



DETAILS HOME INSPECTIONS

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<https://www.detailshomeinspections.com/>



HOME INSPECTION

1234 Main St.
Washougal, Wa 98671

Buyer Name

06/19/2019 9:00AM



Inspector

Brian Ross

WA Certified Home Inspector #1533 OR

#2103 CCB#218819

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Agent

Agent Name

555-555-5555

agent@spectora.com

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SUMMARY



IMPROVEMENT ITEM



MAJOR CONCERNS



SAFETY HAZARD

-  3.2.1 Exterior - Decks, Balconies, Porches & Steps: Railing Loose
-  3.2.2 Exterior - Decks, Balconies, Porches & Steps: Recommend Lag bolts for attachment to ledger board, recommend repair
-  3.3.1 Exterior - Gutters/Downspouts: Downspouts Drain Near House
-  3.3.2 Exterior - Gutters/Downspouts: Gutter Damaged
-  3.4.1 Exterior - Siding, Flashing & Trim: Trim Damaged
-  3.4.2 Exterior - Siding, Flashing & Trim: Painting Underside of Trim
-  3.5.1 Exterior - Eaves, Soffits & Fascia: Painting underside of Fascia
-  3.9.1 Exterior - Exterior Doors: Screen Door Missing
-  3.9.2 Exterior - Exterior Doors: Front door handle loose
-  4.5.1 Kitchen - Appliances: Dishwasher drain line not looped beneath countertop. Recommend repair
-  5.2.1 Garage - Walls, Firewalls and Ceiling: Firewall Damaged/Missing
-  5.3.1 Garage - Garage Door: Panel Damage
-  5.4.1 Garage - Garage Door Opener: Auto Reverse Sensor Not Functioning
-  5.4.2 Garage - Garage Door Opener: Electric Eyes not Aligned
-  9.4.1 Laundry - Dryer Vented: Duct Dirty/Clogged
-  10.2.1 Bathroom 1 - Sinks: Facet Leaks
-  10.2.2 Bathroom 1 - Sinks: Drainage
-  10.7.1 Bathroom 1 - Shower/Tub area: Moisture
-  11.2.1 Bathroom 2 - Sinks: Facet Leaks
-  12.1.1 Basement, Crawlspace & Structure - Basements & Crawlspaces: Rodent Evidence
-  15.1.1 Utility Room - Cooling Equipment: Improperly Sized Breakers
-  15.2.1 Utility Room - Heating Equipment: Needs Servicing/Cleaning
-  15.2.2 Utility Room - Heating Equipment: Filter Dirty
-  16.2.1 Attic - Attic: Attic, plumbing vent leaking, recommend repair

1: INSPECTION DETAILS

Information

Main Entrance Faces

North

Occupancy

Occupied, Not all visible due to personal items

Weather Conditions

Cloudy, Recent Rain

In Attendance

Client's Agent

Deferred Cost Items

A/C that is 7+ years, Water Heater that is 5+ years

Scope of Inspection

All components designed for inspection in the InterNACHI Standards of Practice are inspected, except as may be noted in the "Limitations of Inspection" sections with this report. It is the goal of the inspection to put a home buyer in a better position to make a buying decision. Not all improvements will be identified during this inspection. Unexpected repairs should be anticipated. The inspection should not be considered a guarantee or warranty of any kind. Please refer to the pre-inspection contract for a full explanation of the scope of the inspection. Visual inspection only. Photos in this report are used as examples and for reference. Not all defects in a specific system will be depicted.

2: ROOF

		IN	NI	NP	D
2.1	Ventilation System				
2.2	Coverings				
2.3	Flashings				
2.4	Skylights, Chimneys & Other Roof Penetrations			X	
2.5	Plumbing vent				

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiency

Information

Inspection Method

Roof

Type

Asphalt

Valleys

Asphalt

Roof Type/Style

Gable

Layers

1+

Ventilation System: Type

Soffit, Roof

Pitch

Medium

Age

5-10+

Flashings: Material

Asphalt, Aluminum



Plumbing vent: Condition

Satisfactory



Coverings: Condition

Satisfactory



Limitations

General

VISIBILITY

All

3: EXTERIOR

		IN	NI	NP	D
3.1	Walkways, Patios & Driveways				
3.2	Decks, Balconies, Porches & Steps				
3.3	Gutters/Downspouts				
3.4	Siding, Flashing & Trim				
3.5	Eaves, Soffits & Fascia				
3.6	Windows/Screens				
3.7	Foundation				
3.8	Service Entrance Conductors				
3.9	Exterior Doors				
3.10	Vegetation, Grading, Drainage & Retaining Walls				
3.11	Hose Bibs				
3.12	Chimney			X	

