STRILER HOME INSPECTIONS, INC.
508-813-4636
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http://www.strilerhi.com

YOUR INSPECTION REPORT

1234 Main St.
Raynham, MA 02767

Buyer Name
06/03/2019 9:00AM

Inspector
Chuck Striler
Massachusetts License 726-1HI
508-813-4636
chuck@strilerhi.com

Agent
Agent Name
555-555-5555
agent@spectora.com

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About The Home Inspection:
A home inspection is a non-invasive, visual examination of the accessible areas of the property, designed to identify areas of concern within specific systems or components defined by the Massachusetts State Standards of Practice, that are both observed and deemed material by the inspector at the exact date and time of inspection. Any and all recommendations for repair, replacement, evaluation, and maintenance issues found, should be evaluated by the appropriate trades contractors within the clients inspection contingency window or prior to closing, which is contract applicable, in order to obtain proper dollar amount estimates on the cost of said repairs and also because these evaluations could uncover more potential issues than able to be noted from a purely visual inspection of the property.

This inspection will not reveal every concern or issue that exists, but only those material defects that were observable on the day of the inspection. This inspection is intended to assist in the evaluation of the overall condition of the dwelling only. This inspection is not a prediction of future conditions and conditions with the property are subject to change the moment we leave the premises.

Not a Code Inspection:
The General Home Inspection is not a building code-compliance inspection, but a visual inspection for safety and system defects. The Inspection Report may comment on and identify as problems systems, components and/or conditions which may violate building codes, but although safety defects and building code violations may coincide at the time of the inspection, confirmation of compliance with any building code or identification of any building code violation is not the goal of this Inspection Report and lies beyond the scope of the General Home Inspection.

If you wish to ascertain the degree to which the home complies with any applicable building codes, you should schedule a code-compliance inspection.

Photos:
Throughout the inspection report, you may see photos of different systems in need of repair or replacement, as well as other unfavorable conditions. Keep in mind as you look at these photos that they are only examples, other defects may and often do exist. We do not photograph every defect, it would be virtually impossible.

It's important that you remember when an issue is noted that some examples are shown, others may exist, check all areas and repair as needed. Further investigation by yourself or a qualified contractor is needed to locate all issues to be repaired.

"Limitations" Tab:
There may be areas in the report where you'll see a tab to the right of the "Information" tab that says "Limitations". It's very important that you take the time to read those limitations. They explain why we were unable to see or report on an item or system. There may also be additional recommendations there that you should act upon BEFORE the close of sale or your objection deadline.

Older Homes:
An older home may not meet many generally-accepted current building standards. Older homes are inspected within the context of the time period in which they were built, taking into account the generally-accepted building practices of that time period. The Inspection Report will comment on unsafe conditions, but problems will be described as defects at the Inspector's discretion. Homes are not required to be constantly upgraded to comply with newly-enacted building codes but are only required to comply with building codes or generally-accepted standards which existed at the time of original construction. An exception may exist when a home is remodeled, depending on the scope of work. New work must usually comply with building codes in effect at the time in which the remodel work is performed.

Report Terms:
The term "Appears Serviceable" means that an Item appears functional at the time of the inspection and we did not observe conditions that would lead us to believe problems existed with this system or component. Some serviceable items may show wear and tear. Other conditions may be noted in the body of the report. For example, a brand new home with a very expensive kitchen and an older home with a modest kitchen can both be rated as "Appears Serviceable".

The term "Repair as needed" or "Repair is recommended" is an indication that the noted item is in need of repair. Use whatever means necessary to repair the issue, either per the advice and services of a licensed contractor, or yourself.
The term "Near future" means that an item or system is at, or near the end of its useful life. The lifespan of construction materials and systems fluctuates, depending on many things. We cannot be sure when the component or system will fail. You should consider replacement of the item(s), or at a minimum, monitoring of the item(s).

Insect / Pest / Wildlife Concerns:
Inspecting for and reporting on the presence of WDI (Wood Destroying Organisms) activity including, but not limited to: Termites, Powder Post Beetles, Carpenter Ants, Carpenter Bees, etc. is beyond the scope of a home inspection as per the State of Massachusetts Standards of Practice 266CMR and is excluded from this inspection. It is HIGHLY recommended that you have a WDI-Termite inspection prior to the end of your inspection contingency period. Any comments made in this report in regards to such activity was done as a courtesy only, should not be viewed by an all-inclusive activity, and requires further evaluation by a licensed pest control company.

Safety and Care:
While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. During the course of the inspection, the inspector does not enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely affect the health of the inspector or other persons.

Timely Evaluation By Contractors:
Recommendations made by the inspector should be acted upon in a timely manner in order to receive the results of any further evaluation by contractors or engineers before the deadline for negotiation with the seller has passed. If you are unable to get the results of any necessary evaluations before the expiration of your Inspection Objection deadline, you should ask your agent to amend the contract to extend the deadline.

Additional Resources:
Municipal contacts are a good resource prior to purchasing a home.
The Fire Dept. can be contacted for prior fires in the house or flooding that caused them to pump out the house, or oil tank permits and records of removal.
The Police Dept. will have records of the community including registered sex offenders.
The Conservation Department. will have records for flood zone maps.
The Building Dept. will have records of additions.
The Tax Dept. will have plot plans.

