



RENOVEE INSPECTION SERVICES, LLC

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<https://www.renoveeinspections.com>



RESIDENTIAL REPORT

1234 Main St.
New Britain CT 06053

Buyer Name
05/16/2018 9:00AM



Inspector
Lukasz Zagrobelny
CT Home Inspector #856
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inspect@renovee.com



Agent
Agent Name
555-555-5555
agent@spectora.com

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General Intro:

Dear customer,

Thank you for choosing Renovee Inspection Services, LLC to perform your home inspection.

An earnest effort was made on your behalf to discover visible deficiencies. This Inspection Report is an opinion report based on the observations made on the date of the inspection, and not a prediction of future conditions. Hidden or concealed defects cannot be included. This Report is not intended to reflect the value of the property such as an appraisal report would. No warranty is either expressed or implied. This report is neither an insurance policy nor a warranty service with regards to the property. This Inspection Report should not determine the advisability or inadvisability of the purchase of the inspected property.

This inspection was performed in accordance with the current Standards of Practice and Code of Ethics of the International Association of Certified Home Inspectors (InterNACHI), visit InterNACHI website at <http://www.nachi.org/sop.htm>. The Standards contain certain and very important limitations, exceptions, and exclusions to the inspection.

The summary is not a complete listing of all the findings in the report. Please review all of the pages of the report as the summary alone does not explain all the issues. For your safety and liability, all repairs should be done by a qualified and licensed trade or professional, example: Licensed General Contractor, Plumber and/or Electrician. We strongly recommend that you obtain at least two written estimates for cost of repairs from a contractor/ tradesmen specializing in their field. We also recommend obtaining a copy of all receipts, warranties and permits for the work done.

The General Home Inspection is not a building code-compliance inspection, but a visual inspection for safety and system defects. The Inspection Report may comment on and identify as problems systems, components and/or conditions which may violate building codes, but although safety defects and building code violations may coincide at the time of the inspection, confirmation of compliance with any building code or identification of any building code violation is not the goal of this Inspection Report and lies beyond the scope of the General Home Inspection.

If you wish to ascertain the degree to which the home complies with any applicable building codes, you should schedule a building code-compliance inspection. If the living area has been remodeled or part of an addition, we recommend that you verify the permit and certificate of occupancy. This is important because our inspection does not tacitly approve, endorse, or guarantee the integrity of any work that was done without a permit, and latent defects could exist.

Feel free to visit our web site at www.renoveeinspections.com. Please call me (860) 874-7848 for any clarifications or further questions.

Sincerely,

Lukasz Zagrobelny

Renovee Inspection Services, LLC

Comment Key or Definitions

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

Inspected (IN) = I visually observed the item, component or unit and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

Not Inspected (NI) = I did not inspect this item, component or unit and made no representations of whether or not it was functioning as intended and will state a reason for not inspecting.

Not Present (NP) = This item, component or unit is not in this home or building.

Repair or Replace (RR) = The item, component or unit is not functioning as intended, or needs further inspection by a qualified contractor. Items, components or units that can be repaired to satisfactory condition may not need replacement.

In accordance with industry standards, the inspection is limited to only those surfaces that are exposed and readily accessible. The Inspector does not move furniture, lift floor-covering materials, or remove or rearrange items within closets or on shelving. On your final walk through, or at some point after furniture and personal belongings have been removed, it is important that you inspect the interior portions of the residence that were concealed or otherwise inaccessible at the time of the inspection. Contact Renovee Inspection Services, LLC immediately if any adverse conditions are observed that were not commented on in your inspection report.

