



A PREMIER HOME INSPECTION, LLC

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<https://www.premierinspects.com>



RESIDENTIAL INSPECTION

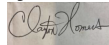
1234 Main St.
Virginia Beach VIRGINIA 23453

Buyer Name

04/06/2019 9:00AM



Inspector
Clay Somers



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It is recommended that any noted deficiencies be evaluated and repaired by a certified contractor of trade.

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For any questions, please contact A Premier Home Inspection, LLC, 3433 Five Gait Trl, Virginia Beach, VA 23453, 757.797.4240.

SUMMARY



MAINTENANCE/MONITOR



DEFICIENCIES



SAFETY/IMMEDIATE
ATTENTION

-  2.1.1 Roof - General: Need sealant(dish, mast, etc)
-  2.2.1 Roof - Shingles: Shingles Damaged
-  2.3.1 Roof - Gutters/drains: Clogged gutters/downspouts
-  3.3.1 Exterior - Exterior issues: Siding buckled
-  3.5.1 Exterior - Windows and Door: Caulking
-  6.1.1 Interior - Electrical: Light fixture-open lamp
-  6.2.1 Interior - Floors, Walls, Ceilings: Ceiling-minor cracks
-  6.2.2 Interior - Floors, Walls, Ceilings: Walls-minor crack
-  6.4.1 Interior - Stairs/Handrails/Guardrails: Handrail missing 3 steps
-  6.5.1 Interior - Windows and Door: Door-won't latch
-  7.1.1 Bathrooms - Bathub: Caulking at surround
-  7.1.2 Bathrooms - Bathub: Stopper issue
-  7.4.1 Bathrooms - Exhaust Fan: Noisy
-  7.7.1 Bathrooms - Sink/countertop: Backsplash sealant
-  7.7.2 Bathrooms - Sink/countertop: Sink Drain Flex pipe
-  8.2.1 Plumbing - Supply Lines: Polybutylene
-  13.2.1 Attic - Attic Hatch: Access cover damage
-  13.3.1 Attic - Electrical: Splices Not in Box
-  14.1.1 Crawlspace - General: Pest Evidence
-  14.3.1 Crawlspace - Substructure: Prior moisture on joists

1: INSPECTION DETAILS

Information

Start Time 130	Finish Time 430	Ground Condition Damp
Present at time of the inspection Client	Property Occupancy Yes	Temperature 55 Fahrenheit
Weather Condition Partly Cloudy	Rain in the last few days Yes	Structure Details: Structures Inspected House, Attached Garage, Pool
Structure Details: Type of Structure Single Family	Structure Details: Age of the Structure 27	Structure Details: Foundation Type Crawlspace
Structure Details: Structure Faces East	Structure Details: Utilities All Utilities on	The following items have been excluded from the inspection. Irrigation system, Shed, Swimming pool

Category description

Listed below is a description of the Categories used throughout the report to help understand the severity of an item. Any items list in the below categories may be based on the inspectors opinion. These categories are not designed to be considered as an enforceable repair or responsibility of the current homeowner, but designed to inform the current client of the current condition of the property and structure. They may be used in negotiations between real estate professionals.

Maintenance/Monitor = The item, component, or system while perhaps is functioning as intended may be in need of **minor** repair, service, or maintenance; is showing wear or deterioration that could result in an adverse condition at some point in the future; or consideration should be made in upgrading the item, component, or system to enhance the function, efficiency, and/or safety. Items that fall into this category frequently be addressed by a **homeowner or Licensed Handyman** and are considered to be routine homeowner maintenance (DIY) or recommended upgrades.

Deficiencies = The item, component, or system while perhaps functioning as intended is in need of **moderate** repair, service, is showing signs of wear or deterioration that could result is an adverse condition at some point in the future; consideration should be made in upgrading the item, component, or system to enhance the function, efficiency and/or safety. Items falling into this category can frequently be addressed by a **licensed handyman or qualified contractor of trade** and are not considered routine maintenance or DIY items.

Safety & Immediate Attention = The item, component, or system poses a safety concern to occupants in or around the home. Some listed concerns may have been considered acceptable for the time of the structures construction, but pose a current risk.

The item, component or system is not functioning as intended, or needs further inspection by a **qualified license contractor of trade**; possible damage to the structure, item, or component may occur. Repairs may be possible to satisfactory condition with out repair.

Overview

A home inspection is not a pass or fail type of inspection. It is a visual only evaluation of the conditions of the systems and accessible components of the home designed to identify areas of concern within specific systems or components defined by the State of Virginia Standards of Practice, that are both observed and deemed material by the inspector at the exact date and time of inspection. Conditions can and will change after the inspection over time. Future conditions or component failure can not be foreseen or reported on. Components that are not readily accessible can not be inspected. Issues that are considered as cosmetic are not addressed in this report. (Holes, stains, scratches, unevenness, missing trim, paint and finish flaws or odors). It is not the intent of this report to make the house new again. Any and all recommendations for repair, replacement, evaluation, and maintenance issues found, should be evaluated by the appropriate trades contractors within the clients inspection contingency window or prior to closing, which is contract applicable, in order to obtain proper dollar amount estimates on the cost of said repairs and also because these evaluations could uncover more potential issues than able to be noted from a purely visual inspection of the property. This inspection will not reveal every concern or issue that exists, but only those material defects that were observable on the day of the inspection. This inspection is intended to assist in evaluation of the overall condition of the dwelling only. This inspection is not a prediction of future conditions and conditions with the property are subject to change the moment we leave the premises.

Left or right of home

When the direction of "Left or Right" is mentioned, it is a description of the area of the house, facing the house from the street looking towards the house, unless otherwise stated.