SUMMARY

122	5	10	1
ITEMS INSPECTED	MAINTENANCE ITEM	RECOMMENDATION	SAFETY HAZARD

- 5.15.1 Building Exterior / Stairs / Foundation / Bulkhead - Foundation (Exterior): Shrinkage Crack
- 5.15.2 Building Exterior / Stairs / Foundation / Bulkhead - Foundation (Exterior): Cold Pour Seam
- 7.2.1 Garage - Floor: Cracks (Typical)
- 7.2.2 Garage - Floor: Expansion Cracks
- 7.8.1 Garage - Occupant Door (From Garage To Home): Not Self-Closing
- 8.2.1 Basement / Foundation & Structure - Interior Foundation: Poured Concrete (-1/4 Inch Crack)
- 8.2.2 Basement / Foundation & Structure - Interior Foundation: Foundation (Cracks Repaired)
- 8.4.1 Basement / Foundation & Structure - Floor: Common Cracks
- 9.10.1 Plumbing - Sewage Pump: Description
- 10.10.1 Heating - Duct System: Sheet Metal (Humidifier Installed)
- 12.3.1 Electrical - Panel Enclosure & Cover: Panel Enclosure (Missing KO)
- 12.4.1 Electrical - Interior Wiring In Panel: Older Wiring Techniques
- 12.4.2 Electrical - Interior Wiring In Panel: Neutral Bar (Neutral And Ground, Same Screw)
- 12.4.3 Electrical - Interior Wiring In Panel: Breaker (Multi Tap)
- 13.1.1 Attic Structure & Ventilation - Access: Sealed
- 18.1.1 Rodents - Visual Signs: Traps

1: INSPECTION DETAILS

Information

Inspection Details: Inspected By
Chuck Striler

Inspection Details: Start Time
9am

The inspection began at or around the time listed above.

Inspection Details: Finish Time
10:30am

The inspection finished at or around the time listed above.

Inspection Details: Weather Conditions
Clear

Inspection Details: People In Attendance
Buyer(s), Buyer's Agent

Inspection Details: Type of Building
Single Family

Inspection Details: Service(s) Provided
Home Inspection

Inspection Details: Space Below Grade
Basement

Inspection Details: Temperature (Approximate Range)
50-60deg

The temperature at the time of inspection was between the noted range above, measured in Fahrenheit.

2: DRIVEWAY / LOT / WALKWAY / TREES & LANDSCAPING / WALLS

Information

Driveway / Parking Lot: Paving Material(s)
Asphalt

Driveway / Parking Lot: Condition
Appear(s) Serviceable

Walkway(s): Materials
Pavers

Walkway(s): Condition
Appear(s) Serviceable

Retaining Wall(s): Materials
None Present

Lot Drainage: Condition
Appear(s) Serviceable

Drainage At Foundation: Condition
Appear(s) Serviceable

Tree(s): Condition
Appear(s) Serviceable

Landscaping: Condition
Appear(s) Serviceable

Grounds Notes

This inspection is not intended to address or include any geological conditions or site stability information. For information concerning these conditions, a geologist or soils engineer should be consulted.

Any reference to grade is limited to only areas around the exterior of the exposed areas of foundation or exterior walls.

This inspection is visual in nature and does not attempt to determine drainage performance of the site or the condition of any underground piping, including municipal water and sewer service piping or septic systems.

3: ROOF / SKYLIGHT(S) / DRAINAGE SYSTEM(S)

Information

Roof Coverings: Inspection Method
Binoculars

Roof Coverings: Material(s)
Asphalt

Roof Coverings: Condition
Appear(s) Serviceable

Roof Flashings: Condition
Appear(s) Serviceable

Roof Penetrations: Type
Plumbing Vent Stack

Roof Penetrations: Condition
Appear(s) Serviceable

Drainage Systems: Type
Full Gutters, Aluminum

Drainage Systems: Condition
Appear(s) Serviceable

Roof Flashings: Description
Metal

"Flashing" is a general term used to describe multiple products fabricated into shapes used to protect areas of the roof from moisture intrusion. Typical areas of installation include roof and wall penetrations such as vent pipes, chimneys, skylights and areas where dissimilar roofing materials or different roof slopes meet.

Notes: Observation Limits
Company Policy

During your inspection, our inspectors will make every effort to safely view the roof of the home from several vantage points. But, as per our company policy, our inspectors **DO NOT** walk on roofing.

There is the great probability that damage to the roofing material or other components on the roof may occur. In addition to that, the potential for injury to our employees is a chance we are not willing to take.

Therefore, the client is advised that this is a limited review and a qualified roofer should be contacted if a more detailed opinion is desired.

Notes: Lifespan Factors

Lifespan factors (DISCLAIMER)

Because of the many variables which affect the lifespan of roof-covering materials, the Inspector does not provide an estimate of the expected long-term service life of any roof-covering materials. This is in accordance with all inspection industry Standards of Practice.

The following factors can affect the lifespan of roof-covering materials and its ability to shed water:

Roofing material quality: Better quality materials generally last longer.