SUMMARY

- ⊖ 2.1.1 Exterior - Walkways, Patios & Driveways: Patio Cracking - Minor
- ⊖ 2.2.1 Exterior - Exterior Wall Covering, Flashing & Trim: Loose Boards
- ⊖ 2.2.2 Exterior - Exterior Wall Covering, Flashing & Trim: Penetrations
- ⊖ 2.2.3 Exterior - Exterior Wall Covering, Flashing & Trim: Exposed sheathing
- ⊖ 2.2.4 Exterior - Exterior Wall Covering, Flashing & Trim: Missing siding
- ⊖ 2.4.1 Exterior - Windows: Missing screens
- ⊖ 2.5.1 Exterior - Decks, Balconies, Porches & Steps: Graspable handrail
- ⚠ 3.6.1 Garage - Occupant Door (From garage to inside of home): Not Self-closing
- ⊖ 4.2.1 Interiors, Doors, Windows - Windows: Missing Screen
- ⊖ 5.1.1 Insulation & Ventilation - Insulation: Loose insulation
- ⊖ 5.5.1 Insulation & Ventilation - Dryer venting: Open damper
- ⊖ 8.1.1 Heating - Equipment: Needs Servicing/Cleaning
- ⊖ 8.5.1 Heating - Gas/LP, Wood Fireplaces, & Stoves: Cleaning needed
- ⊖ 9.1.1 Cooling - Cooling Equipment: Service/ Cleaning
- ⊖ 10.2.1 Electrical - Main & Subpanels, Service & Grounding, Main Overcurrent Device: No Ground Wire
- ⊖ 10.3.1 Electrical - Branch Wiring Circuits, Breakers & Fuses: Improper breakers
- ⊖ 10.4.1 Electrical - Lighting Fixtures, Switches & Receptacles: Receptacles loose
- ⊖ 10.5.1 Electrical - Visible wiring: Attachment

1: ROOF

		IN	NI	NP	R
1.1	Coverings	X			X
1.2	Roof Drainage Systems	X			X
1.3	Flashings	X			
1.4	Skylights, Chimneys & Other Roof Penetrations	X			

IN = Inspected NI = Not Inspected NP = Not Present R = Recommendations

Information

Roof Type/Style

Gable, Hip

Coverings: Material

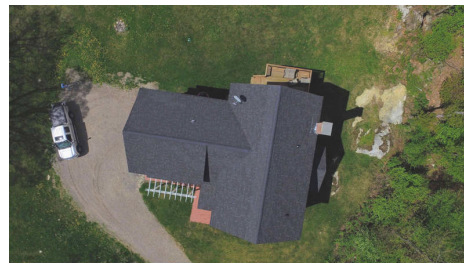
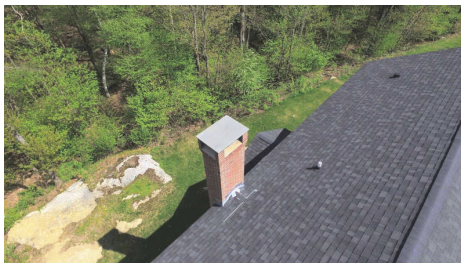
Asphalt

Coverings: Number of layers

1

Inspection Method

Drone, Ground, Binoculars, Ladder



Limitations

General

LIMITED INSPECTION OF ROOF

Steep- Unsafe

The roof coverings and roof system components were limited in inspecting, due to circumstances.

Roof Drainage Systems

NO GUTTERS

Gutters were not installed. I recommend adding gutters to help prevent water from collecting at the foundation.

2: EXTERIOR

		IN	NI	NP	R
2.1	Walkways, Patios & Driveways	X			X
2.2	Exterior Wall Covering, Flashing & Trim	X			X
2.3	Exterior Doors	X			
2.4	Windows	X			X
2.5	Decks, Balconies, Porches & Steps	X			X
2.6	Eaves, Soffits & Fascia	X			
2.7	Vegetation, Grading, Drainage & Retaining Walls	X			

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Information

Walkways, Patios & Driveways: Gravel
Exterior Wall Covering, Flashing & Trim: Vinyl
Driveway Material: Gravel
Wall Covering Material: Vinyl

Recommendations

2.1.1 Walkways, Patios & Driveways

PATIO CRACKING - MINOR

Normal settling & cracking observed. Recommend monitor and/or patch/seal.

Recommendation

Recommended DIY Project

 Recommendations



2.2.1 Exterior Wall Covering, Flashing & Trim

LOOSE BOARDS

 Recommendations

One or more siding boards were loose, which could result in moisture intrusion. Recommend a qualified siding contractor secure and fasten.

Recommendation

Contact a qualified professional.



2.2.2 Exterior Wall Covering, Flashing & Trim

PENETRATIONS

Wall covering penetrations should be sealed to help keep water out.

Recommendation

Contact a qualified professional.



2.2.3 Exterior Wall Covering, Flashing & Trim

EXPOSED SHEATING



Exposed sheathing should be properly sealed off to prevent water intrusion and damage. Siding should be properly installed.