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Information

Walkways, Patios & Driveways:
Driveway Material

Asphalt, Gravel, Typical Cracks

Walkways, Patios & Driveways:
Patio

None

Decks, Balconies, Porches & Steps: Material

Wood



Gutters/Downspouts: Gutter Material

Aluminum, Needs to be Cleaned



Siding, Flashing & Trim: Siding Material

Fiber Cement, Typical Cracks

Siding, Flashing & Trim: Trim Material

Wood

Siding, Flashing & Trim: Flashing

Aluminum/Steel

Siding, Flashing & Trim: Caulking

Recommend caulking around windows/doors/masonry ledges/corners/utility penetrations.

Eaves, Soffits & Fascia: Type

Wood

Windows/Screens: Type

Vinyl

Windows/Screens: Screens

Satisfactory

Foundation: Material

Concrete, Typical Cracks

Service Entrance Conductors: Electrical Service Conductors

Below Ground, Satisfactory

Service Entrance Conductors: Exterior Receptacles

Yes, Operable, GFCI Yes

Exterior Doors: Exterior Door

Patio, Main Entrance



Vegetation, Grading, Drainage & Retaining Walls: Fence/Wall

Satisfactory

Hose Bibs: Condition

Satisfactory



Decks, Balconies, Porches & Steps: Appurtenance

Deck



Observations

3.2.1 Decks, Balconies, Porches & Steps

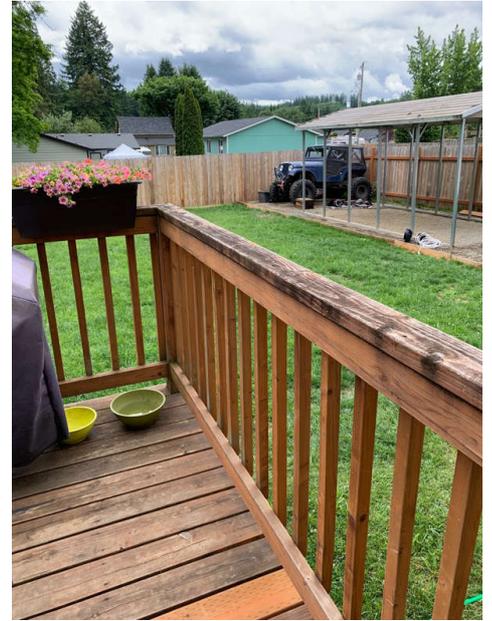


RAILING LOOSE

Railing is loose, recommend securing railing properly, possible safety hazard, recommend repair.

Recommendation

Contact a qualified professional.



3.2.2 Decks, Balconies, Porches & Steps



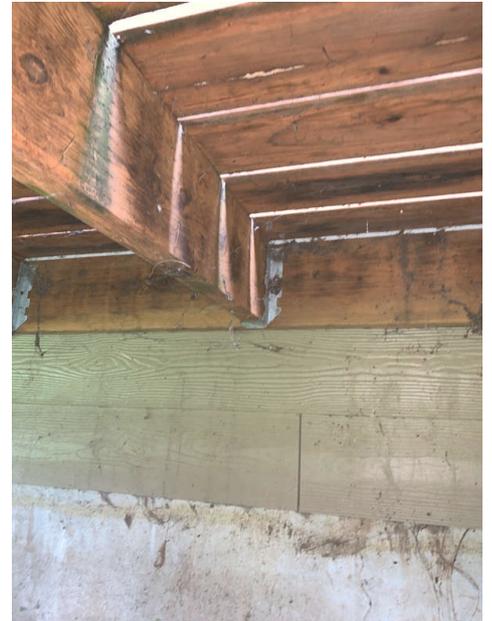
Improvement item

RECOMMEND LAG BOLTS FOR ATTACHMENT TO LEDGER BOARD, RECOMMEND REPAIR

Recommend Lag bolts for attachment to ledger board, recommend repair

Recommendation

Contact a qualified professional.



3.3.1 Gutters/Downspouts



Improvement item

DOWNSPOUTS DRAIN NEAR HOUSE

One or more downspouts drain too close to the home's foundation. This can result in excessive moisture in the soil at the foundation, which can lead to foundation/structural movement. Recommend a qualified contractor adjust downspout extensions to drain at least 6 feet from the foundation.

