and to provide you with current information concerning this property.

TEXAS REAL ESTATE CONSUMER NOTICE CONCERNING HAZARDS OR DEFICIENCIES

Each year, Texans sustain property damage and are injured by accidents in the home. While some accidents may not be avoidable, many other accidents, injuries, and deaths may be avoided through the identification and repair of certain hazardous conditions. Examples of such hazards include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices for electrical receptacles in garages, bathrooms, kitchens, and exterior areas;
- malfunctioning arc fault protection (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

To ensure that consumers are informed of hazards such as these, the Texas Real Estate Commission (TREC) has adopted Standards of Practice requiring licensed inspectors to report these conditions as "Deficient" when performing an inspection for a buyer or seller, if they can be reasonably determined.

These conditions may not have violated building codes or common practices at the time of the construction of the home, or they may have been "grandfathered" because they were present prior to the adoption of codes prohibiting such conditions. While the TREC Standards of Practice do not require inspectors to perform a code compliance inspection, TREC considers the potential for injury or property loss from the hazards addressed in the Standards of Practice to be significant enough to warrant this notice.

Contract forms developed by TREC for use by its real estate license holders also inform the buyer of the right to have the home inspected and can provide an option clause permitting the buyer to terminate the contract within a specified time. Neither the Standards of Practice nor the TREC contract forms require a seller to remedy conditions revealed by an inspection. The decision to correct a hazard or any deficiency identified in an inspection report is left to the parties to the contract for the sale or purchase of the home.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

In Attendance: Buyer

Occupancy: Vacant

Style: Victorian

Temperature (approximate): 98 Fahrenheit (F)

Type of Building: Single Family

Weather Conditions: Hot

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I. STRUCTURAL SYSTEMS

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A. Foundations

Type of Foundation(s): Slab on Grade

Comments:

A visual inspection was performed on all sides of the foundation and no apparent structural breaks were found.

North South East West

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B. Grading and Drainage

Comments:

The general grading around the house foundation perimeter appears to functional during the time of the inspection. Ideally the grading should slope about 6 inches over the first 10 feet away from the house foundation.

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C. Roof Covering Materials

Types of Roof Covering: Asphalt

Viewed From: Ladder, Ground



Comments:

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1: Damaged Coverings

🔴 **Recommendation**

Roof coverings exhibited general damage that could affect performance. Recommend a qualified roofer evaluate and repair.

Recommendation: Contact a qualified roofing professional.

2: Discoloration

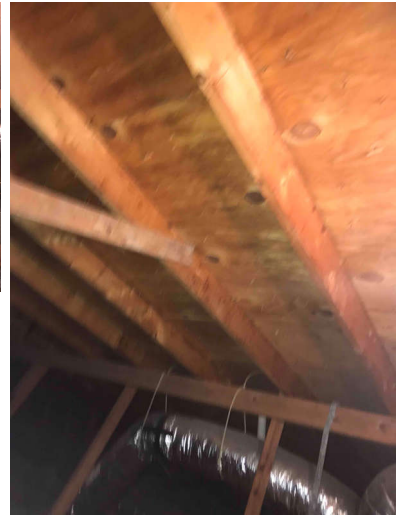
🔴 **Recommendation**

Roof shingles were discolored, which can be caused by moisture, rust or soot. Recommend a qualified roofing contractor evaluate and remedy with a roof cleaning or repair.

[Here is a helpful article](#) on common roof stains.

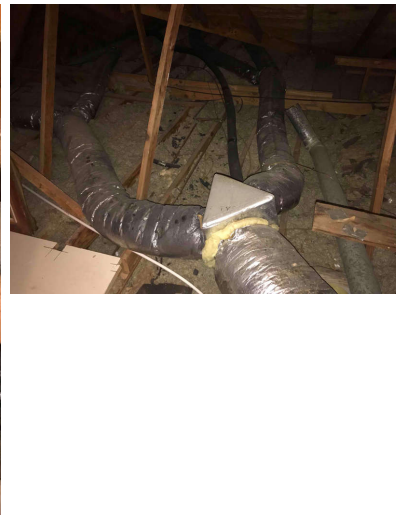
Recommendation: Contact a qualified roofing professional.

