



SARANAC LAKE INSPECTION SERVICES

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RESIDENTIAL REPORT

1234 Main St.
Saranac Lake NY 12983

Buyer Name
03/15/2018 9:00AM



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Agent
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SUMMARY



ITEMS INSPECTED














MAINTENANCE ITEM



RECOMMENDATIONS



IMMEDIATE ACTION

-
-  2.2.1 Roof & Ventilation - Roof Penetrations: Unfinished wood around chimney
 -  3.1.1 Exterior Walls - Siding, Flashing & Trim: Chipping and peeling paint
 -  3.1.2 Exterior Walls - Siding, Flashing & Trim: Hole in siding
 -  3.1.3 Exterior Walls - Siding, Flashing & Trim: Unused propane tank
 -  3.1.4 Exterior Walls - Siding, Flashing & Trim: Non GFCI Outlets
 -  3.3.1 Exterior Walls - Decks, Balconies, Porches & Steps: Improper deck support
 - 
 - 5.5.1 Garage - Occupant Door (From garage to inside of home): Self closing mechanism not strong enough
 -  7.3.1 Full Bath - Outlets: GFCI inoperable
 -  11.2.1 Laundry - Dryer: Crushed dryer vent
 -  14.3.1 Plumbing - Water Supply, Distribution Systems & Fixtures: Water supply not bonded
 -  15.1.1 Electrical - Main & Subpanels, Service & Grounding, Main Overcurrent Device: Cover removed

1: INSPECTION DETAILS

Information

House Number

Clearly seen from the street

Location

Rural road

In Attendance

Client

Inspection time

8.30 - 10.45 AM

Occupancy

Furnished, Occupied

Type of Building

Single Family

Approximate age of home

14 years old

Temperature (approximate)

25 Fahrenheit (F)

Weather Conditions

Snow, Cloudy

Excluded From Inspection

Septic System

Standards of Practice

It is recommended that the New York State Standards of Practice for home inspectors be reviewed to help better understand what is and is not required of a home inspector. This information along with the Code of Ethics is available at the [Department of States website](#).

Mold

Concerning mold in a home / building. While we will report any substance that appears to be mold, the only true way to determine if mold is present is to have a New York state licensed mold assessor test for mold. Saranac Lake Inspection Services does not perform mold testing or mold inspection's. Any mention of mold in this report should be considered a recommendation to bring in a New York state licensed mold assessor to inspect and test for mold. If you have a specific concern regarding mold, consult a mold specialist for advice.

Change Locks

After moving into a house, it is strongly recommended to have the locks changed. Over the years, previous owners may have distributed the keys to family and friends. A new set of locks would insure privacy and security. If the house has remote garage door openers, it is also recommended to change the code access.

Code

A home inspection is not a code inspection. If you desire an opinion on code compliance, please consult your local municipality.

Snow (Exterior Grounds)

There was snow covering some or all of the exterior grounds at the time of the inspection. This can limit the visual inspection of various aspects of the exterior grounds such as, but not limited to, grading, walkways, patios, and driveways.

Snow (Roof)

There was snow covering some or all of the roof at the time of the inspection. This does not allow for a full visual inspection of the roof covering, flashing, gutters, and other aspects of the roof system.

Stored Items

Numerous wall, floor and other surfaces were obscured by furniture and/or stored items, preventing a full evaluation of some areas.

2: ROOF & VENTILATION

Information

Inspection Method

Ground

Roof Type/Style

Cross Gable

Coverings: Material

Metal

Roof Penetrations: Chimney location

Interior

Roof Penetrations: Chimney material

Metal

Roof Penetrations: Other roof penetrations

Vent pipe

Roof Drainage Systems: Gutter Material

Aluminum

Roof Drainage Systems: Downspout material

Aluminum

Flashings: Material

Aluminum

Ventilation: Ventilation Type

Soffit Vents, Ridge Vents

General exterior photos



Coverings: Approximate age

Could not be visual determined

Snow cover prevented a full visual evaluation of the roof coverings at the time of the inspection. The condition of the roof coverings must be excluded from this report.