[Here is a helpful DIY link](#) and video on draining water flow away from your house.

Recommendation

Contact a qualified roofing professional.



3.3.2 Gutters/Downspouts

 Improvement item

GUTTER DAMAGED

Gutters were damaged. This can result in excessive moisture in the soil at the foundation, which can lead to foundation/structural movement. Recommend a qualified contractor evaluate and repair.

Recommendation

Contact a qualified roofing professional.



3.4.1 Siding, Flashing & Trim

 Improvement item

TRIM DAMAGED

Trim had some deterioration, recommend repair and painting

Recommendation

Contact a qualified professional.



3.4.2 Siding, Flashing & Trim

 Improvement item

PAINTING UNDERSIDE OF TRIM

Recommend painting underside of trim to prevent moisture intrusion.

Recommendation

Contact a qualified professional.



3.5.1 Eaves, Soffits & Fascia

 Improvement item

PAINTING UNDERSIDE OF FASCIA

Recommend painting underside of fascia to prevent moisture intrusion.

Recommendation

Contact a qualified professional.



3.9.1 Exterior Doors

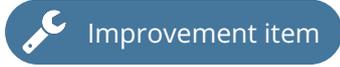
SCREEN DOOR MISSING

PATIO

Screen door missing

Recommendation

Contact a qualified professional.



3.9.2 Exterior Doors

FRONT DOOR HANDLE LOOSE

Front door handle loose, recommend repair

Recommendation

Contact a qualified professional.



4: KITCHEN

		IN	NI	NP	D
4.1	Countertops				
4.2	Cabinets				
4.3	Plumbing				
4.4	Walls/Ceiling/Floor				
4.5	Appliances				

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiency

Information

General



Countertops: Condition

Recommend Repair/Caulking

Cabinets: Condition

Satisfactory

Plumbing: Drainage

Satisfactory

Plumbing: Flow

Satisfactory

Walls/Ceiling/Floor: Condition

Satisfactory, Typical Cracks

Walls/Ceiling/Floor: Heating/Cooling Source

Yes

Appliances: Disposal

None

Appliances: Oven

Operable

Appliances: Range

Operable

Appliances: Dishwasher

Operable

Appliances: Exhaust Hood Type
Operable



Appliances: Refrigerator
Not Operable

Appliances: Microwave
Not Operable

Appliances: GFCI
Yes, Operable

Plumbing: General



Limitations

Appliances

APPLIANCE OPERATION

Appliances only tested for operation, working or not. Quality or extent of operation not part of testing or inspection.

Observations

4.5.1 Appliances

**DISHWASHER DRAIN LINE NOT LOOPED BENEATH COUNTERTOP.
RECOMMEND REPAIR**



Dishwasher drain line not looped beneath countertop. Recommend repair

Recommendation

Contact a qualified professional.

5: GARAGE

		IN	NI	NP	D
5.1	Floor				
5.2	Walls, Firewalls and Ceiling				
5.3	Garage Door				
5.4	Garage Door Opener				
5.5	Lighting Fixtures, Switches & Receptacles				
5.6	Occupant Door (From garage to inside of home)				
5.7	Sink			X	

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiency

Information

Floor: Material

Concrete

Floor: Condition

Satisfactory

Floor: Source of Ignition Within 18" of the Floor

No

Walls, Firewalls and Ceiling: Condition

Typical Cracks

Garage Door: Condition

Marginal

Garage Door: Material

Metal

Garage Door Opener: Operation

Photo Eyes and Pressure Reverse Tested, Needs Adjusting, Not Operable, Safety Hazard

Lighting Fixtures, Switches & Receptacles: Switches

Yes, Operable

Lighting Fixtures, Switches & Receptacles: Receptacles

Yes, Operable

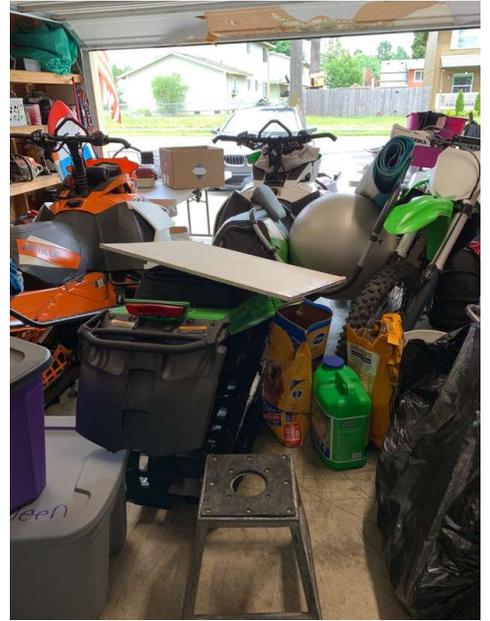
Occupant Door (From garage to inside of home): Self Closure