D. Roof Structure & Attic
Material: Plywood

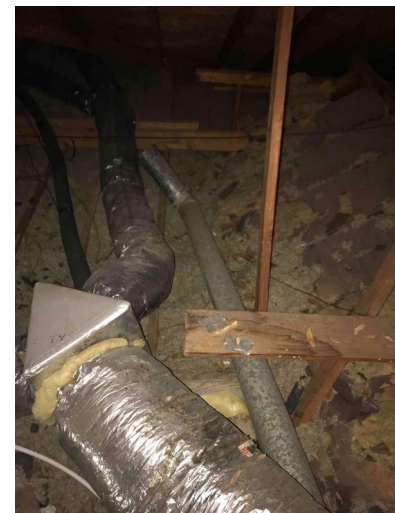


Type: Gable

*Approximate Average Depth of Insulation: 0 R-value -
Blown in cellulose*



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Viewed From: Attic

1: Insufficient Insulation

🔴 **Recommendation**

Insulation depth was inadequate. Recommend a qualified attic insulation contractor install additional insulation.

Recommendation: Contact a qualified insulation contractor.

E. Walls (Interior and Exterior)

Material: Brick, Wood

Comments:

1: Siding

🔴 **Recommendation**

Siding appears to be damaged on the right side

Of the home, underneath the kitchen window. Could cause water or rodent intrusion.

Recommendation: Contact a qualified professional.



F. Ceilings and Floors

Comments:

This is a newly remodeled home. The interior has has been repainted.

Interior

1: Ceiling - Minor Damage

🔧 **Maintenance Item**

Minor damage or deterioration to the ceiling was visible at the time of the inspection.

Recommendation: Contact a qualified drywall contractor.

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G. Doors (Interior and Exterior)

Comments:

H. Windows

Comments:

1: Damaged

➤ Recommendation

One or more windows appears to have general damage, but are operational. Recommend a window professional clean, lubricate & adjust as necessary.

Recommendation: Contact a qualified window repair/installation contractor.



2: Improper Installation

➤ Recommendation

Windows in the kitchen appear to not be operating properly due to substandard installation. Recommend window specialist evaluate.

Recommendation: Contact a qualified window repair/installation contractor.

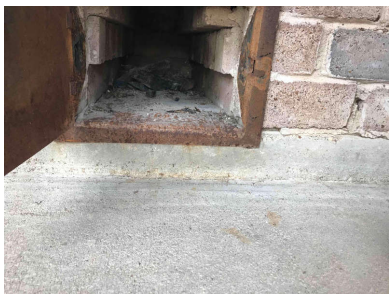
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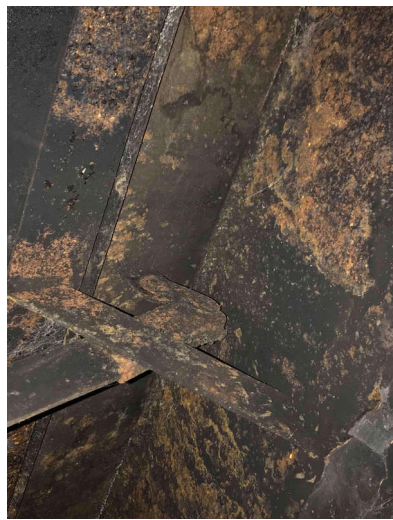
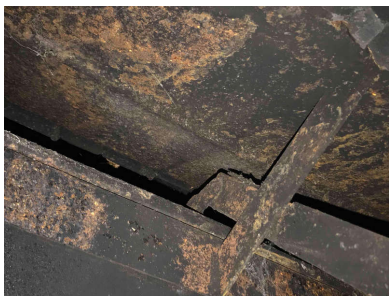
I. Stairways (Interior and Exterior)
Comments:

J. Fireplaces and Chimneys
Comments:

The fireplace appears to be in functional condition during the time of inspection.