Limitations

Structure Details

OCCUPIED

Some areas and items at this property were obscured by furniture, stored items, or debris. This often includes but is not limited to walls, floors, windows, inside and under cabinets, under sinks, on counter tops, in closets, behind window coverings, under rugs or carpets, and under or behind furniture. Areas around the exterior, under the structure, in the garage and in the attic may also be obscured by stored items. The inspector in general does not move personal belongings, furnishings, carpets or appliances. When furnishings, stored items or debris are present, all areas or items that are obscured, concealed or not readily accessible are excluded from the inspection. The client should be aware that when furnishings, stored items or debris are eventually moved, damage or problems that were not noted during the inspection may be found.

2: ROOF

Information

General: Roof Type

Cross-gable

General: Roof covering

Asphalt/Fiberglass Shingles

General: Estimated roof age(main)

10 year(s)

General: Roof Drainage

Gutter system

Shingles: Layers Visible

One Layer

Shingles: Representative Shingle condition

General: Roof Inspection method

Viewed from eaves with ladder, Partial Traverse

We normally conduct our typical roof inspection by walking on the roof's surface in what we call the "random walk" methodology. This method of inspection is not intended to cover every square inch of the roof's surface, nor will it. Further we could not recreate the route of a random walk even if we tried to. We do arrive at an overall impression of the roof's condition developed during this random walk inspection and extrapolate it to the entire roof's surface.

If any discrepancies are in fact identified, it is recommended that to accurately determined the scope of the actual discrepancies, as well as any cost of correction, you consult with a licensed roofing contractor. Not all roof will be walked, dimension, slope, weather, etc may allow the roof to be accessed.

General: Roof Pictures



Recommendations

2.1.1 General

NEED SEALANT(DISH, MAST, ETC)

Maintenance/Monitor

For rooftop items such as dish antennas, guy wires or masts were missing sealant or had substandard sealant. Leaks can occur as a result. This is a conducive condition for wood-destroying organisms. Recommend that a qualified person apply approved sealant where necessary.

Recommendation

Contact a qualified roofing professional.



Chimney chase

2.2.1 Shingles

SHINGLES DAMAGED

Deficiencies

One or more composition shingles were Damaged. Recommend that a qualified contractor repair as necessary. For example, by repairing or replacing shingles. This can reduce the life expectancy of the roofing material.

Recommendation

Contact a qualified roofing professional.



Rear garage near gutter edge

2.3.1 Gutters/drains



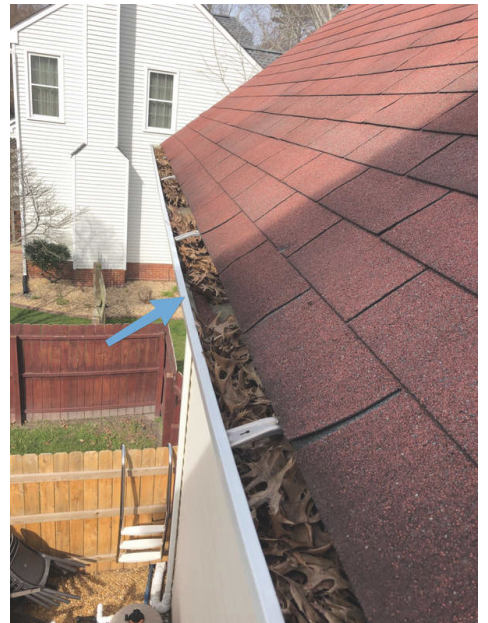
Maintenance/Monitor

CLOGGED GUTTERS/DOWNSPOUTS

Significant amounts of debris have accumulated in one or more gutters or downspouts. Gutters can overflow and cause water to come in contact with the building exterior, or water can accumulate around the foundation. This is a conducive condition for wood-destroying organisms. Recommend cleaning gutters and downspouts now and as necessary in the future.

Recommendation

Recommended DIY Project



3: EXTERIOR

Information

General: Foundation Material

Brick

General: Exterior wall structure

wood Frame

General: Wall Covering

Brick Veneer

General: Driveway Material

Concrete

General: Exterior doors

Metal w/Window

General: Garage Door Material

Metal

General: Fencing

Wood

General: Sidewalk/Patio Material

Concrete

General: Vehicle Parking

Attached Garage, Driveway

Limitations

General

POOL, SPA EXCLUDED

A swimming pool and/or spa were installed on the premises. Pools, spas and related pumps, heaters, filters, electric or gas-fired systems, buildings, decks, landings and stairs are specialty systems and are excluded from this inspection. Comments in this report related to pools, spas and related equipment are made as a courtesy only and are not meant to be a substitute for a full evaluation by a qualified specialist. Many potential safety, maintenance and/or repair issues related to the pool and/or spa may exist. Recommend the following:

- Have a qualified specialist fully evaluate the pool and/or spa, and related systems as mentioned above
- Consult with the property owner about past maintenance and repairs, and review available documentation about installed systems
- Research safety and maintenance issues related to pools and spas

Recommendations

3.3.1 Exterior issues

SIDING BUCKLED

Th siding is buckled in one or more areas. It could be due to sun reflections or a grill that was used too closely.

Recommendation

Contact a qualified professional.



Maintenance/Monitor



3.5.1 Windows and Door



Maintenance/Monitor

CAULKING

Caulk was *missing / deteriorated / substandard* in some areas. For example, *around windows / around doors / at siding butt joints / at siding-trim junctions / at wall penetrations*. Recommend that a qualified person renew or install caulk as necessary. Where gaps are wider than 1/4 inch, an appropriate material other than caulk should be used.

Recommendation

Contact a qualified handyman.