Installation method: Improper installation may reduce lifespan.
The number of layers: Roofs installed over existing roofs will have reduced lifespan.
Structure orientation: South-facing roofs will have shorter life spans.
The degree of roof slope: Flatter roofs will have shorter life spans.
Climate zone (snow & rain): Harsh climates shorten roof lifespans.
Temperature swings: climates with large daily temperature differentials (within 24-hour cycles) will shorten roof lifespans.
Homesite conditions (overhanging tree branches, wind, etc.)
Roof color: Darker roofs absorb more heat which shortens roof lifespan.
Elevation: Homes at higher elevations are exposed to more ultraviolet (UV) light, which shortens roof lifespan.
Home orientation: Roofs which receive more sun deteriorate more quickly than roofs which receive less sun.
Roof structure ventilation: Poor ventilation shortens roof lifespans.
Quality of maintenance: Poor maintenance will reduce lifespan.

4: CHIMNEY(S) / VENT(S)

Information

Type: Chimney Or Vent Material
Metal, PVC

Type: Chimney Or Vent Condition
Appear(s) Serviceable

Type: Chimney Or Vent Photo(s)

5: BUILDING EXTERIOR / STAIRS / FOUNDATION / BULKHEAD

Information

Exterior Walls Materials: Siding Material(s)
Vinyl

Exterior Walls Materials: Condition
Appear(s) Serviceable

Exterior Trim / Trim Flashing: Materials
Vinyl, Metal

Exterior Trim / Trim Flashing: Condition
Appear(s) Serviceable

Exterior Window Trim: Materials
Vinyl

Exterior Window Trim: Condition
Appear(s) Serviceable

Foundation (Exterior): Materials
Poured Concrete

Foundation (Exterior): Condition
Appear(s) Serviceable

Window Wells: Condition
None Present

Bulkhead: Type
None Present

Observations

5.15.1 Foundation (Exterior)

Maintenance Item

SHRINKAGE CRACK

One or more walls have hairline cracks. They appear to be shrinkage cracks. Shrinkage cracks are caused by the evaporation of water in the mix. This is a normal condition. As the concrete cures and dries it "shrinks" leaving hairline cracks. Seventy-five percent of all shrinkage cracks appear in the first year. Monitor and repair if needed.

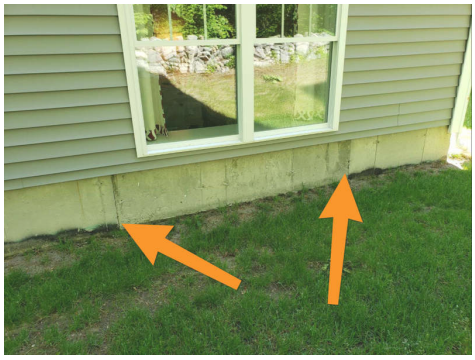
Right

5.15.2 Foundation (Exterior)

Recommendation

COLD POUR SEAM

A cold pour joint was noted. Cold pour joints occur because of the time delay between subsequent "pours" into the foundation forms.



Rear

6: DECKS / PORCHES / BALCONIES

Information

Deck(s): Structure Type
Deck

Deck(s): Materials
Wood

Deck(s): Access
Full

Porch(es): Structure Type
Porch

Porch(es): Materials
Wood & Composite Decking

Deck(s): Condition
Appear(s) Serviceable

Inspection of the structures typically includes the following including the following:
Attachment to the home (fastening method and flashing)
Structural integrity
Planking (flooring)
Guardrails
Finish coatings
Stairs (including treads, risers, attachment to the structure, supports and handrail).

Porch(es): Condition
Appear(s) Serviceable

Inspection of the structures typically includes the following including the following:
Attachment to the home (fastening method and flashing)
Structural integrity
Planking (flooring)
Guardrails
Finish coatings
Stairs (including treads, risers, attachment to the structure, supports and handrail).

7: GARAGE

Information

Type: Type
Attached

Floor: Access
Full

Floor: Condition
Appear(s) Serviceable

Ceiling: Access
Full

Ceiling: Condition
Appear(s) Serviceable

Walls & Firewalls: Access
Full

Walls & Firewalls: Condition
Appear(s) Serviceable

Support Post(s): Access
None Present

Overhead Door(s): Condition
Appear(s) Serviceable

Door Opener(s): Condition
Appear(s) Serviceable

Occupant Door (From Garage To Home): Condition
Appear(s) Serviceable

Observations

7.2.1 Floor

CRACKS (TYPICAL)

Maintenance Item

Typical cracks were noted. Seal as needed.

Recommendation

Contact a handyman or DIY project

7.2.2 Floor

EXPANSION CRACKS

Recommendation

"Expansion Cracks" were noted in the floor. This is an intentional building method designed to limit the anticipated cracking that occurs in concrete floors and is not a structural concern.

7.8.1 Occupant Door (From Garage To Home)

Safety Hazard

NOT SELF-CLOSING

The door from the garage to the home should have self-closing hinges to help prevent the spread of a fire to living space. Recommend installing self-closing hinges.

Recommendation

Contact a qualified handyman.

8: BASEMENT / FOUNDATION & STRUCTURE

Information

Interior Foundation: Access
Partial

Interior Foundation: Material
Concrete

Interior Foundation: Condition
Appear(s) Serviceable

Exit / Entry Door: Type
Steel

Exit / Entry Door: Condition
Appear(s) Serviceable

Floor: Access
Partial

Floor: Condition
Appear(s) Serviceable

Means Of Egress: Condition
Full Egress, Walk Out Door

Sills: Access
Partial

Sills: Condition
Appear(s) Serviceable

Floor Joists: Access
Partial

Floor Joists: Condition
Appear(s) Serviceable

Subfloor: Access
Inaccessible

Beams: Access
Partial

Beams: Material
Prelaminated (LVL)

Beams: Condition
Appear(s) Serviceable

Posts / Columns: Access
Partial

Posts / Columns: Type
Steel

Posts / Columns: Condition
Appear(s) Serviceable

Dehumidifier: Condition
None Present

Basement Access: Access
Partially Finished

Areas hidden from view by finished walls or stored items cannot be judged and are not a part of this inspection.