Recommendation

Contact a qualified professional.



2.2.4 Exterior Wall Covering, Flashing & Trim

 Recommendations

MISSING SIDING

Missing siding should be replaced to prevent water damage.

Recommendation

Contact a qualified professional.



2.4.1 Windows

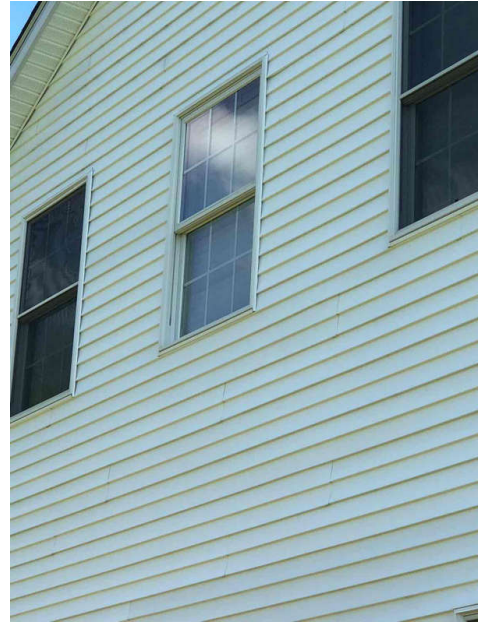
 Recommendations

MISSING SCREENS

There was a missing screen in at several of the windows.

Recommendation

Contact a qualified professional.



2.5.1 Decks, Balconies, Porches & Steps

GRASPABLE HANDRAIL

I suggest adding a graspable handrail to the exterior railing.

Recommendation

Contact a qualified professional.



3: GARAGE

		IN	NI	NP	R
3.1	Ceiling	X			
3.2	Floor	X			
3.3	Walls & Firewalls	X			
3.4	Garage Door	X			
3.5	Garage Door Opener	X			
3.6	Occupant Door (From garage to inside of home)	X			X
3.7	Windows	X			

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Recommendations

3.6.1 Occupant Door (From garage to inside of home)



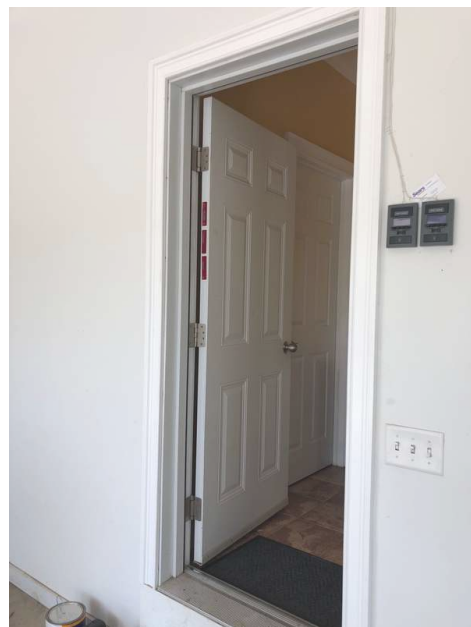
NOT SELF-CLOSING

Door from garage to home should have self-closing hinges to help prevent spread of a fire to living space. Recommend a qualified contractor install self-closing hinges.

[DIY Resource Link.](#)

Recommendation

Contact a qualified door repair/installation contractor.



4: INTERIORS, DOORS, WINDOWS

		IN	NI	NP	R
4.1	Doors	X			
4.2	Windows	X			
4.3	Floors	X			
4.4	Walls	X			
4.5	Ceilings	X			
4.6	Steps, Stairways & Railings	X			
4.7	Countertops & Cabinets	X			

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Recommendations

4.2.1 Windows



Recommendations

MISSING SCREEN

Window missing screen. Recommend replacement.

Recommendation

Contact a qualified window repair/installation contractor.



5: INSULATION & VENTILATION

		IN	NI	NP	R
5.1	Insulation	X			X
5.2	Vapor Retarders (Crawlspace or Basement)	X			
5.3	Ventilation	X			
5.4	Exhaust Systems	X			X
5.5	Dryer venting	X			X

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Information

Insulation: Flooring Insulation
None

Insulation: Attic Insulation Type
Batt

Ventilation: Ventilation Type
Ridge Vents, Soffit Vents, Gable Vents

Recommendations

5.1.1 Insulation

 Recommendations

LOOSE INSULATION

Some areas of the attic had loose insulation. The insulation needs to be properly replaced for energy efficiency.