Chimney:
Visual inspection, however the gas was not turned on during the time of the inspection.



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- K. Porches, Balconies, Decks, and Carports**
Comments:

II. ELECTRICAL SYSTEMS

- A. Service Entrance and Panels**
Comments:

The Service panel was made by federal Pacific. Federal Pacific service panels are reputed to have a high rate of circuit breaker failure which can result in a fire or shock/electrocution.

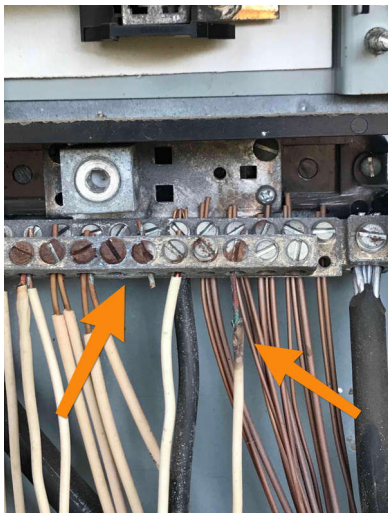
The Neutral wires are double lugged at the bus bar in the electrical main panel.

1: Frayed Sheathing

🔴 Recommendation

Wires on service entrance are damaged or frayed. Recommend contacting your electric utility company or a qualified electrician to evaluate and repair.

Recommendation: Contact a qualified electrical contractor.



2: Panel Missing Labels

🔴 Recommendation

Electrical panel does not have labels. Recommend a qualified electrician test and properly label all switches.

Recommendation: Contact a qualified electrical contractor.

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B. Branch Circuits, Connected Devices, and Fixtures

Type of Wiring: Copper

Comments:

1: Improper Wiring

🔴 Recommendation

Improper wiring was observed at the time of inspection. Recommend a licensed electrician evaluate and repair. In the bedroom closest to the front yard, the receptacles had an open ground.

Recommendation: Contact a qualified electrical contractor.



2: No GFCI Protection

🔴 Recommendation

No GFCI protection present in bedrooms. Recommend licensed electrician upgrade by installing ground fault receptacles in all locations.

[Here is a link](#) to read about how GFCI receptacles keep you safe.

Recommendation: Contact a qualified electrical contractor.

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III. HEATING, VENTILATION & AIR CONDITIONING SYSTEMS

A. Heating Equipment

Brand: Unable to determine during the time of inspection.

Energy Source: Gas

Type of System: Heat Pump



Comments:

Heating Equipment. :

Unable to inspect heating equipment during the time of inspections, due to obstruction in the attic. The gas was not on during the time of the inspection.



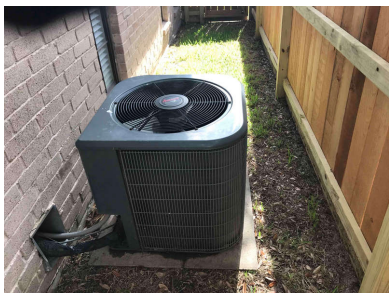
B. Cooling Equipment

Type of System: Electric, Central Air Conditioner

Comments:

Satisfactory, Note: The AC unit is 14 years old and showing signs of normal age and use and continues to function as designed. However, due to the age of the unit, I would recommend having the unit checked by a licensed Professional.

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1: Insulation Missing or Damaged

🔴 Recommendation

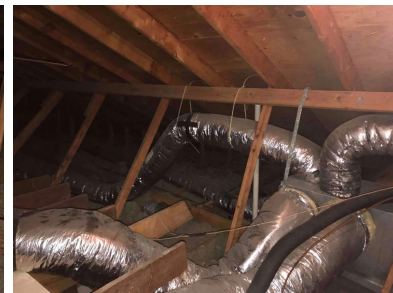
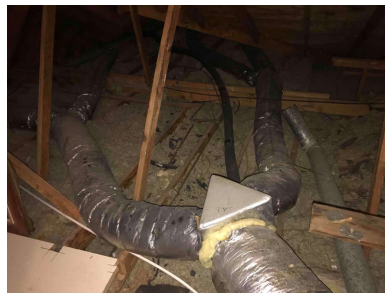
Missing or damaged insulation on refrigerant line can cause energy loss and condensation.