Basement Access: Basement Photos

Floor: Type
Concrete

All concrete floor slabs experience some degree of cracking due to shrinkage in the drying process.

In most instances, floor coverings prevent recognition of cracks or settlement in all but the most severe cases. Where carpeting and other floor coverings are installed, the materials and condition of the flooring underneath cannot be determined.

Means Of Egress: **Basement Egress Information**

Egress is another word for exit and is used in building code to refer to the means by which somebody can exit a building.

A basement emergency exit normally comes in the form of egress windows. These are large windows that can be opened up to allow people in the basement to easily get out and allow firefighters in. Because many house fires begin in the basement, laws in almost every part of the country require these windows in finished basement bedrooms; and you can face serious fines and penalties if they're not installed to code.

For safety, it is important that a bedroom a place where someone would be sleeping needs to have at least two ways to get out if necessary. The first means of egress is a door, the one that allows entry and exit into the room. The second would be a code compliant window or windows.

Not all basement windows are egress windows. For instance, if you have an unfinished basement, it may have ventilation windows. These probably wouldn't meet the code for egress windows. For a bedroom, one of the means of egress needs to go to the outside of the building.

For more information regarding basement egress and safety, check with your local building inspector.

Limitations

Interior Foundation

PARTIAL ACCESS

Finish Materials, Stored Items

One or more areas of the foundation were partially inaccessible at the time of inspection due to the noted item(s).

Floor

PARTIALLY INACCESSIBLE

Storage

Areas that are covered with rugs, vinyl tiles, ceramic tiles, wood, stored items, etc. are inaccessible.

Sills

PARTIAL ACCESS

Finish Materials, Insulation

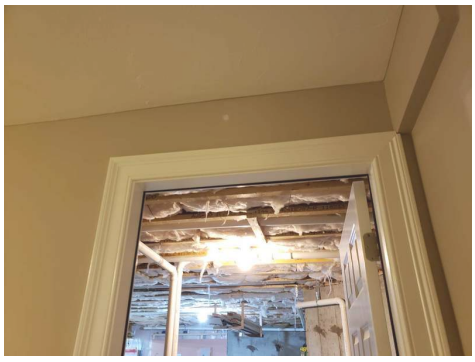
One or more sills was only partially accessible due to the item(s) noted above.

Floor Joists

PARTIAL ACCESS

Insulation, Finished Ceiling

One or more floor joists were only partially accessible due to the item(s) noted above.



Subfloor

PARTIAL ACCESS

Insulation, Finished Ceiling

One or more areas of the subfloor were only partially accessible due to the item(s) noted above.

Observations

8.2.1 Interior Foundation

Maintenance Item

POURED CONCRETE (-1/4 INCH CRACK)

One or more cracks less than 1/4 inch were noted in the foundation walls. Consider sealing and monitoring for future cracking.

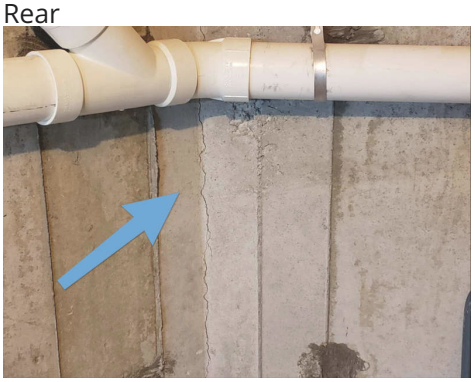
Recommendation

Contact a handyman or DIY project

Rear

Right

Front



Front

8.2.2 Interior Foundation

Recommendation

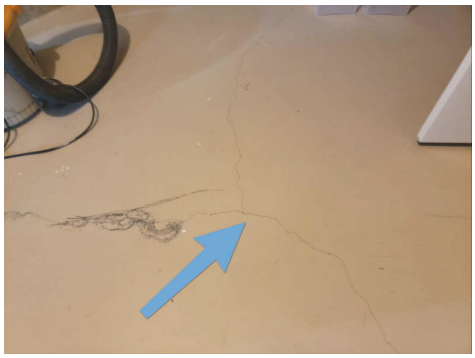
FOUNDATION (CRACKS REPAIRED)

Epoxy repairs have been made, consult owner for warranty.

8.4.1 Floor

Maintenance Item

COMMON CRACKS



Common cracks were visible in the basement floor. This type of cracking can have several causes

- concrete shrinkage, which is a normal part of the concrete curing process and not a structural concern
- post-construction settling due to incomplete compaction of the soil beneath the slab during construction. This also is not an unusual condition and typically would not continue.
- heaving of the soil due to the presence of expansive soils.

Determining the cause of cracking lies beyond the scope of the General Home Inspection. Consider repairing cracks as needed and monitor.