Left Rear

4: KITCHEN

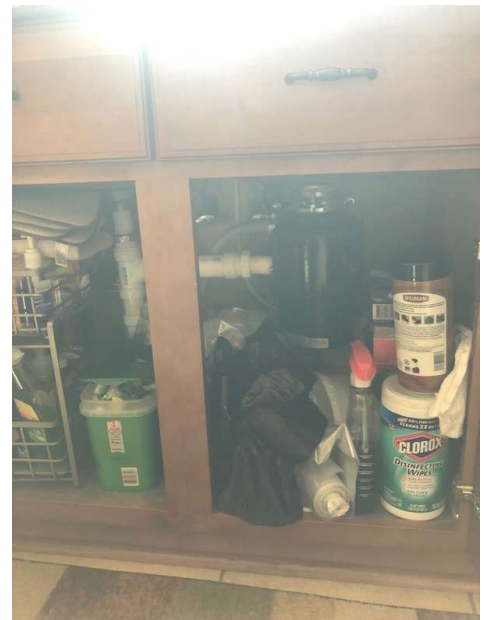
Information

Sink: Running water and below sink



Limitations

Sink
STORED ITEMS



5: APPLIANCES

Information

General: Dishwasher

LG

General: Oven

Kenmore

Hood/Vent: Normal operation

The vent operated normal.

General: Disposer

Badger

General: Refrigerator

Kenmore

Microwave: Normal operation

The Microwave operated as expected.

General: Microwave

Whirlpool

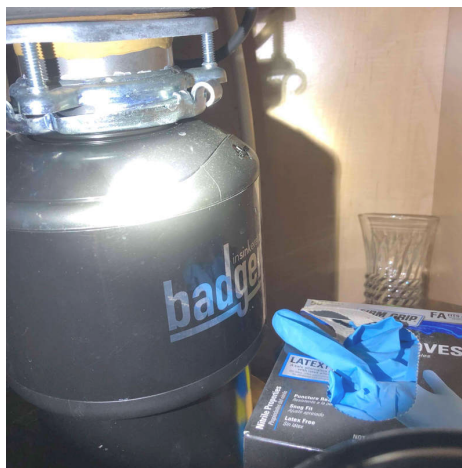
General: Stove

Kenmore

Range-Cooktop-Oven: Normal operation

The heating elements for the oven and stove top functioned as expected.

General: Appliance Pictures



Garbage Disposal: Normal operation

The unit is functional as expected. The unit was turned on briefly and operated as expected and appears to be in functional condition.

- 1) The chopping was no noisier than typically expected.
- 2) The rubber splashguard was in reasonable condition.
- 3) No leaks were found.

Refrigerator: Chiller and freezer temp

36 - -4

**Refrigerator: Water and Ice maker**

There is an automatic ice maker installed,

The ice maker tray was full.

The automatic ice maker was found in the ON position.

We urge you to verify the units proper operation after it has been running for sometime.

6: INTERIOR

Information

Floors, Walls, Ceilings: Room Pictures

Floors, Walls, Ceilings: Wall material/covering
Drywall

Smoke and CO alarms: Smoke Alarms Present
Yes

Recommendations

6.1.1 Electrical

Deficiencies

LIGHT FIXTURE-OPEN LAMP

Lamp holders or light fixtures with fully or partially exposed bulbs are installed in one or more closets. This is a safety hazard due to the risk of fire. Flammable stored items may come into contact with hot bulbs, and hot fragments from broken bulbs may fall on combustible materials. Standard building practices require closet lighting to use fluorescent light fixtures, or to use fully enclosed incandescent fixtures. Installing a compact fluorescent lamp in a lamp holder is not an acceptable practice. A qualified electrician should replace closet lights as necessary and as per standard building practices.

Recommendation

Contact a qualified electrical contractor.



Master closet



Master closet

6.2.1 Floors, Walls, Ceilings

Maintenance/Monitor

CEILING-MINOR CRACKS

Minor cracks were found in ceilings in one or more areas. They do not appear to be a structural concern, but the client(s) may wish to repair these for aesthetic reasons.

Recommendation

Contact a qualified drywall contractor.



Kitchen

6.2.2 Floors, Walls, Ceilings

WALLS-MINOR CRACK

Minor cracks were found in walls in one or more areas. They do not appear to be a structural concern, but the client(s) may wish to repair these for aesthetic reasons.

Recommendation

Contact a qualified drywall contractor.



Maintenance/Monitor



Dining Room

6.4.1 Stairs/Handrails/Guardrails

HANDRAIL MISSING 3 STEPS

Handrails at one or more flights of stairs were missing. This is a potential fall hazard. Handrails should be installed at stairs with four or more risers or where stairs are greater than 30 inches high. Recommend that a qualified contractor install handrails where missing and per standard building practices.

Recommendation

Contact a qualified professional.



Deficiencies



2nd floor above garage

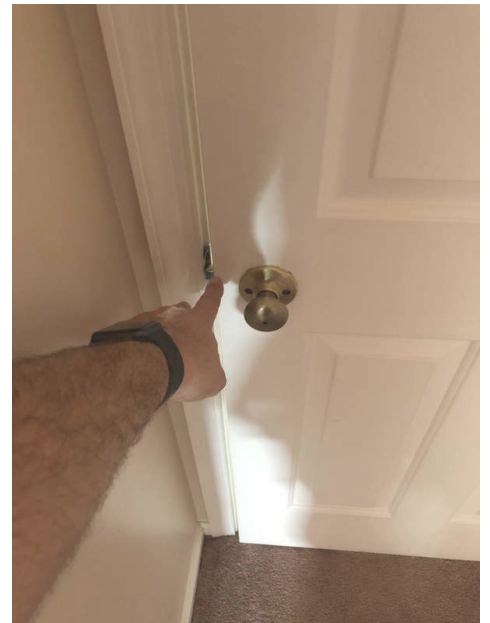
6.5.1 Windows and Door

 Maintenance/Monitor**DOOR-WON'T LATCH**

One or more doors will not latch when closed. Repairs should be made as necessary, and by a qualified contractor if necessary. For example, aligning strike plates with latch bolts and/or replacing locksets.