Recommendation

Contact a qualified professional.



5.5.1 Dryer venting

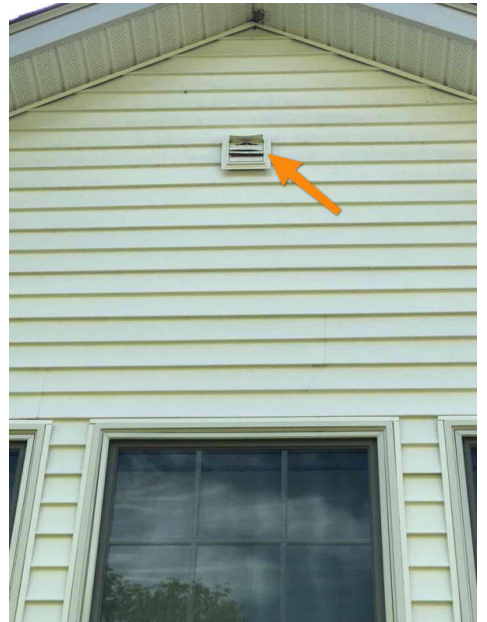
 Recommendations

OPEN DAMPER

The dryer vent damper was in the open position while not in use. The damper should be fixed to stay in the closed position when not in use, to prevent pests from entering.

Recommendation

Contact a qualified professional.



6: BASEMENT, FOUNDATION, CRAWLSPACE, ATTIC & STRUCTURE

		IN	NI	NP	R
6.1	Foundation	X			
6.2	Basements & Crawlspace	X			
6.3	Floor Structure	X			
6.4	Wall Structure		X		
6.5	Ceiling Structure		X		
6.6	Roof Structure & Attic	X			

IN = Inspected NI = Not Inspected NP = Not Present R = Recommendations

Information

Foundation: Material
Concrete

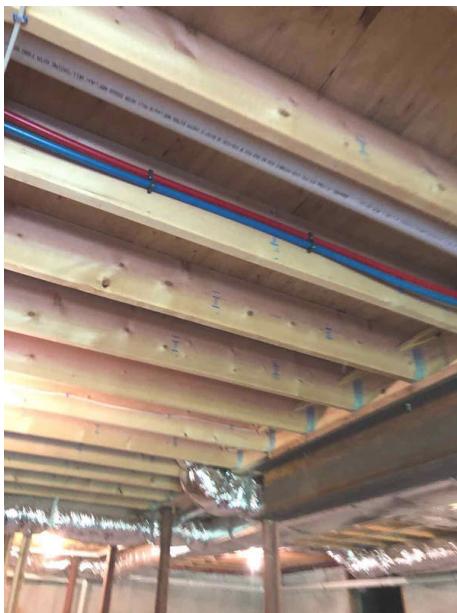
Basements & Crawlspace:
Basement/Crawlspace Floor
Concrete

Basements & Crawlspace:
Inspection method
Walked

Floor Structure: Material
Steel I-Beams, Concrete,
Dimensional wood joists

Roof Structure & Attic: Material
Plywood, OSB, Wood

Roof Structure & Attic: Type
Hip, Gable



Limitations

Wall Structure

NOT VISIBLE

The wall structure was not visible therefore not inspected.

Ceiling Structure

NOT VISIBLE

The ceiling structure was not visible therefore not inspected.

7: PLUMBING

		IN	NI	NP	R
7.1	Water Supply, Distribution Systems	X			
7.2	Fixtures & Faucets	X			
7.3	Hot Water Systems, Controls, Flues & Vents	X			
7.4	Fuel Storage & Distribution Systems	X			
7.5	Drain, Waste, & Vent Systems	X			
7.6	Garbage Disposal	X			
7.7	Sump Pump			X	

IN = Inspected NI = Not Inspected NP = Not Present R = Recommendations

Information

Water Supply, Distribution Systems: Water Source

Well

Water Supply, Distribution Systems: Distribution Material

Pex

Water Supply, Distribution Systems: Main Water Supply Shut-Off

Basement

This is your main water shut off.