Recommendations

2.2.1 Roof Penetrations

UNFINISHED WOOD AROUND CHIMNEY



The chase around the chimneys appeared to be covered in unfinished wood. Wood on the exterior of a house should be finished in order to extend the life of the wood and help protect from moisture intrusion. Recommend a qualified contractor to repair as needed.

Recommendation

Contact a qualified painter.



3: EXTERIOR WALLS

Information

Siding, Flashing & Trim: Siding Material

Wood

Siding, Flashing & Trim: Siding Style

Clapboard

Siding, Flashing & Trim: Trim Material

Wood

Exterior Doors: Exterior Entry Doors

Steel

Decks, Balconies, Porches & Steps: Material

Wood

Electric Service: Service type

Underground

Electric Service: Service Size

Could not visually determine

Electric Service: Meter amperage

200 amp

Electric Service: Voltage

120/240 volts

Decks, Balconies, Porches & Steps: Item

Front Porch, Back porch



Recommendations

3.1.1 Siding, Flashing & Trim

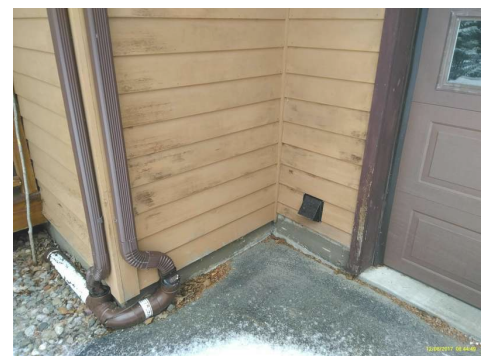
 Maintenance Item

CHIPPING AND PEELING PAINT

There were various areas of chipping and peeling paint around the house on the siding and exterior trim. Paint prevents exterior wood from the elements and increases the lifespan of the wood. Recommend scraping and repainting as needed, or contacting a qualified contractor to repair as needed.

Recommendation

Contact a qualified painter.



3.1.2 Siding, Flashing & Trim

 Recommendations

HOLE IN SIDING

There was a hole in the siding along the back wall of the attached garage. It appears as though there used to be a propane line entering the wall at this point, but there was not one at the time of the inspection. Any holes in the exterior of the house should be sealed to prevent moisture or pests from entering. Recommend a qualified contractor to repair as needed.

Recommendation

Contact a qualified siding specialist.



3.1.3 Siding, Flashing & Trim

 Recommendations

UNUSED PROPANE TANK

There was an unused propane tank located behind the attached garage. Unused fuel storage devices should not be left on a property, to prevent them from being forgotten about and falling into disrepair. Recommend removal of the unused propane tank.

Recommendation

Contact a qualified professional.

3.1.4 Siding, Flashing & Trim

 Recommendations

NON GFCI OUTLETS

The exterior outlets were not GFCI (ground fault circuit interrupter) protected. GFCI outlets are recommended any location where there may be water present to reduce the risk of electric shock, such as the exterior of a house, the garage, or near any plumbing fixtures. Recommend a qualified contractor to repair as needed.

Recommendation

Contact a qualified electrical contractor.



3.3.1 Decks, Balconies, Porches & Steps

 Immediate Action

IMPROPER DECK SUPPORT

The deck ledger boards for both the front and back porches did not have adequate fasteners. Proper fasteners have the strength to prevent a deck from pulling away or dropping. Recommend a qualified contractor to repair as needed.

Recommendation

Contact a qualified deck contractor.



Underneath the front porch.



Underneath the back porch, when viewed with a flashlight the ledger was visible, but not able to be photographed.