Recommendation

Contact a qualified door repair/installation contractor.



2nd floor to room over garage

7: BATHROOMS

Information

Bathub: Jetted Tub operation

The jetted tub operated as expected.



Bathub: Running water

Running water

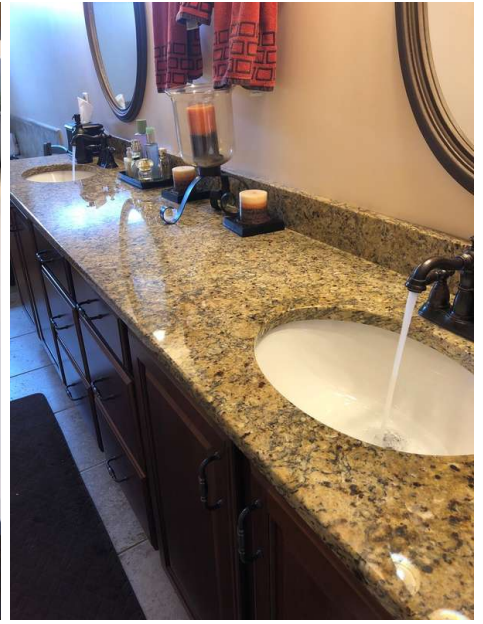


Floors, Walls, Ceilings: Wall material/covering

Drywall

Shower: Running water



Sink/countertop: Running water and under sink area**Limitations**

Sink/countertop

UNDER SINK

There are stored items, under the sink can not be fully evaluated.



Recommendations

7.1.1 Bathub

 Maintenance/Monitor

CAULKING AT SURROUND

Caulk is missing or deteriorated above one or more bathtubs, where the tub surround meets the tub. It should be replaced where deteriorated and/or applied where missing to prevent water intrusion and damage to the wall structure.

Recommendation

Recommended DIY Project



2nd floor Bathroom



2nd floor Bathroom



2nd floor Bathroom

7.1.2 Bathub

 Deficiencies

STOPPER ISSUE

The bath tub stopper mechanisms are missing, or need adjustment or repair. Stopper mechanisms should be installed where missing and/or repairs should be made so sink stoppers open and close easily.

Recommendation

Contact a qualified plumbing contractor.



Master Bathroom

7.4.1 Exhaust Fan

NOISY

One or more exhaust fans are noisy or vibrate excessively. A qualified contractor should evaluate and replace the fan(s) or make repairs as necessary.

Recommendation

Contact a qualified electrical contractor.

Deficiencies



1st Floor Bathroom



2nd floor Bathroom

7.7.1 Sink/countertop

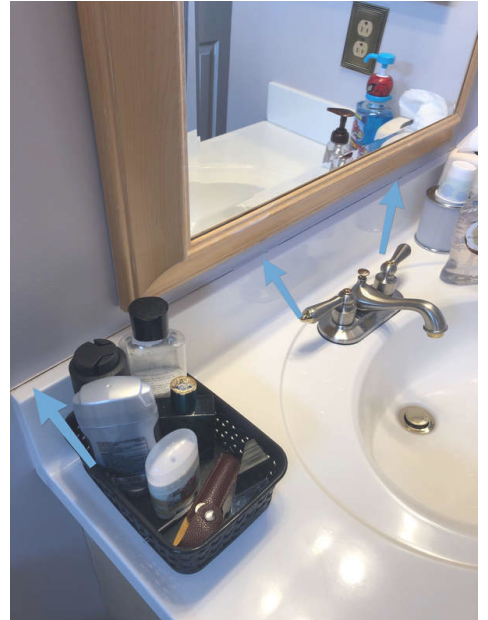
BACKSPLASH SEALANT

Maintenance/Monitor

Caulk is missing and/or deteriorated where counter tops meet back splashes in wet areas, such as around sinks. Caulk should be replaced where deteriorated and/or applied where missing to prevent water damage.

Recommendation

Recommended DIY Project



2nd floor Bathroom

7.7.2 Sink/countertop

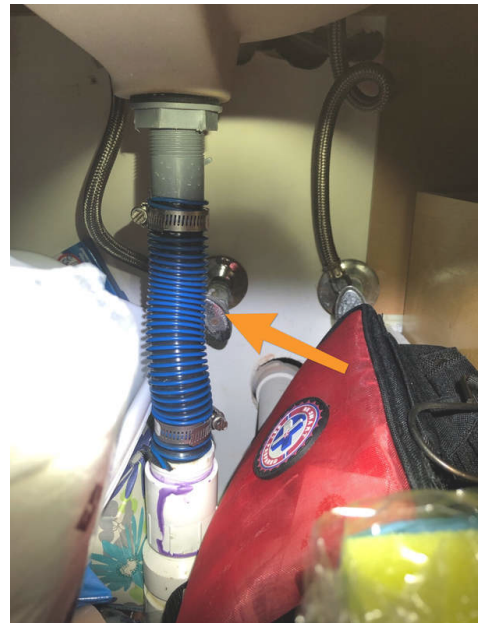
SINK DRAIN FLEX PIPE

Deficiencies

One or more sink drains use flexible drain pipe. This type of drain pipe is more likely to clog than smooth wall pipe. Recommend having a qualified plumber replace this pipe with standard plumbing components (smooth wall pipe) to prevent clogged drains.

Recommendation

Contact a qualified plumbing contractor.