Water Supply, Distribution Systems: Water Supply Material

Poly

Hot Water Systems, Controls, Flues & Vents: Power Source/Type

Electric

Hot Water Systems, Controls, Flues & Vents: Location

Basement

Hot Water Systems, Controls, Flues & Vents: Year manufactured

2015

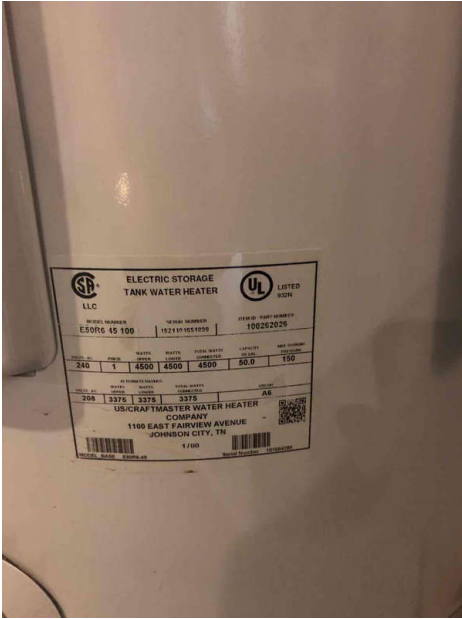
Fuel Storage & Distribution Systems: Main Gas Shut-off Location

At Tank, At appliance

Drain, Waste, & Vent Systems: Material

PVC

Hot Water Systems, Controls, Flues & Vents: Manufacturer Whirlpool



8: HEATING

		IN	NI	NP	R
8.1	Equipment	X			X
8.2	Distribution Systems	X			
8.3	Vents, Flues & Chimneys	X			
8.4	Presence of Installed Heat Source in Each Room	X			
8.5	Gas/LP, Wood Fireplaces, & Stoves	X			X

IN = Inspected NI = Not Inspected NP = Not Present R = Recommendations

Information

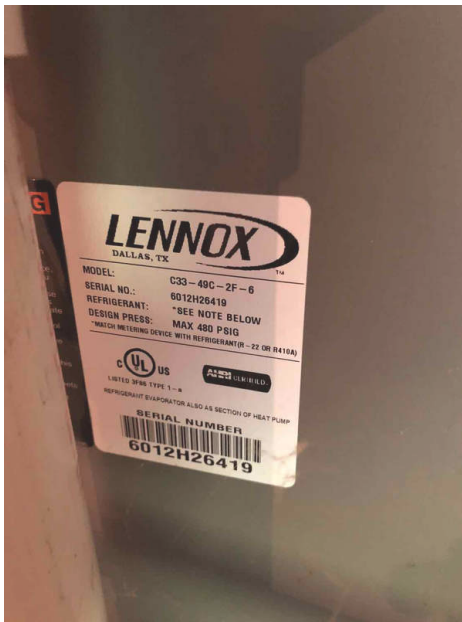
Equipment: Energy Source
Propane

Equipment: Thermostat Location
Bedroom, Hallway

Equipment: Heat Type
Forced Air

Equipment: Year of manufacture
2012

Equipment: Brand
Lennox



Recommendations

8.1.1 Equipment

NEEDS SERVICING/CLEANING



Furnace should be cleaned and serviced annually. Recommend a qualified HVAC contractor clean, service and certify furnace.

[Here is a resource](#) on the importance of furnace maintenance.

Recommendation

Contact a qualified HVAC professional.

8.5.1 Gas/LP, Wood Fireplaces, & Stoves

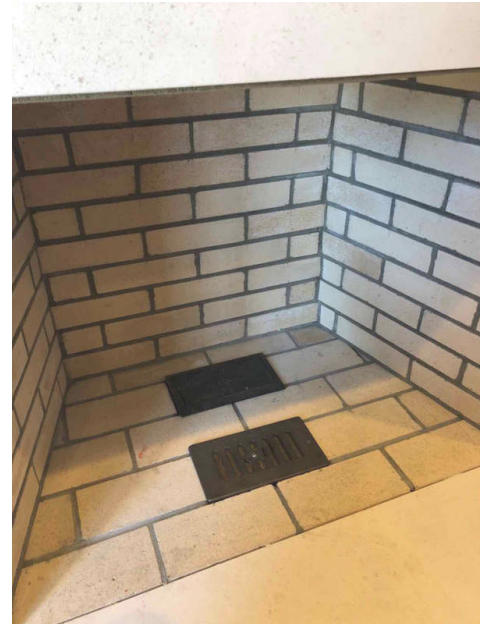
 Recommendations

CLEANING NEEDED

The fireplace does not appear to have been used. It should be checked by a licensed chimney sweep before first use.