Missing

Limitations

Floor

NOT ALL VISIBLE DUE TO SELLERS PERSONAL ITEMS



Observations

5.2.1 Walls, Firewalls and Ceiling

FIREWALL DAMAGED/MISSING

 Safety Hazard

Firewall separating the home and garage is not compliant with modern building standards. Firewalls should be built with materials to prevent the spreading of a fire into the home living space. Recommend a qualified contractor evaluate and bring firewall up to standards.

[Link for more info.](#)

Recommendation

Contact a qualified professional.



5.3.1 Garage Door

PANEL DAMAGE

 Improvement item

Garage door panel is damaged and may need repair/replacement. Recommend a qualified garage door contractor evaluate.

Recommendation

Contact a qualified garage door contractor.



5.4.1 Garage Door Opener

AUTO REVERSE SENSOR NOT FUNCTIONING

 Safety Hazard

The auto reverse sensor was not responding at time of inspection. This is a safety hazard to children and pets. Recommend a qualified garage door contractor evaluate and repair/replace.

Recommendation

Contact a qualified professional.

5.4.2 Garage Door Opener

ELECTRIC EYES NOT ALIGNED

 Improvement item

Electric eyes not aligned, door will not close completely. Adjust as needed.

Recommendation

Contact a qualified professional.

6: ROOM 1

		IN	NI	NP	D
6.1	General				
6.2	Walls and Ceiling				
6.3	Floors				
6.4	Ceiling Fan				
6.5	Lighting Fixtures, Switches & Receptacles				
6.6	Heating Source				
6.7	Doors				
6.8	Windows				
6.9	Bedroom Egress				

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiency

Information

General: General

Northwest



Walls and Ceiling: Condition

Satisfactory, Typical Cracks

Floors: Condition

Satisfactory

Ceiling Fan: Condition

None

Lighting Fixtures, Switches & Receptacles: Switches

Yes, Operable

Lighting Fixtures, Switches & Receptacles: Receptacles

Yes, Operable

Heating Source: Heating Source

Yes

Doors: Condition

Satisfactory

Windows: Condition

Satisfactory

Bedroom Egress: Bedroom Egress Restricted

No

7: ROOM 2

		IN	NI	NP	D
7.1	General				
7.2	Walls and Ceiling				
7.3	Floors				
7.4	Ceiling Fan				
7.5	Lighting Fixtures, Switches & Receptacles				
7.6	Heating Source				
7.7	Doors				
7.8	Windows				
7.9	Bedroom Egress				

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiency

Information

General: General

West



Walls and Ceiling: Condition

Satisfactory, Typical Cracks

Floors: Condition

Satisfactory, Squeaks

Ceiling Fan: Condition

None

Lighting Fixtures, Switches & Receptacles: Switches

Yes, Operable

Lighting Fixtures, Switches & Receptacles: Receptacles

Operable, Yes

Heating Source: Heating Source

Yes

Doors: Condition

Satisfactory

Windows: Condition

Satisfactory

Bedroom Egress: Bedroom Egress Restricted

No

8: ROOM 3

		IN	NI	NP	D
8.1	General				
8.2	Walls and Ceiling				
8.3	Floors				
8.4	Ceiling Fan				
8.5	Lighting Fixtures, Switches & Receptacles				
8.6	Heating Source				
8.7	Doors				
8.8	Windows				
8.9	Bedroom Egress				

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiency

Information

General: General

Southwest Master



Walls and Ceiling: Condition

Appears to have past repairs monitor



Floors: Condition

Satisfactory, Squeaks

Ceiling Fan: Condition

Satisfactory

Lighting Fixtures, Switches & Receptacles: Switches

Yes, Operable

Lighting Fixtures, Switches & Receptacles: Receptacles

Yes, Operable

Heating Source: Heating Source

Yes

Doors: Condition

Satisfactory

Windows: Condition

Satisfactory

Bedroom Egress: Bedroom Egress Restricted

No

9: LAUNDRY

		IN	NI	NP	D
9.1	Laundry Sink			X	
9.2	Heating Source				
9.3	Room Vented				
9.4	Dryer Vented				
9.5	Electrical				
9.6	Washer Hook-up lines/Valves				