1st Floor Bathroom

8: PLUMBING

Information

General: Location of Main Shut off

Meter

General: Water Pressure

58 PSI



General: Location of Water meter

Front by curb



General: Location of main fuel shut off

Meter

General: Service Pipe to house

Not Visible

General: Interior Supply piping

Polybutylene, Copper

General: Water Source

Public Water

General: Drain Pipe

PVC

General: Vent Pipe

PVC

General: Waste Pipe

PVC

General: Plumbing In Walls

As is typical of most buildings, the majority of the supply piping is concealed from view. Basically it is installed inside the walls and under the floors. Where the supply piping was noted, it was found to be copper. This is an excellent water piping material with an indefinite lifespan.

Recommendations

8.2.1 Supply Lines

POLYBUTYLENE

What appears to be Polybutylene plastic water supply piping was found. This was commonly used in manufactured homes from the 1980s through 1995. Other plastics such as PEX or CPVC have been used since then. Some fittings with polybutylene piping have a history of failure that results in leaks. Recommend reviewing any available disclosure statements for comments on leaks in the water supply system. Much of the water supply piping is typically concealed in walls, floors and/or ceilings, and the inspector does not guarantee that leaks don't exist as part of this inspection. If concerned, have a qualified plumber review this system and make repairs if necessary.



Recommendation

Contact a qualified plumbing contractor.



9: WATER HEATER

Information

Water Heater: Serial #

Geln0409A02197

Water Heater: Model #

PG40T09AVH00

Water Heater: Estimated Age

10 Years

Water Heater: Energy Source

Natural Gas

Water Heater: Manufacturer

General Electric

Water Heater: Location

Garage

Water Heater: Water Temperature

105 Degrees

Water Heater: Capacity

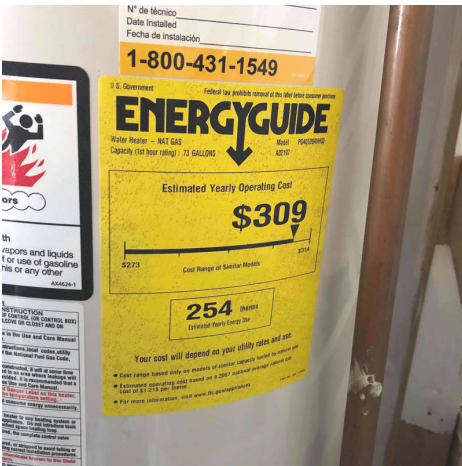
50

Water Heater: Type

Tank



Water Heater: Pictures of Unit



10: ELECTRIC SERVICE

Information

Electric Panel: Amperage

150



Electric Panel: Panel Manufacturer

Square D

Electric Panel: Protection

Breakers

Electric Panel: Service Type

Underground

Electric Panel: Service Voltage

120/240

Electric Panel: Branch Wiring

Copper

Electric Panel: Location of Main Disconnect

Bottom of Panel

Electric Panel: Service Conductor

Multi-strain Aluminum

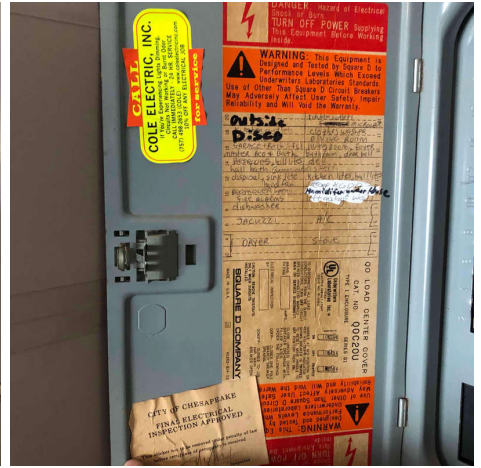
Electric Panel: System Grounding

Grounding Rod

Electric Panel: Location of Main Panel

Garage

Electric Panel: Panel pictures



11: HVAC

Information

General: Cooling source
Electric

General: Heat Source
Natural Gas

General: Distribution
Flex Duct

General: A/C Type
Split System

General: Heat Type
Forced Air

Condensing Unit: Estimated Age
Condensing Unit
3 Year(s)

Condensing Unit: Condenser Model #
4TTR6049J1000AA

Condensing Unit: Condenser Serial #
1608412M2F

Condensing Unit: Manufacturer
Trane



Condensing Unit: Pictures of Unit



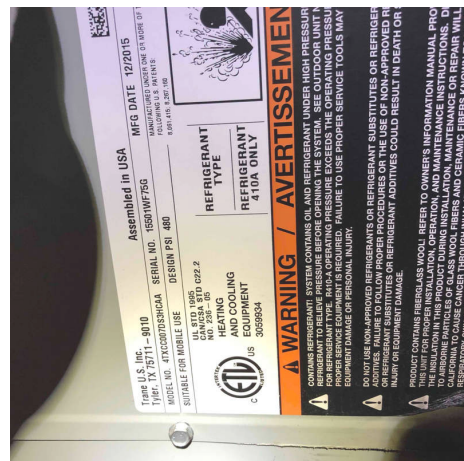
Air Handler: Estimate Age Air Handler
4 Year(s)

Air Handler: Air Handler Model #
4TXCC007DS3HCAA

Air Handler: Air Handler Serial #
15501WF75G

Air Handler: Filter Location
Wall

Air Handler: Manufacturer
Trane



General: Temperature Differential

15 Degrees

This is the number of degrees the system is cooling (or heating) the house air. Normal range for this number is 14-24 degrees when operating the system during hot weather, lower when ambient temperatures are lower. The system functioned as expected when tested and appeared to be serviceable at the time of the inspection. As with all mechanical equipment, the unit may fail at any time without warning. The inspector cannot determine future failures.