Recommendation

Contact a handyman or DIY project

9: PLUMBING

Information

Water Source: Water Source
Public

Main Water Supply: Main Water Shutoff Photo

Main Water Supply: Piping Material
Copper

Domestic Water Supply System: Material
Plastic

Domestic Water Supply System: Condition
Appear(s) Serviceable

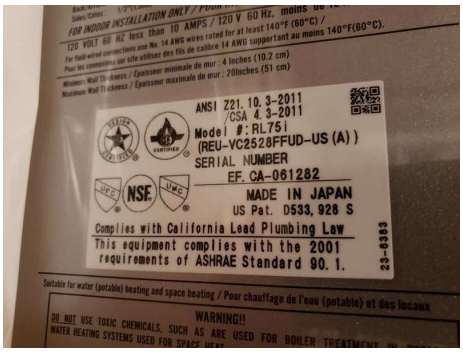
Drain, Waste, & Vent Systems: Main Cleanout Photo

Drain, Waste, & Vent Systems: Material
PVC

Drain, Waste, & Vent Systems: Condition
Appear(s) Serviceable

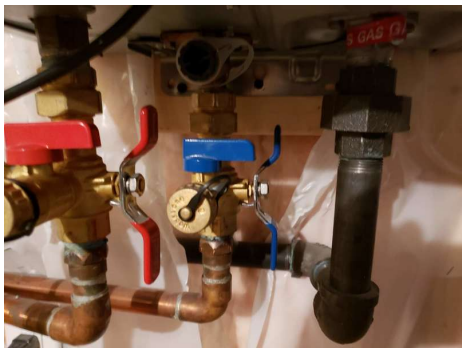
Domestic Hot Water System(s): Hot Water System Photo

Domestic Hot Water System(s): Manufacturer's Label Photo



Domestic Hot Water System(s): Water Supply Shutoff Photo

Below



Domestic Hot Water System(s): Type

On Demand

Domestic Hot Water System(s): Condition

Appear(s) Serviceable

Sump Pump(s): Condition

None Present

Sewage Pump: Condition

Appear(s) Serviceable

Oil / Natural Gas / Propane System(s): Fuel Supply Photo(s)

Oil / Natural Gas / Propane System(s): Condition

Appear(s) Serviceable

Laundry: Laundry Photo

Toilet(s): Condition

Appear(s) Serviceable

Main Water Supply: Condition

Appear(s) Serviceable

Our comments on the condition of the Main Water Shutoff are based solely on our visual observation, we do NOT test valves for operation.

Laundry: Appliances Not Tested

Laundry appliances, if installed, are not tested or moved during the inspection and the condition of any walls or flooring hidden by them cannot be judged. Drain lines and water supply valves serving washing machines are not operated. Water supply valves may be subject to leaking if turned.

Laundry: **Use Stainless Steel Hoses**

We recommend using stainless steel type hoses, if not already in use, to prevent potential water damage from a burst hose.

Sinks / Vanity: **Condition**

Appear(s) Serviceable

Items that are typically checked include but are not limited to:

- Faucets
- Supply Lines
- Supply Line Shutoffs
- Drain Pipes
- Functional drainage.

Tubs / Showers: **Condition**

Appear(s) Serviceable

Items that are typically checked include but are not limited to:

- Mixing Valves
- Shower Heads
- Functional Drainage
- Stopper Function

Limitations

Domestic Water Supply System

INACCESSIBLE DUE TO FINISH MATERIALS

Some supply lines were not fully accessible due to the wall, floor, and or ceiling coverings.

Drain, Waste, & Vent Systems

INACCESSIBLE DUE TO FINISH MATERIALS

Some drain, waste, and vent pipes were not fully accessible due to the wall, floor, and or ceiling coverings.

Observations

9.10.1 Sewage Pump

Recommendation

DESCRIPTION

One or more sewage pumps are installed.

A sewage ejector pump, also called a pump-up ejector system, is used when a bathroom, laundry room or any other type of plumbing fixture is located below the level of the main sewer or septic line flowing from the house. Because the flow of drain-wastewater depends on gravity, plumbing systems in which these fixtures are located below the level of the main sewer line all require some means of elevating the wastewater so it can flow properly.

This unit requires periodic maintenance and should be connected to an alarm to warn of failure.

Recommendation

Contact a qualified professional.

10: HEATING

Information

Heating System Information: **Fuel Source**
Natural Gas

Heating System Information: **Flue Type**
PVC

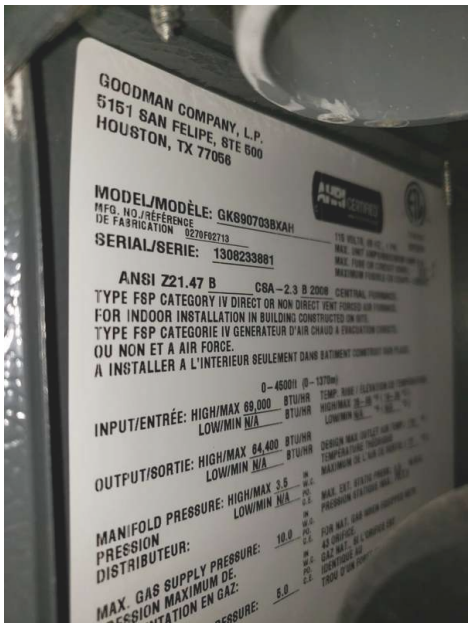
Heating System Information: **Condition**
Appear(s) Serviceable

Duct System: **Type**
Sheet Metal (Insulated), Flexible Round (Insulated)

Duct System: **Condition**
Appear(s) Serviceable

Normal Operating Controls: **Condition**
Appear(s) Serviceable

Heating System Photo(s)



Forced Air System

Heat for the home was supplied by one or more forced air system(s).