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiency

Information

Heating Source: Heating Source

Yes

Room Vented: Room Vented

Yes

Dryer Vented: Dryer Vented

Wall

Electrical: GFCI Present

No

Washer Hook-up lines/Valves:

Washer Hook-up Lines/Valves

Satisfactory

Washer Hook-up lines/Valves:

Gas Shut-off Valve

Not Visible

General



Limitations

Washer Hook-up lines/Valves

WASHER HOOK-UP VALVES/DRAIN LINES VISUALLY INSPECTED, HIDDEN DEFECTS MAY EXIST.

Observations

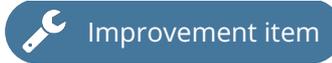
9.4.1 Dryer Vented

DUCT DIRTY/CLOGGED

Dryer duct, appears dirty/clogged, recommend cleaning.

Recommendation

Contact a qualified professional.



10: BATHROOM 1

		IN	NI	NP	D
10.1	General				
10.2	Sinks				
10.3	Tubs				
10.4	Showers				
10.5	Toilet				
10.6	Whirlpool				
10.7	Shower/Tub area				
10.8	Moisture Stains				
10.9	Doors				
10.10	Window				
10.11	Lighting Fixtures, Switches & Receptacles				
10.12	GFCI & AFCI				
10.13	Heat Source				
10.14	Exhaust Fan				

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiency

Information

General: General

Master Bathroom



Sinks: General



Tubs: General

Present

Showers: General

Present

Toilet: General

Present

Whirlpool: Condition

Not Present

Shower/Tub area: Type

Ceramic/Plastic

Shower/Tub area: Condition

Marginal

Shower/Tub area: Caulk/Grout Needed

Shower

Moisture Stains: Moisture Stains

None Visible

Doors: Condition

Marginal, Hardware damaged/missing

Window: Condition

None Present



Lighting Fixtures, Switches & Receptacles: Switches

Yes, Operable

Lighting Fixtures, Switches & Receptacles: Receptacles

Yes, Operable

GFCI & AFCI: General

Yes, Operable

Heat Source: Heating Source

No

Exhaust Fan: Exhaust Vent

Yes, Operable

Limitations

Tubs

PIPES NOT VISIBLE

Showers

PIPES NOT VISIBLE

Observations

10.2.1 Sinks

FACET LEAKS

Sink facet leaks, recommend repair.

Recommendation

Contact a qualified professional.





10.2.2 Sinks

DRAINAGE

Sink drainage marginal.

Recommendation

Contact a qualified professional.

 Improvement item



10.7.1 Shower/Tub area

MOISTURE

Floor appears to have moisture, possible leaks, recommend licensed contractor re-evaluate/repair as needed.

Recommendation

Contact a qualified professional.

 Major Concerns



11: BATHROOM 2

		IN	NI	NP	D
11.1	General				
11.2	Sinks				
11.3	Tubs				
11.4	Showers				
11.5	Toilet				
11.6	Whirlpool				
11.7	Shower/Tub area				
11.8	Moisture Stains				
11.9	Doors				
11.10	Window				
11.11	Lighting Fixtures, Switches & Receptacles				
11.12	GFCI & AFCI				
11.13	Heat Source				
11.14	Exhaust Fan				

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiency

Information

General: General



Sinks: General



Tubs: General Present

Showers: General Present

Toilet: General Present

Whirlpool: Condition None Present

Shower/Tub area: Type Ceramic/Plastic

Shower/Tub area: Condition Satisfactory

Shower/Tub area: Caulk/Grout Needed Toilet

Moisture Stains: Moisture Stains None Visible

Doors: Condition Satisfactory

Window: Condition None Present

Lighting Fixtures, Switches & Receptacles: Switches
Yes, Operable

Lighting Fixtures, Switches & Receptacles: Receptacles
Yes, Operable

GFCI & AFCI: General
Yes, Operable

Heat Source: Heating Source
No

Exhaust Fan: Exhaust Vent
Yes, Operable

Limitations

Tubs
PIPES NOT VISIBLE

Showers
PIPES NOT VISIBLE

Observations

11.2.1 Sinks

FACET LEAKS

Sink facet leaks, recommend repair.