General: Filter Advice

Recommend that home buyers replace or clean HVAC filters upon taking occupancy depending on the type of filters installed. Regardless of the type, recommend checking filters monthly in the future and replacing or cleaning them as necessary. How frequently they need replacing or cleaning depends on the type and quality of the filter, how the system is configured (e.g. always on vs. "Auto"), and on environmental factors (e.g. pets, smoking, frequency of house cleaning, number of occupants, the season).

Air Handler: Pictures of unit

12: GARAGE

Information

Vehicle door: Vehicle Door safety

VEHICLE DOOR: safety tips:

1. The garage door is the largest moving object in the home. It can weigh hundreds of pounds. Often it is supported with spring tension. Both the weight of the door itself and the condition of these powerful springs can be dangerous on their own. Combined these two items can become a potentially lethal item. During our inspection, we attempt to inspect vehicle doors for proper operation.
2. Operation of the safety mechanisms should be verified monthly. Switches for door openers should be located as high as practical to prevent children from playing with the door. Children should be warned of the potential risk of injury.
3. Regular lubrication of the garage door tracks, rollers, springs and mounting hardware is recommended. (consult the owners manual or contact the door/opener manufacture. www.overheaddoor.com/Pages/safety-information.aspx)

13: ATTIC

Information

General: Ceiling Structure

Trusses

General: Inspection Method

Traversed

General: Insulation Depth

R19

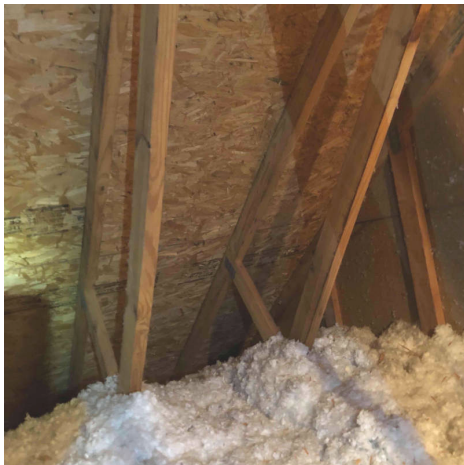
General: Insulation Material

Fiberglass loose

General: Roof Structure

Rafters

General: Attic pictures



Recommendations

13.2.1 Attic Hatch

ACCESS COVER DAMAGE

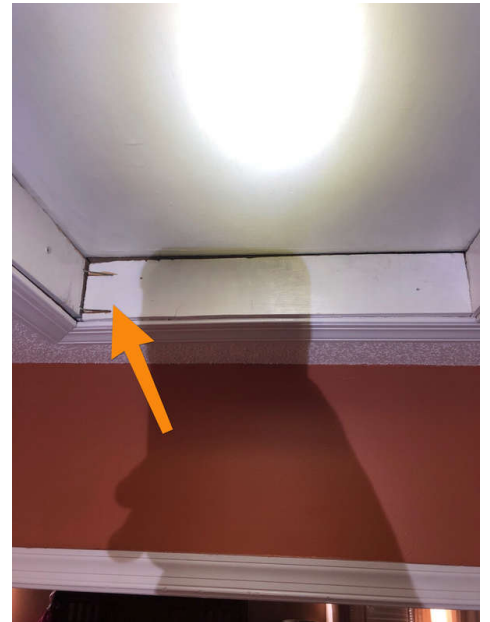


Deficiencies

The drywall access cover is damaged. The exit to cover should be replaced as a repair is not adequate. The cover was repaired once before.

Recommendation

Contact a qualified professional.



13.3.1 Electrical

 Safety/Immediate Attention

SPLICES NOT IN BOX

Wire splices are exposed due to not being contained in a covered junction box. This is a safety hazard due to the risk of shock and fire. A qualified electrician should evaluate and make repairs as necessary. For example, install securely mounted junction boxes with cover plates where needed to contain wiring splices.

Recommendation

Contact a qualified electrical contractor.



14: CRAWLSPACE

Information

General: Beam Material

Solid wood

General: Floor structure

Engineered joists

General: Inspection Method

Traversed

General: Insulation material

None

General: Pier/Support material

Concrete, Steel

General: Debris present

None

General: Vapor Barrier present

Yes

Recommendations

14.1.1 General

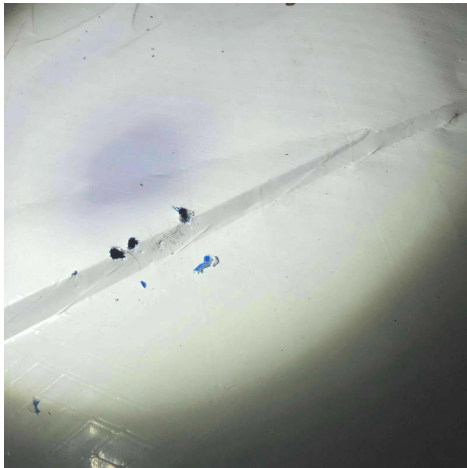
 Deficiencies

PEST EVIDENCE

Evidence of rodent infestation was found in the form of *feces / urine stains / traps / poison / dead rodents / damaged insulation* in the *attic / crawl space / basement / garage / interior rooms* . Consult with the property owner about this. A qualified person should make repairs to seal openings in the structure, set traps, and clean rodent waste as necessary.

Recommendation

Contact a qualified professional.





14.3.1 Substructure

 Deficiencies

PRIOR MOISTURE ON JOISTS

There is staining/film/fungal growth/ microbial growth on a number of floor joists throughout the crawlspace. Areas of minor wood rot have been noted in separate comment. Recommend treatment to crawlspace wood structures to prevent further deterioration of floor/subfloor/ substructure.

Recommendation

Contact a qualified professional.



STANDARDS OF PRACTICE

Inspection details

A Premier Home Inspection is pleased to submit the enclosed report. This report is a professional opinion based on a visual inspection of the readily accessible areas and components of the building. This report is neither an engineering inspection nor an exhaustive technical evaluation. An engineering inspection or a technical evaluation of this nature would cost many times more and take days, if not weeks, to complete.