Recommendation

Contact a qualified professional.



9: COOLING

		IN	NI	NP	R
9.1	Cooling Equipment	X			X
9.2	Distribution System	X			
9.3	Presence of Installed Cooling Source in Each Room	X			

IN = Inspected NI = Not Inspected NP = Not Present R = Recommendations

Information

Cooling Equipment: Energy Source/Type

Electric

Cooling Equipment: Year of manufacture

2013

Cooling Equipment: Brand

Lennox



Recommendations

9.1.1 Cooling Equipment

SERVICE/ CLEANING



Cooling equipment should be cleaned and serviced annually. Recommend a qualified HVAC contractor clean, service and certify cooling equipment.

Recommendation

Contact a qualified professional.

10: ELECTRICAL

		IN	NI	NP	R
10.1	Service Entrance Conductors	X			
10.2	Main & Subpanels, Service & Grounding, Main Overcurrent Device	X			X
10.3	Branch Wiring Circuits, Breakers & Fuses	X			X
10.4	Lighting Fixtures, Switches & Receptacles	X			X
10.5	Visible wiring	X			X
10.6	GFCI & AFCI	X			
10.7	Smoke & Carbon Monoxide Detectors	X			
10.8	Doorbell	X			

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Information

**Service Entrance Conductors:
Electrical Service Conductors**
220 Volts, Below Ground

Main & Subpanels, Service & Grounding, Main Overcurrent Device: Main Panel Location
Basement

Main & Subpanels, Service & Grounding, Main Overcurrent Device: Panel Capacity
200 AMP

Main & Subpanels, Service & Grounding, Main Overcurrent Device: Sub Panel Location
No sub-panel

Branch Wiring Circuits, Breakers & Fuses: Wiring Method
Romex

Recommendations

10.2.1 Main & Subpanels, Service & Grounding, Main Overcurrent Device



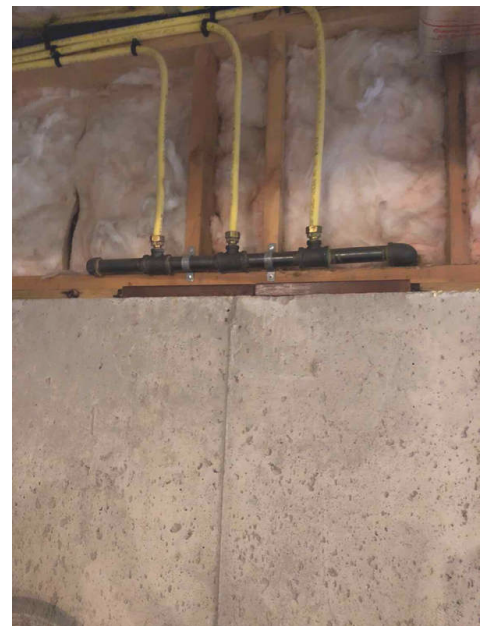
Recommendations

NO GROUND WIRE

The gas lines were not grounded. Recommend qualified electrician evaluate and install.

Recommendation

Contact a qualified electrical contractor.



10.3.1 Branch Wiring Circuits, Breakers & Fuses

Recommendations

IMPROPER BREAKERS

General Electric breakers were used in this Cutler Hammer panel. The GE breakers are not meant for this panel and should be replaced with proper ones by a licensed electrician.

Recommendation

Contact a qualified professional.



10.4.1 Lighting Fixtures, Switches & Receptacles

Recommendations

RECEPTACLES LOOSE

an outlet in the garage was loose and will need to be properly attached by a licensed electrician.

Recommendation

Contact a qualified professional.



10.5.1 Visible wiring

Recommendations

ATTACHMENT

Electrical wires in the attic should be properly attached to framing members.

Recommendation

Contact a qualified professional.