Recommendation

Contact a qualified professional.



12: BASEMENT, CRAWLSPACE & STRUCTURE

		IN	NI	NP	D
12.1	Basements & Crawlspace				
12.2	Wall Structure				
12.3	Floor Structure/Joists				
12.4	Seismic Bolts/Straps				
12.5	Sump Pump				
12.6	Ventilation				
12.7	Beams/Posts/Columns/Joists				
12.8	Ceiling Structure/Subfloor				
12.9	Insulation				
12.10	Vapor Retarders (Crawlspace or Basement)				

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiency

Information

Basements & Crawlspace:
General



Wall Structure: Condition
Satisfactory

Floor Structure/Joists: Type
Wood

Floor Structure/Joists:
Basement/Crawlspace Floor
Dirt, Gravel

Seismic Bolts/Straps: Condition
None Visible

Sump Pump: Location
None Visible

Ventilation: Type
Wall vents

Beams/Posts/Columns/Joists:
Type
Wood

Ceiling Structure/Subfloor:
General
Not Visible

Insulation: Type
Fiberglass, Between floor joists

Vapor Retarders (Crawlspace or Basement): Condition
Satisfactory

Inspection Method
Full Crawlspace



Radon mitigation



Water main line



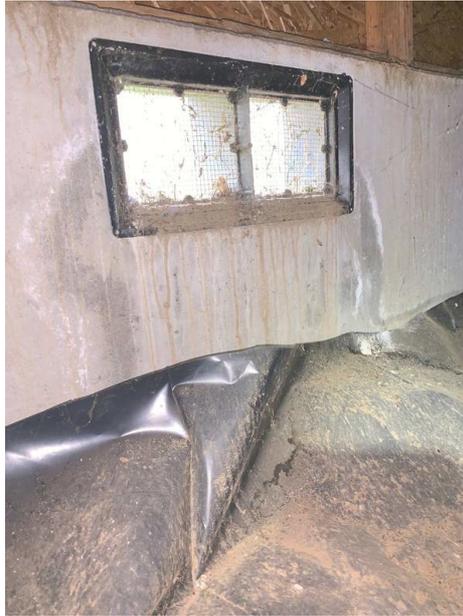
Drain waste lines

Wall Structure: Type

Poured Concrete



Moisture stains, monitor



Moisture stains, monitor

Limitations

Wall Structure

NOT VISIBLE DUE TO VAPOR BARRIER

Crawspace, some areas not visible due to vapor barrier cover, hidden defects may exist.

Ceiling Structure/Subfloor

NOT VISIBLE

Subfloor not visible due to insulation, hidden defects may exist.

Insulation

VISIBILITY

Insulation limited the visibility of the crawspace, hidden defects may exist.

Observations

12.1.1 Basements & Crawlspaces

RODENT EVIDENCE

There is visible evidence of past rodent/pest activity in crawspace. The activity may or may not be currently active, however no current activity was visible at the time of inspection. Recommend licensed rodent/pest contractor re-evaluate.

Major Concerns

Recommendation

Contact a qualified professional.



13: PLUMBING

		IN	NI	NP	D
13.1	General				
13.2	Main Water Shut-off Device				
13.3	Visible Water Distribution piping				
13.4	Drain, Waste, & Vent Systems				
13.5	Water Heater Systems, Controls, Flues & Vents				
13.6	Fuel Storage & Distribution Systems			X	
13.7	Well Pump			X	
13.8	Water Softner			X	

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiency

Information

General: Water Source

Public

Main Water Shut-off Device: Location

Outside at curbside

Main Water Shut-off Device: Water Entry Piping

PEX Plastic



Visible Water Distribution piping: Material

PEX Plastic

Visible Water Distribution piping: Condition

Satisfactory

Visible Water Distribution piping: Flow

Satisfactory

Drain, Waste, & Vent Systems: Material

ABS

Drain, Waste, & Vent Systems: Condition

Satisfactory

Drain, Waste, & Vent Systems: Support

Plastic Strapping, Metal Strapping

Drain, Waste, & Vent Systems: Traps Proper P-Traps

Yes

Water Heater Systems, Controls, Flues & Vents: Capacity

50 gallons

Water Heater Systems, Controls, Flues & Vents: Approximate Age

5-10+

Water Heater Systems, Controls, Flues & Vents: Power Source/Type Electric	Water Heater Systems, Controls, Flues & Vents: Combustion Air Venting Present No	Water Heater Systems, Controls, Flues & Vents: Location Garage
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Water Heater Systems, Controls, Flues & Vents: Condition Satisfactory	Fuel Storage & Distribution Systems: Main Gas Shut-off Location Non present
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Water Heater Systems, Controls, Flues & Vents: Manufacturer
Bradford & White

I recommend flushing & servicing your water heater tank annually for optimal performance. Water temperature should be set to at least 120 degrees F to kill microbes and no higher than 130 degrees F to prevent scalding.