This type of system has a furnace as a heat source. Cold air is drawn from the house and is fed into the furnace where the air is heated and circulated back into the house via a duct system and into rooms through registers.

Items that are typically checked for specific systems include, but are not limited to:

Cabinet - Blower Fan - Flue Fan - Burner - Flue - Blower Fan Safety Switch

Notes: **Service History? Check With Owner**

Heating systems should be serviced annually. Check with the current owner as to when the heating system(s) in this home was serviced last.

If no record of service can be found, or the system hasn't been serviced within the last year, then servicing and a full evaluation is recommended BEFORE the close of sale.

Notes: **Heating Notes**

The inspector is not equipped to inspect furnace heat exchangers for evidence of cracks or holes, as this can only be done by dismantling the unit. This is beyond the scope of this inspection. Some furnaces are designed in such a way that inspection is almost impossible.

The inspector can not light pilot lights.

Safety devices are not tested by the inspector.

Thermostats are not checked for calibration or timed functions.

Adequacy, efficiency or the even distribution of air throughout a building cannot be addressed by visual inspection.

Electronic air cleaners, humidifiers, and dehumidifiers are beyond the scope of this inspection. You should have these systems evaluated by a qualified individual.

The inspector does not perform pressure tests on coolant systems, therefore no representation is made regarding coolant charge or line integrity.

Subjective judgment of system capacity is not a part of the inspection.

Determining the condition of oil tanks, whether exposed or buried, is beyond the scope of this inspection. Leaking oil tanks represent an environmental hazard which is sometimes costly to remedy.

During this inspection, it is impossible to determine the condition of the interior of the flue. The interior of the flue may be deteriorated, but during a visual inspection, we were unable to see the interior walls.

Asbestos materials have been commonly used in heating systems. Determining the presence of asbestos can ONLY be performed by laboratory testing and is beyond the scope of this inspection.

Observations

10.10.1 Duct System

Maintenance Item

SHEET METAL (HUMIDIFIER INSTALLED)

The ductwork has a humidifier installed in the plenum. Humidifiers can increase interior home comfort in the winter if maintained properly. If no maintenance information is available from the homeowner, then we recommend checking online for information about your particular model and it's operation.

Recommendation

Recommended DIY Project

11: COOLING

Information

Cooling System Type: Type(s)
Central Air Conditioner

Cooling System Type: Condenser Photo(s)

Cooling System Type: Cooling Photos

Cooling System Type: Condition
Appear(s) Serviceable

Weather permitting, items that are typically checked include but are not limited to:

Cabinet - Blower Fan - 220V Disconnect Switch - Insulation On Suction Line - Condensing Coil General Condition - Condensate Pump (Noted But Not Tested) - Condensate Pan In Attic - Pan Float Switch (Noted But Not Tested)

12: ELECTRICAL

Information

Service Entry: Service Entry Photo(s)

Service Entry: Voltage
120/240 volts

Service Entry: Condition
Appear(s) Serviceable

Panel Type(s), Amperage & Grounding: Type
Main Circuit Breaker

Panel Type(s), Amperage & Grounding: Amperage Of Main Panel
200 AMP

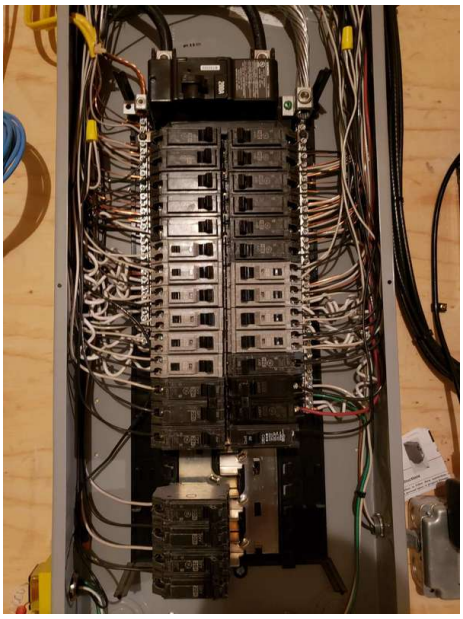
Panel Type(s), Amperage & Grounding: Ground Wire Type / Connected To
Copper, Main Water Line

Panel Enclosure & Cover: Exterior Photo

Panel Enclosure & Cover: Main Disconnect Type
Main Breaker In Panel

Panel Enclosure & Cover: Condition
Appear(s) Serviceable

Interior Wiring In Panel: Interior Photo



Interior Wiring In Panel: Service Entry Feeder Wire Type
Aluminum

Interior Wiring In Panel: Condition
Appear(s) Serviceable

Branch Circuit Wiring: Type
Non Metallic (Romex)

Branch Circuit Wiring: Condition
Appear(s) Serviceable

Switches, Receptacles & Lighting Fixtures: Condition
Appear(s) Serviceable

Service Entry: Service Entry Type
Underground

Components inspected typically include the following:
-Masthead
-Mast condition and support
-Service entrance cable or pipe
-Weatherhead
-Meter condition
-Service Drop Conductors
-Drip loop

Notes: Information

A wide variety of electrical systems have been installed over the years and electrical systems have been affected by the following:
The Electrical Code requirements which existed at the time the home was built or additional electrical work was performed.
The abilities and inclinations of the system designer and installers
Original construction budget.
Changes made over the years

Home inspectors are generalists, and although familiarity with electrical systems is a fundamental part of the home inspection, inspectors are not electricians, and will not be familiar with all electrical systems and components installed over the years. Electrical standards and codes have evolved over the years and home electrical systems and their components are required to comply only with codes which were in effect at the time the home was built or the additional work was performed.