4: EXTERIOR GROUNDS

Information

Exterior foundation: Foundation walls

Concrete

Vegetation, Grading, Drainage & Retaining Walls: Vegetation

Clear around house

Vegetation, Grading, Drainage & Retaining Walls: Trees

Clear over house

Vegetation, Grading, Drainage & Retaining Walls: Grading around house

Slopes away

Limitations

Walkways, Patios & Driveways

SNOW COVER

The snow cover at the time of the inspection prevented viewing of any walkways, and the driveway. The condition of these elements must be excluded from this inspection.



5: GARAGE

Information

Location

Attached

Number of Bays

2

Viewing

Limited by stored items



Garage Door: Material

Aluminum, Insulated

Garage Door: Type

Overhead

Garage Door: Number of Openers

2

Garage Door: Safety Features

Photo electric eye

Ceiling: Visibility

Covered

Floor: Material

Concrete

Walls & Firewalls: Wall covering

Drywall

Occupant Door (From garage to inside of home): Fire Rated



Recommendations

5.5.1 Occupant Door (From garage to inside of home)

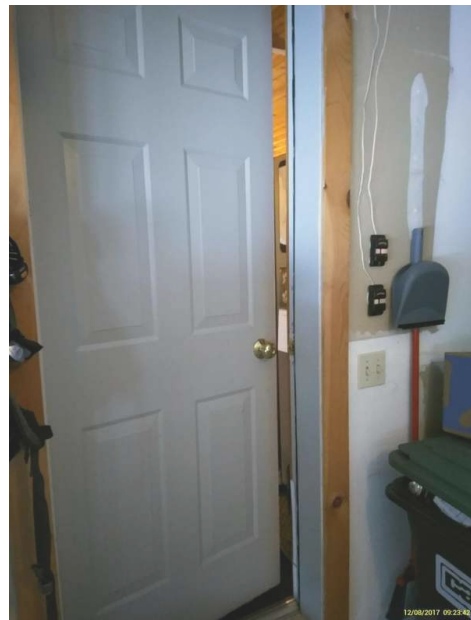
 Immediate Action

SELF CLOSING MECHANISM NOT STRONG ENOUGH

The entrance door to the house did not fully self close at the time of the inspection. While equipped with proper hinges, they did not provide adequate force to fully close the door. A self closing door is important in slowing the spread of fire from the garage to the rest of the house, and preventing carbon monoxide from running vehicles from entering the house. Recommend a qualified contractor to repair as needed.

Recommendation

Contact a qualified professional.



6: ATTIC

Information

Attic Access

Hatch



Roof Structure: Roof system

Truss system



Roof Structure: Truss/Rafter spacing

24 inches

Roof Structure: Sheathing

Material
OSB

Attic floor: Framing

Wood

Attic floor: Covering

No flooring

Attic Insulation: Insulation

Location
Ceiling

Attic Insulation: Insulation Type

Batt, Fiberglass

Exhaust Systems: Bathroom vent ductwork

Noted and goes outside



7: FULL BATH

Information

Location

Off of Master bedroom

Plumbing Fixtures: Shower

Stall

Plumbing Fixtures: Tub

None



Plumbing Fixtures: Surround

Plastic

Plumbing Fixtures: Sink

Single, Vanity

Plumbing Fixtures: Toilet

Flushed normally



Plumbing Fixtures: Functional flow test

No drop in pressure

Floor: Material

Tile

Outlets: Number

Two

Outlets: Type

GFCI protection

Ventilation: Type

Fan, Window

Recommendations

7.3.1 Outlets

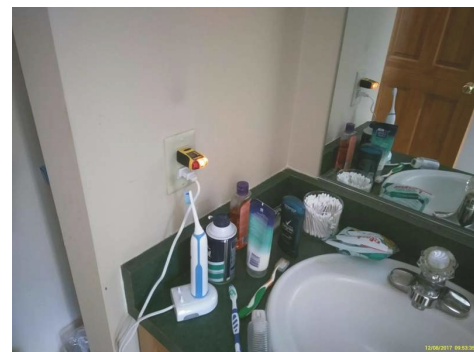


GFCI INOPERABLE

When tested, the GFCI (ground fault circuit interrupter) outlet did not trip. GFCI outlets help prevent electric shock in the event of an electric device coming in contact with water. Recommend a qualified contractor to repair as needed.