Recommendation: Contact a qualified HVAC professional.



C. Duct System, Chases, and Vents

Comments:



IV. PLUMBING SYSTEMS

A. Plumbing Supply, Distribution Systems, and Fixtures

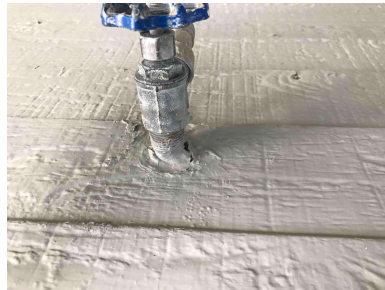
Material - Distribution: Hose

Material - Water Supply: Unknown

Comments:

There was no backflow preventer on the outside faucet.

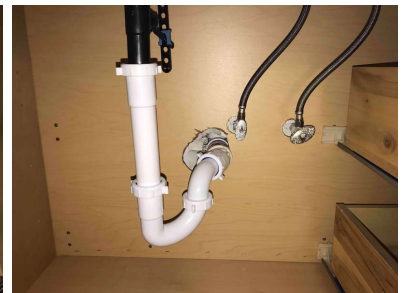
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B. Drains, Wastes, & Vents

Drain Size: 2"

Material: PVC



Comments:

1: Poor/Slow Drainage

🚫 Recommendation

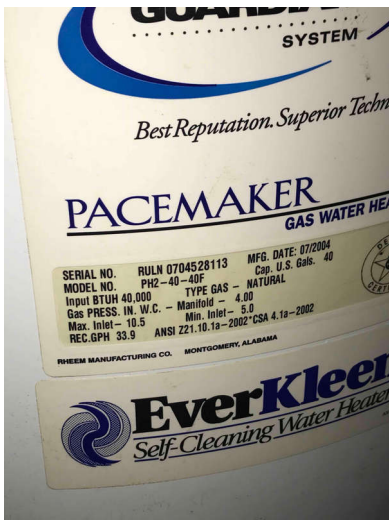
Poor/slow drainage was observed at time of inspection. Recommend a qualified plumber evaluate and repair.

Recommendation: Contact a qualified plumbing contractor.

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- C. Water Heating Equipment**
Manufacturer: Pacemaker
Power Source: Gas
Capacity: 40 Gallons



Location: Attic

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Comments:

Due to the gas not being on during the inspection, a on visual inspection was conducted.

- D. Hydro-Massage Therapy Equipment**

Comments:

V. APPLIANCES

- A. Dishwashers**

Comments:

- B. Food Waste Disposers**

Comments:

Satisfactory during the time of inspection.

- C. Range Hood and Exhaust Systems**

Exhaust Hood Type: None



Comments:

Satisfactory during the time of inspection.

- D. Ranges, Cooktops, and Ovens**

Range/Oven Energy Source: Gas

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Range/Oven Brand: Unknown

Comments:

The gas was not on during the inspection. Therefore, the oven and burners were not able to be tested.

E. Microwave Ovens

Comments:

Satisfactory during the time inspection.

F. Mechanical Exhaust Vents and Bathroom Heaters

Comments:

Satisfactory during the time of inspection.

1: Bathroom vents

🚫 **Recommendation**

Recommend that Bathroom vents be cleaned.

Recommendation: Contact a qualified professional.



G. Garage Door Operators

Comments:

H. Dryer Exhaust Systems

Comments:

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VI. OPTIONAL SYSTEMS

F. Other

Smoke Detectors

1: Missing Smoke Detectors

▲ Safety Hazard

There was only 1 smoke detector observed during the time of the inspection. It is recommend that smoke detectors be placed in every sleeping room and all that All smoke alarms be interconnected.

Recommendation: Contact a qualified electrical contractor.