A Home Inspectors concern with electrical systems is not it's code compliance but the degree to which the installed electrical system safely provides for the electrical requirements of the home. The home inspectors concern will be commenting on safety and system defects, not code violations. Some conditions commented upon may not be code violations and some code violations may not be commented upon.

If in the opinion of the Inspector, the installed electrical system or any of its components is failing or may fail to safely provide for the electrical requirements of the home, the Inspector will recommend evaluation and/or correction by a qualified electrical contractor.

Any electrical recommendations should be considered high priority items since all electrical issues are safety concerns.

Any electrical repairs attempted by anyone other than a licensed electrician is not recommended. Always hire a licensed electrician for even the smallest repair.

Home branch circuit wiring consists of devices such as switches, outlets, connections for permanently-wired appliances and the electrical conductors which supply them with electricity. Most conductors are hidden behind the floor, wall and ceiling coverings and cannot be evaluated by the inspector. The Inspector does not remove cover plates and inspection of branch wiring is limited to the proper response to testing of switches and electrical outlets.

Aluminum wiring requires periodic inspection and maintenance by a licensed electrician.

Operation of time clock motors is not verified.

Inoperative light fixtures often lack bulbs or have dead bulbs installed. Light bulbs are not changed during the inspection, due to time constraints.

We recommend regular testing as per Fire Department guidelines.

Observations

12.3.1 Panel Enclosure & Cover

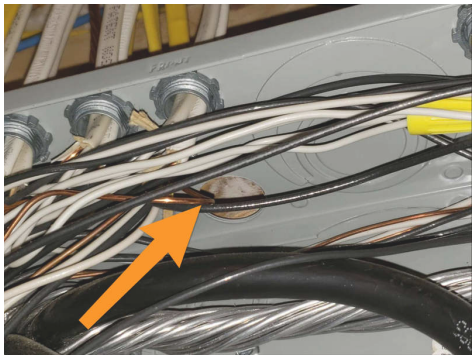
Recommendation

PANEL ENCLOSURE (MISSING KO)

Unfilled holes or knockouts in the main electrical service panel were noted. A knockout seal is recommended.

Recommendation

Contact a qualified electrical contractor.



12.4.1 Interior Wiring In Panel

Recommendation

OLDER WIRING TECHNIQUES

Older wiring techniques were noted. Consider having a qualified contractor update to current standards.

Recommendation

Contact a qualified electrical contractor.

12.4.2 Interior Wiring In Panel

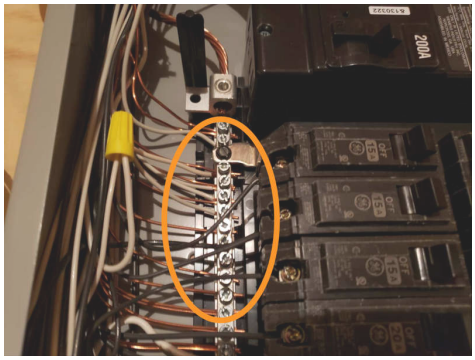
Recommendation

NEUTRAL BAR (NEUTRAL AND GROUND, SAME SCREW)

Older wiring technique. One or more neutral (white) wires and ground (bare copper) wires were attached under the same screw in the panel. This is not up to current standards. Consider updating.

Recommendation

Contact a qualified electrical contractor.



12.4.3 Interior Wiring In Panel

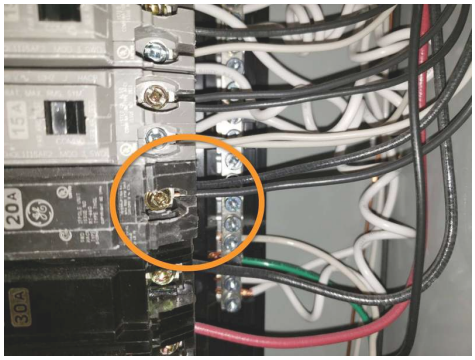
Recommendation

BREAKER (MULTI TAP)

Two or more wires were connected to a breaker designed for only one wire. This is known as a "multi-tap" and is a defective condition. Further evaluation and or repair is recommended.

Recommendation

Contact a qualified electrical contractor.



13: ATTIC STRUCTURE & VENTILATION

Information

Access: Access Type
Pull Down Ladder

Access: Access Condition
Inaccessible

Access: Access Note

In accordance with our standards, we do not attempt to enter attics that are not readily accessible, or walk on the exposed and/or insulation covered framing members, in which case we would inspect them as best we can from the access point.

Observations

13.1.1 Access

Recommendation

SEALED

The cover to the attic hatch was physically sealed and we were unable to remove it without causing damage. No comment on any items related to the attic or ventilation is possible.