Recommendation

Contact a qualified electrical contractor.



8: FULL BATH

Information

Location

Hallway

Plumbing Fixtures: Shower

With tub

Plumbing Fixtures: Tub

Built in



Plumbing Fixtures: Surround

Plastic

Plumbing Fixtures: Sink

Single, Vanity

Plumbing Fixtures: Toilet

Flushed normally

Plumbing Fixtures: Functional flow test

No drop in pressure

Floor: Material

Tile

Outlets: Number

One

Outlets: Type

GFCI protection

Ventilation: Type

Fan, Window

9: GENERAL INTERIOR

Information

Viewing of interior

Limited by stored items



Ceilings: Ceiling Material

Drywall, Wood

Walls: Wall Material

Drywall

Wall Structure: Material

Wood Framed

Doors: Door materials

Solid wood

Windows: Window Type

Drop-down

Windows: Window Material

Wood, Aluminum Clad

**Steps, Stairways & Railings:
Stairs**

To basement

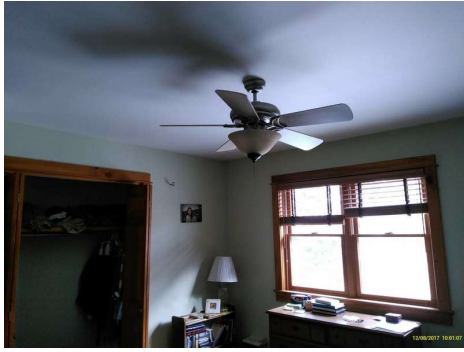
**Lighting Fixtures, Switches &
Receptacles: Receptacles**

Three prong



Ceilings: Ceiling style

Flat, Cathedral



Floors: Floor Coverings

Laminate, Carpet



10: KITCHEN

Information

Cabinets & Counter tops:

Cabinetry

Wood



Cabinets & Counter tops:

Countertop Material

Laminate



Floor: Material

Tile

Plumbing Fixtures: Sink

Stainless Steel

Plumbing Fixtures: Garbage Disposal

None

Appliances: Dishwasher

Kenmore



Appliances: Refrigerator

Kenmore

Appliances: Range

Kenmore, Electric

Appliances: Exhaust Hood Type

Re-circulate



Appliances: Oven

Part of stove

Outlets: Number

Three or more

Outlets: Type

GFCI protection

11: LAUNDRY

Information

Location

First floor hallway

Washer: Brand

Maytag

Dryer: Dryer Brand

Maytag



Dryer: Dryer Power Source

220 Electric

Dryer: Dryer Vent

Metal (Flex)

Recommendations

11.2.1 Dryer

 **Immediate Action**

CRUSHED DRYER VENT

The vent pipe for the dryer was crushed. Restricting the air flow exiting a dryer can cause lint to accumulate, increasing the chance of fire. Recommend a qualified contractor to repair as needed.

Recommendation

Contact a qualified professional.



12: HEATING

Information

Equipment: Brand

Weil-McLain

Equipment: Heat Type

Forced Hot Water

Equipment: Energy Source

Fuel Oil



Equipment: Combustion air supply

Interior

Equipment: Safety relief

Valve noted, Extension noted

Operating Controls: Thermostat Location

Living room



Operating Controls: Emergency shut off

Attached to unit

Vents, Flues & Chimneys: Vent Pipe Material

Steel

Distribution Systems: Materials

Copper pipe



Presence of Installed Heat Source in Each Room: Heat Source in Room

Baseboard heaters

Fuel Storage & Distribution Systems: Oil Tank Location
Garage

Fuel Storage & Distribution Systems: Tank Type
Bottom tap

Equipment: Service Heat

It is always recommended when moving into a new home that you have your main heat source serviced to ensure proper safety and function.