[Here is a nice maintenance guide from Lowe's to help.](#)



Limitations

Main Water Shut-off Device

LEAD OTHER THAN SOLDER JOINTS UNKNOWN

14: MISC. INTERIOR

		IN	NI	NP	D
14.1	Steps, Stairways, Railings and Balconies				
14.2	Smoke/Carbon Monoxide Detectors				

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiency

Information

Steps, Stairways, Railings and Balconies: Condition

None

Smoke/Carbon Monoxide Detectors: Smoke Detector

Present, Not Tested

Smoke/Carbon Monoxide Detectors: Carbon Monoxide Detector

Present, Not Tested



Limitations

Smoke/Carbon Monoxide Detectors

RECOMMEND CHANGING SMOKE DETECTOR/CARBON MONOXIDE BATTERIES EVERY 6 MONTHS, AND REPLACING SMOKE/CO DETECTORS THAT ARE 10 YEARS OLD OR OLDER

15: UTILITY ROOM

		IN	NI	NP	D
15.1	Cooling Equipment				
15.2	Heating Equipment				
15.3	Distribution System				

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiency

Information

Cooling Equipment: Energy Source/Type
Electric

Cooling Equipment: Location
Exterior West

Cooling Equipment: Approximate Age
5-10+

Cooling Equipment: Condition
Satisfactory

Cooling Equipment: Outside Disconnect
Yes

Heating Equipment: Approximate Age
5-10+

Heating Equipment: Energy Source
Electric

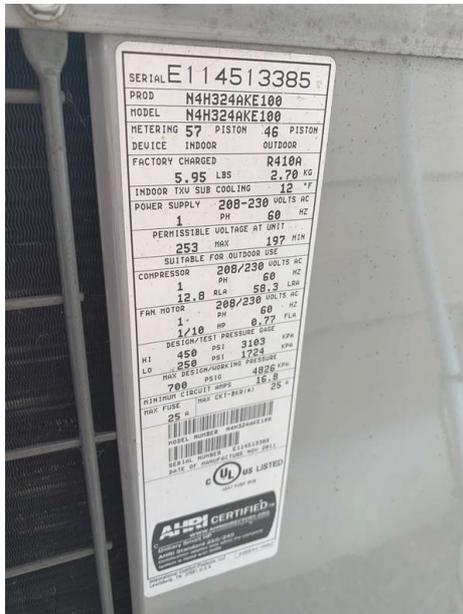
Heating Equipment: Heat Type
Forced Air

Heating Equipment: Condition
Recommend HVAC Technician Examine

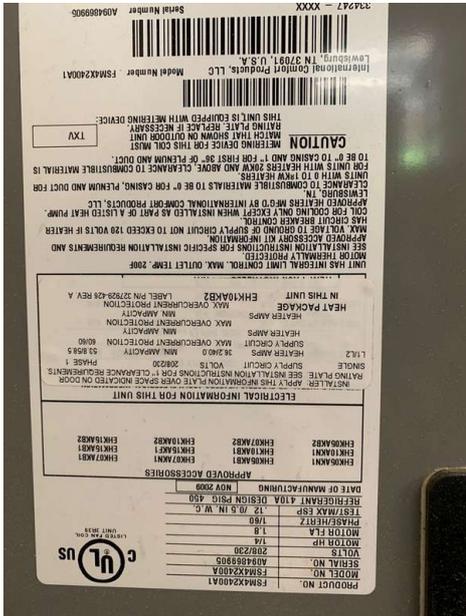
Heating Equipment: Distribution
Insulated Flex Duct

Heating Equipment: Flue piping
Satisfactory

Cooling Equipment: Brand
Arcoaire



Heating Equipment: Brand Heil



Limitations

Cooling Equipment

RECOMMEND LICENSED HVAC TECHNICIAN EXAMINE

No current service records, recommend service by licensed HVAC technician.