14: BATH & LAUNDRY VENTILATION

Information

Bath Vent: Condition
Appear(s) Serviceable

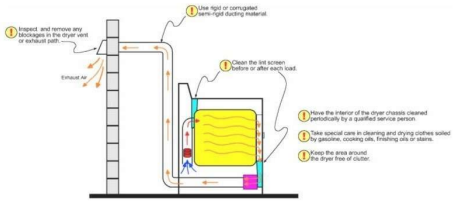
Laundry Vent : Condition
Appear(s) Serviceable

Laundry Vent : Dryer Vent Safety

Overheated Clothes Dryers Can Cause Fires
Fires can occur when lint builds up in the dryer or in the exhaust duct. Lint can block the flow of air, cause excessive heat build-up, and result in a fire in some dryers.

To help prevent fires:

- **Clean the lint screen/filter before or after drying each load of clothes.** If clothing is still damp at the end of a typical drying cycle or drying requires longer times than normal, this may be a sign that the lint screen or the exhaust duct is blocked.
- **Clean the dryer vent and exhaust duct periodically.** Check the outside dryer vent while the dryer is operating to make sure exhaust air is escaping. If it is not, the vent or the exhaust duct may be blocked. To remove a blockage in the exhaust path, it may be necessary to disconnect the exhaust duct from the dryer. Remember to reconnect the ducting to the dryer and outside vent before using the dryer again.
- **Clean behind the dryer, where lint can build up.** Have a qualified service person clean the interior of the dryer chassis periodically to minimize the amount of lint accumulation. Keep the area around the dryer clean and free of clutter.
- **Replace plastic or foil, accordion-type ducting material with rigid or corrugated semi-rigid metal duct.** Most manufacturers specify the use of a rigid or corrugated semi-rigid metal duct, which provides maximum airflow. The flexible plastic or foil type duct can more easily trap lint and is more susceptible to kinks or crushing, which can greatly reduce the airflow.
- **Take special care when drying clothes that have been soiled with volatile chemicals** such as gasoline, cooking oils, cleaning agents, or finishing oils and stains. If possible, wash the clothing more than once to minimize the number of volatile chemicals on the clothes and, preferably, hang the clothes to dry. If using a dryer, use the lowest heat setting and a drying cycle that has a cool-down period at the end of the cycle. To prevent clothes from igniting after drying, do not leave the dried clothes in the dryer or piled in a laundry basket.



15: INTERIOR

Information

Interior Doors: **Condition**
Appear(s) Serviceable

Ceilings: **Condition**
Appear(s) Serviceable

Exterior Doors: **Condition**
Appear(s) Serviceable

Windows: **Condition**
Appear(s) Serviceable

Floors: **Condition**
Appear(s) Serviceable

Kitchen / Bath Cabinets: **Condition**
Appear(s) Serviceable

Walls: **Condition**
Appear(s) Serviceable

Heat Source: **Condition**
All Rooms Had A Heat Source

Room Photos

The photos below identify some or all of the rooms in the building.










Notes: Interior Notes

Our inspection of living space includes the visually accessible areas of walls, floors, cabinets and closets, and the testing of a representative number of windows and doors, switches and outlets. We do not evaluate window treatments, move furnishings or possessions, lift carpets or rugs, empty closets or cabinets, nor comment on cosmetic deficiencies.

We may not comment on cracks that appear around windows and doors, along lines of framing members or along seams of drywall and plasterboard. These are typically caused by minor movements, such as wood shrinkage, common settling, and seismic activity, and will often reappear if they are not correctly repaired. Such cracks can become the subject of disputes, and are therefore best evaluated by a specialist.

Floor covering damage or stains may be hidden by furniture, and the condition of floors underlying floor coverings is not inspected.

Determining the condition of insulated glass windows is not always possible due to temperature, cleanliness of the glass, weather and lighting conditions. Check with owners for further information.

Testing, identifying, or identifying the source of environmental pollutants or odors (including but not limited to lead, mold, allergens, odors from household pets and cigarette smoke) is beyond the scope of our service, but can become equally contentious or difficult to eradicate. We recommend you carefully determine and schedule whatever remedial services may be deemed advisable or necessary before the close of escrow.

16: BUILT-IN APPLIANCES

Information

Range / Oven / Cooktop: Range / Oven Fuel Source
Gas

Range / Oven / Cooktop: Condition
Appear(s) Serviceable

Range Hood: Condition
None Present

Dishwasher: Condition
Appear(s) Serviceable

Garbage Disposal: Condition
None Present

Built-in Microwave: Condition
Appear(s) Serviceable

Notes: Appliance Note

As per our Standards of Practice, our inspection of appliances is limited to permanently installed cooking appliances, dishwashers, and garbage disposals.

17: FIREPLACE(S) / WOOD STOVE(S) / PELLET STOVE(S)

Information

Type: Type
Natural Gas Fireplace

Type: Condition
Appear(s) Serviceable

18: RODENTS

Information

Visual Signs: **Rodent Signs**

Traps

One or more signs of current or past rodent activity were noted.

Observations

18.1.1 Visual Signs

Recommendation

TRAPS

One or more "mouse traps" were noted.

Check with the current owner regarding the history of rodents and treatment.

Recommendation

Contact a qualified pest control specialist.