Please understand that there are limitations to this type of visual inspection. Many components of the property are not visual during the inspection and very little historical information (if any) is provided in advance of, or even during, the inspection. While we believe we can reduce your risk of purchasing a property, we can not eliminate it, nor can or do we assume it. Even the most comprehensive inspection cannot be expected to reveal every condition you may consider significant to ownership. In addition to those improvements recommended in our report, we recommended that you budget for unexpected repairs. On the average, we have found it necessary for you to set aside a percentage of the value of the home on an annual basis that will be sufficient to cover unexpected repairs. This maybe 1 % for a modest home and a higher amount, say maybe 3 % or so, for a more complex and /or an older home with aging systems and some deferred maintenance.

Your attention is directed to your copy of the Pre-Inspection Agreement. It more specifically explains the scope of the inspection and the limit of our ability in performing this inspection. The Standards of Practice and Code of Ethics of the National Association of Certification Home Inspectors (NACHI) prohibit us from making any repairs or referring any contractors. We are not associated with any other party to the transaction of this property, except as may be disclosed by you.

The information provided in this report is solely for your use. A Premier Home Inspection will not release a copy of this report, nor will we discuss its contents with any third party, without your written consent.

We know you had many options in your choice of an inspection company. Thank you for selecting us. We appreciate the opportunity to be your choice in the building inspection industry. Should you have any questions about the general conditions of the house in the future, we would be happy to answer these. There is no fee for your telephone consulting call. Our inspection fees are based on a single visit to the property. If additional visits are required for any reason, additional fees will be assessed.

Roof

The following items or areas are not included in this inspection: areas that could not be traversed or viewed clearly due to lack of access; solar roofing components. Any comments made regarding these items are made as a courtesy only. Note that the inspector does not provide an estimate of remaining life on the roof surface material, nor guarantee that leaks have not occurred in the roof surface, skylights or roof penetrations in the past. Regarding roof leaks, only active leaks, visible evidence of possible sources of leaks, and evidence of past leaks observed during the inspection are reported on as part of this inspection. The inspector does not guarantee or warrant that leaks will not occur in the future. Complete access to all roof and attic spaces during all seasons and during prolonged periods of all types of weather conditions (e.g. high wind and rain) would be needed to do so. Occupants should monitor the condition of roofing materials in the future. For older roofs, recommend that a professional inspect the roof surface, flashings, appurtenances, etc. annually and maintain/repair as might be required. If needed, the roofer should enter attic space(s). Regarding the roof drainage system, unless the inspection was conducted during and after prolonged periods of heavy rain, the inspector was unable to determine if gutters, downspouts and extensions perform adequately or are leak-free.

The report is not intended to be conclusive regarding the life span of the roofing system or how long it will remain watertight in the future. The inspection and report are based on visual and apparent conditions at the time of the inspection. Unless prolonged and extensive rain has fallen just prior to the inspection, it may not be possible to determine if active leakage is occurring. Even Then, numerous features may conceal active leakage. Usually not all attics are readily accessible for inspection. The client is advised to inquire about the presence of any roof leaks with the present owner.

IF Required, Only Qualified, License personnel Should Carry Out Any Repairs Needed.

All roofs require periodic maintenance to achieve typical lifespans, and should be inspected annually. Expect to

make periodical repairs to any roof on a routine basis with replacement at the end of the roof's material Useful Service Life, which may not be equal to its Design Life.

CONCLUSIONS MADE BY THE INSPECTOR DO NOT CONSTITUTE A WARRANTY, GUARANTY, OR POLICY OF INSURANCE.

Exterior

The inspector performs a visual inspection of accessible components or systems at the exterior. Items excluded from this inspection include below-grade foundation walls and footings; foundations, exterior surfaces or components obscured by vegetation, stored items or debris; wall structures obscured by coverings such as siding or trim. Some items such as siding, trim, soffits, vents and windows are often high off the ground, and may be viewed using binoculars from the ground or from a ladder. This may limit a full evaluation. Regarding foundations, some amount of cracking is normal in concrete slabs and foundation walls due to shrinkage and drying. Note that the inspector does not determine the adequacy of seismic reinforcement.

Unless specifically included in the inspection, the following items and any related equipment, controls, electric systems and/or plumbing systems are excluded from this inspection: detached buildings or structures; fences and gates; retaining walls; underground drainage systems, catch basins or concealed sump pumps; swimming pools and related safety equipment, spas, hot tubs or saunas; whether deck, balcony and/or stair membranes are watertight; trees, landscaping, properties of soil, soil stability, erosion and erosion control; ponds, water features, irrigation or yard sprinkler systems; sport courts, playground, recreation or leisure equipment; areas below the exterior structures with less than 3 feet of vertical clearance; invisible fencing; sea walls, docks and boathouses; retractable awnings. Any comments made regarding these items are as a courtesy only.

Interior

The following items are not included in this inspection: security, intercom and sound systems; communications wiring; central vacuum systems; elevators and stair lifts; cosmetic deficiencies such as nail-pops, scuff marks, dents, dings, blemishes or issues due to normal wear and tear in wall, floor and ceiling surfaces and coverings, or in equipment; deficiencies relating to interior decorating; low voltage and gas lighting systems. Any comments made regarding these items are as a courtesy only. Note that the inspector does not evaluate any areas or items which require moving stored items, furnishings, debris, equipment, floor coverings, insulation or similar materials. The inspector does not test for asbestos, lead, radon, mold, hazardous waste, urea formaldehyde urethane, or any other toxic substance. Some items such as window, drawer, cabinet door or closet door operability are tested on a sampled basis. The client should be aware that paint may obscure wall and ceiling defects, floor coverings may obscure floor defects, and furnishings may obscure wall, floor and floor covering defects. If furnishings were present during the inspection, recommend a full evaluation of walls, floors and ceilings that were previously obscured when possible. Carpeting and flooring, when installed over concrete slabs, may conceal moisture. If dampness wicks through a slab and is hidden by floor coverings that moisture can result in unhygienic conditions, odors or problems that will only be discovered when/if the flooring is removed. Determining the cause and/or source of odors is not within the scope of this inspection.