13: COOLING

Information

No System

There was no house wide cooling system installed at the time of the inspection.

14: PLUMBING

Information

Water Source

Public

Waste System

Septic, Unknown

Main Water Shut-off Device:

Location

Basement



Drain, Waste, & Vent Systems: Material

PVC

Water Supply, Distribution Systems & Fixtures: Water Meter Location

Basement

Water Supply, Distribution Systems & Fixtures: Main Supply Entry Material

Copper

Water Supply, Distribution Systems & Fixtures: Distribution Material

Copper

Hot Water Systems, Controls, Flues & Vents: Manufacturer

Weil-McLain

Hot Water Systems, Controls, Flues & Vents: Power Source/Type

Indirect

Hot Water Systems, Controls, Flues & Vents: Capacity

40 gallons

Hot Water Systems, Controls, Flues & Vents: Location

Basement



Recommendations

14.3.1 Water Supply, Distribution Systems & Fixtures

 Immediate Action

WATER SUPPLY NOT BONDED

The water supply system did not appear to be bonded to the electrical system. Proper bonding of the water to the electrical system helps prevent possible electric shock in the event of electric appliances negatively interacting with the plumbing system. Recommend a qualified contractor to repair as needed.

Recommendation

Contact a qualified electrical contractor.



15: ELECTRICAL

Information

Main & Subpanels, Service & Grounding, Main Overcurrent Device: Main Panel Location
Basement

Main & Subpanels, Service & Grounding, Main Overcurrent Device: Main disconnect rating
200 AMP

Main & Subpanels, Service & Grounding, Main Overcurrent Device: Panel Manufacturer
Siemens

Main & Subpanels, Service & Grounding, Main Overcurrent Device: Panel Type
Circuit Breaker

Main & Subpanels, Service & Grounding, Main Overcurrent Device: Grounding Observed
Exterior ground rod

Branch Wiring Circuits, Breakers & Fuses: Branch Wire 15 and 20 AMP
Copper

Branch Wiring Circuits, Breakers & Fuses: Wiring Method
Romex

Smoke Detectors: Locations
In bedrooms, On each floor

Smoke Detectors: Replace smoke detectors

Smoke detectors should be replaced at least every 10 years. Since it is difficult to date smoke detectors, it is recommended that all smoke detectors be replaced when moving into a new home.

Carbon Monoxide Detectors: C/O Detectors

All houses, buildings and each unit in a multi-family house should have a carbon monoxide (C/O) detector. Several C/O detectors are best. One near the heating system and hot water supply and one on each floor of the home.

Carbon Monoxide Detectors: Replace C/O detectors

Carbon monoxide detectors should be replaced every five to seven years. Since it is difficult to date carbon monoxide detectors, it is recommended that all carbon monoxide detectors be replaced when moving into a new home.

Recommendations

15.1.1 Main & Subpanels, Service & Grounding, Main Overcurrent Device



Recommendations

COVER REMOVED

The electrical panel cover was not in place at the time of the inspection. It is not recommended that the face of the panel be removed for long periods of time to reduce the risk of electric shock. Recommend a qualified contractor to repair as needed.

Recommendation

Contact a qualified electrical contractor.



16: BASEMENT, FOUNDATION, CRAWLSPACE

Information

Access

Interior stairs

Foundation: Type

Basement

Foundation: Material

Concrete

Foundation: Ventilation

Windows

Floor Structure: Basement floor /Crawlspace vapor barrier

Concrete

Floor Structure: Floor structure above

Wood joists

Floor Structure: Sub-floor

Inaccessible

Floor Structure: Floor supports

Steel posts, Engineered Beam

Inspection Method

Limited viewing from stored items, Limited viewing from finished/covered walls