Heating Equipment

CARBON MONOXIDE NOT TESTED

Heating Equipment

HEAT EXCHANGER

Sealed, Not Visible

Observations

15.1.1 Cooling Equipment

IMPROPERLY SIZED BREAKERS

A/C unit, Improperly sized breakers, recommend repair.

Recommendation

Contact a qualified professional.



15.2.1 Heating Equipment

NEEDS SERVICING/CLEANING

No current service records. Furnace should be cleaned and serviced annually. Recommend a qualified HVAC contractor clean, service and certify furnace.

[Here is a resource](#) on the importance of furnace maintenance.

Recommendation

Contact a qualified HVAC professional.



15.2.2 Heating Equipment

FILTER DIRTY

The furnace filter is dirty and needs to be replaced every 6 months.

Recommendation

Contact a qualified HVAC professional.



16: ATTIC

		IN	NI	NP	D
16.1	General				
16.2	Attic				
16.3	Attic Insulation				
16.4	Ventilation				

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiency

Information

Attic: Access

Scuttlehole/Hatch

Attic: Inspected From

In the Attic

Attic: Location

Garage

Attic Insulation: Installed In

Between Ceiling Joists

Attic Insulation: Insulation Type

Blown

Ventilation: Condition

Ventilation Appears Adequate



Ventilation: Ventilation Type

Soffit Vents, Roof

General: General



Plumbing vent

Observations

16.2.1 Attic

ATTIC, PLUMBING VENT LEAKING, RECOMMEND REPAIR

Attic, plumbing vent leaking, recommend repair

Recommendation

Contact a qualified professional.

 Major Concerns



17: ELECTRICAL

		IN	NI	NP	D
17.1	Main & Subpanels, Service & Grounding, Main Overcurrent Device				
17.2	Subpanel				

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiency

Information

Main & Subpanels, Service & Grounding, Main Overcurrent Device: Panel Capacity
200 AMP

Main & Subpanels, Service & Grounding, Main Overcurrent Device: GFCI Breaker
No

Main & Subpanels, Service & Grounding, Main Overcurrent Device: Branch Wire Condition
Satisfactory

Main & Subpanels, Service & Grounding, Main Overcurrent Device: Panel Type
Circuit Breaker

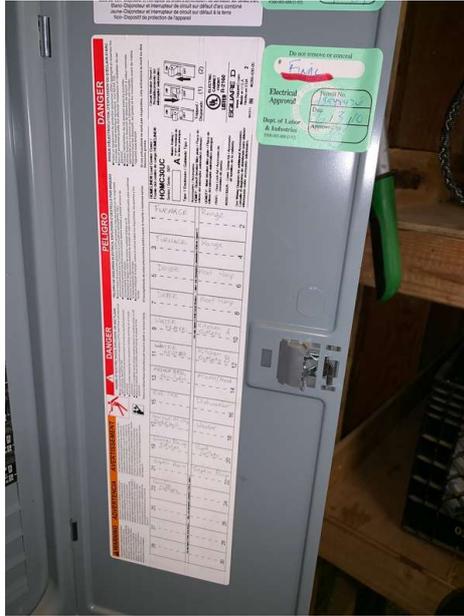
Main & Subpanels, Service & Grounding, Main Overcurrent Device: AFCI Breaker
Yes, Not Tested

Main & Subpanels, Service & Grounding, Main Overcurrent Device: Main Wire Condition
Aluminum

Main & Subpanels, Service & Grounding, Main Overcurrent Device: Appears Grounded
Yes

Main & Subpanels, Service & Grounding, Main Overcurrent Device: Branch Wire
Copper

Main & Subpanels, Service & Grounding, Main Overcurrent Device: Main Panel Location Garage



18: LIVING ROOM/DINING ROOM

		IN	NI	NP	D
18.1	Walls and Ceiling				
18.2	Floors				
18.3	Ceiling Fan				
18.4	Lighting Fixtures, Switches & Receptacles				
18.5	Heat Source				
18.6	Doors				
18.7	Windows				

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiency

Information

Walls and Ceiling: Condition

Satisfactory, Typical Cracks

Lighting Fixtures, Switches & Receptacles: Switches

Yes, Operable

Doors: Condition

Satisfactory

Floors: Condition

Squeaks, Satisfactory

Lighting Fixtures, Switches & Receptacles: Receptacles

Yes, Operable

Windows: Condition

Satisfactory

Ceiling Fan: Condition

None

Heat Source: Heating Source

Yes

General