Plumbing

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following.

- 1) Portions of the plumbing system canceled by finishes and/or storage (below sinks etc.) below the structure, or beneath the ground surface are not inspected.
- 2) Water quantity and water quality are not tested unless explicitly contracted for and discussed in this or a separate report.
- 3) Clothes washing machine connections are not inspected.
- 4) Interior of flues or chimneys which are not readily accessible are not inspected.
- 5) Water conditioning systems, solar water heaters, fire and lawn sprinklers, and private waste disposal systems are not inspected unless explicitly contracted for and discussed in this or a separate report.

Please refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Water Heater

The following items are not included in this inspection: solar water heating systems; circulation systems. Any comments made regarding these items are as a courtesy only. Note that the inspector does not provide an

estimate of remaining life on water heaters, does not determine if water heaters are appropriately sized, or perform any evaluations that require a pilot light to be lit.

Electric Service

The following items are not included in this inspection: generator systems, transfer switches, surge suppressors, inaccessible or concealed wiring; underground utilities and systems; low-voltage lighting or lighting on timers or sensors. Any comments made regarding these items are as a courtesy only. Note that the inspector does not determine the adequacy of grounding or bonding, if this system has an adequate capacity for the client's specific or anticipated needs, or if this system has any reserve capacity for additions or expansion. The inspector does not operate circuit breakers as part of the inspection, and does not install or change light bulbs. The inspector does not evaluate every wall switch or receptacle, but instead tests a representative number of them per various standards of practice. When furnishings, stored items or child-protective caps are present some receptacles are usually inaccessible and are not tested; these are excluded from this inspection. Receptacles that are not of standard 110 volt configuration, including 240-volt dryer receptacles, are not tested and are excluded. The functionality of, power source for and placement of smoke and carbon monoxide alarms is not determined as part of this inspection. Upon taking occupancy, proper operating and placement of smoke and carbon monoxide alarms should be verified and batteries should be changed. These devices have a limited lifespan and should be replaced every 10 years. The inspector attempts to locate and evaluate all main and sub-panels. However, panels are often concealed. If panels are found after the inspection, a qualified electrician should evaluate and repair if necessary. The inspector attempts to determine the overall electrical service size, but such estimates are not guaranteed because the overall capacity may be diminished by lesser-rated components in the system. Any repairs recommended should be made by a licensed electrician.

HVAC

The following items are not included in this inspection: humidifiers, dehumidifiers, electronic air filters; solar, coal or wood-fired heat systems; thermostat or temperature control accuracy and timed functions; heating components concealed within the building structure or in inaccessible areas; underground utilities and systems; safety devices and controls (due to automatic operation). Any comments made regarding these items are as a courtesy only. Note that the inspector does not provide an estimate of remaining life on heating or cooling system components, does not determine if heating or cooling systems are appropriately sized, does not test coolant pressure, or perform any evaluations that require a pilot light to be lit, a shut-off valve to be operated, a circuit breaker to be turned "on" or a serviceman's or oil emergency switch to be operated. It is beyond the scope of this inspection to determine if furnace heat exchangers are intact and free of leaks. Condensation pans and drain lines may clog or leak at any time and should be monitored while in operation in the future. Where buildings contain furnishings or stored items, the inspector may not be able to verify that a heat source is present in all "liveable" rooms (e.g. bedrooms, kitchens and living/dining rooms).

Attic

The following items or areas are not included in this inspection: areas that could not be traversed or viewed clearly due to lack of access; areas and components obscured by insulation. Any comments made regarding these items are made as a courtesy only. The inspector does not determine the adequacy of the attic ventilation system. Complete access to all roof and attic spaces during all seasons and during prolonged periods of all types of weather conditions (e.g. high/low temperatures, high/low humidity, high wind and rain, melting snow) would be needed to do so. The inspector is not a licensed engineer and does not determine the adequacy of roof structure components such as trusses, rafters or ceiling beams, or their spacing or sizing.

Some attic areas were inaccessible due to the lack of permanently installed walkways, the possibility of damage to insulation, low height and/or stored items. These areas are excluded from this inspection. We conducted our typical attic inspection by walking through the attic areas as much as possible, in what we call the "random walk" methodology. This method of inspection is not intended to cover every square foot of the attic area, nor will it. Further we could not recreate the route of a random walk even if we tried. We do arrive at an overall impression of the attic's condition developed during this random walk inspection and extrapolate it to the entire attic area. In all the attics area shows normal wear and tear for a home of this age.

Crawlspace

Structural components such as joists and beams, and other components such as piping, wiring and/or ducting that are obscured by under-floor insulation are excluded from this inspection. The inspector does not determine if support posts, columns, beams, joists, studs, trusses, etc. are of adequate size, spanning or spacing. The inspector does not guarantee or warrant that water will not accumulate in the crawl spaces in the future. Complete access to all crawl space areas during all seasons and during prolonged periods of all types of weather conditions (e.g. heavy rain, melting snow) would be needed to do so. The inspector attempts to locate all crawl space access points and areas. Access points may be obscured or otherwise hidden by furnishings or stored items. In such cases, the client should ask the property owner where all access points are that are not described in this inspection, and have those areas inspected. Note that crawl space areas should be checked at least annually for water intrusion, plumbing

leaks and pest activity.