



SYSCHECK INSPECTIONS

4045432704

info@syscheckinspections.com

<http://syscheckinspections.com/>



INSPECTION REPORT

1234 Main St.
Villa Rica GA 30180

Buyer Name
03/11/2019 9:00AM



Inspector
Chris Bailey
4045432704
info@syscheckinspections.com



Agent
Agent Name
555-555-5555
agent@spectora.com

Table of Contents

Table of Contents	2
1: INSPECTION DETAILS	3
2: ROOF	5
3: EXTERIOR	10
4: HEATING & COOLING	17
5: STRUCTURE	21
6: ELECTRICAL	24
7: PLUMBING	27
8: GARAGE	32
9: ATTIC	33
10: INTERIOR	36
11: APPLIANCES	39

1: INSPECTION DETAILS

Information

Residential Pre-Purchase Inspection

This is a **VISUAL** inspection only. The scope of this inspection is to verify proper performance of the home's major systems, we do not verify proper design. The following items reflect the condition of the home and its systems at the time and date the inspection was performed. Conditions of an occupied home (and its systems) can and do change after the inspection is performed (i.e. leaks can occur beneath sinks, the water may run at toilets, the walls, the kitchen sink disposal may get jammed, the dishwasher may leak, etc.).

The furnishings, personal items, and/or systems of the home are not dismantled or moved. A 2 - 4 hour inspection is not equal to "live-in exposure" and will not discover all concerns with the home. Unless stated in writing, we will only inspect/comment on the following systems: Electrical, Heating/cooling, Appliances, Plumbing, Roof and Attic, Exterior, Grounds, and the Foundation. NOTE: This inspection is not a warranty or insurance policy. The limit of liability of SysCheck, LLC. and its employees, officers, etc. does not extend beyond the day the inspection was performed.

Cosmetic items (i.e. peeling/falling wallpaper, scuffs on the walls, floor coverings, nail holes, normal wear and tear that is common in an occupied home, etc.) are not a part of this inspection. In addition, we do not inspect for fungus, rodents, or insects, of any type.

Although every effort is made to inspect/access all systems, it is not possible to describe every defect within the home. Various areas of the home may be inaccessible/not visible due to furniture and/or storage. Due to this, the home should be carefully reviewed during your final walk-thru as the home should be vacant and clear of obstruction. This is your opportunity to assure that no new concerns have occurred since the date of this inspection, that all requested repairs have been completed, and to verify that all systems are in proper, working condition (i.e. the plumbing system, appliances, electrical system, heating/cooling systems, etc.). NOTE: Please contact the office immediately if you suspect or discover any concerns during the final walk-thru.

Home inspectors are generalist, who report on readily visible issues/concerns with a home. Inspectors do not provide methods or estimates of repairs and because inspectors are generalist, it is their duty to recommend further review by licensed specialist, contractors, etc. to allow you the opportunity to get a detailed review of any item noted in this report that you deem to be a concern. Should a repair method be provided, correction of the condition is not guaranteed. We recommend methods of correction, estimates, and repairs be performed by qualified, licensed contractors, or specialty tradespeople that you personally contact to assure the concerns are properly reviewed and corrected. In listing a possible method of correction, the inspector is not offering any opinion as to who should take responsibility for addressing any of these concerns. It is our recommendation that you consult with your Real Estate Professional, Attorney, and/or Contractor for further advice with regards to any of the items/concerns listed in this report.

Although this report may identify products involved in class action lawsuits and/or recalled by the products manufacturer, this report will/may not identify ALL products. NOTE: There are numerous products involved in manufacturer recalls and/or class action lawsuits. You should seek the service of a qualified consulting company experienced in identifying manufacturer recalls and/or products involved in class action lawsuits.

This inspection report and all information contained within is the sole property of the client/s named in this report and is not to be shared/passed on without the owner's consent.

Due Diligence

Some repairs may be complex and there may be additional concerns that cannot be seen or discovered during this inspection. Therefore, it is recommended that ALL of the following items to be addressed or reviewed further by licensed contractors or repair professionals PRIOR to the purchase of the home so that you will be fully aware of the depth of repair for each particular concern.

Type of Building

Multilevel, Single Family

Occupancy

Occupied

Weather Conditions

Clear, Temp: 70-80

Last Significant Rainfall Prior to Inspection

5-7 Days

Key Report Information: Inspection Categories

This report contains three different categories of concerns that are noted during the inspection.

Regardless of the category, all of the items should be reviewed by qualified professionals.

The use of these categories should not diminish any other item listed in the report and does not alter the necessity for a repair. All items listed in each category are in need of a repair by a qualified individual, should be evaluated prior to closing (if this inspection is part of a real-estate transaction), and should be taken into consideration in relation to your interest in the home.

Items are placed in one of the following categories based on observations at the time of the inspection and the inspector's opinion and honest conviction.

- **Low Level Repair or Maintenance**

Items listed in this category are relatively minor in nature. They may be common for the age of the home and noted as an informative item, may include wear-and-tear items commonly found in occupied homes, repairs appear to be in-expensive to address and are likely to be uncomplicated, etc.

- **Concern**

Most defects will fall under this heading. Items in this category will be considered defective, in need of repair or replacement, show obvious signs of concern and damage, may require additional repairs that are not visible, etc.

- **Special Attention**

These are items that are considered to be of greater significance based on the likelihood that repair costs may be expensive, items may be causing immediate damage to the structure or a component, health and / or safety may be at risk, a system may be not-operable, etc.

Key Report Information: Trades Recommendations

Listed with most items is a recommendation for a trades specialist. The persons recommended in this report are, in my honest and unbiased opinion, the best and most qualified persons to address the specific concerns. A lesser skilled professional may be able to make repairs on some of the items listed; however, contracting a lessor skilled individual to perform repairs is not the decision of our company and the person who hires the contractor assumes all risk.

Key Report Information: Orientation

Orientation comments in this report will be given as if facing the front of the building from the street (front, left, right, and rear) unless otherwise specified.

2: ROOF

Information

General: Description of Inspection of the Roof

The roof inspection portion of the inspection will not be as comprehensive as an inspection performed by a qualified roofing contractor. Because of variations in installation requirements of the large number of different roof-covering materials installed over the years, this inspection does not include confirmation of proper installation. Inspectors are trained to identify common deficiencies and to recognize conditions that require evaluation by a specialist. Inspection of the roof typically includes visual evaluation of the roof structure, roof-covering materials, flashing, and roof penetrations like chimneys, mounting hardware for roof-mounted equipment, attic ventilation devices, and mechanical and plumbing vents. The roof inspection does not include leak-testing and will not certify or warranty the roof against future leakage. Other limitations may apply and will be included in the comments as necessary.

General: How The Roof Was Inspected

Ground, Roof edge, Drone

General: Materials Present

Asphalt Shingles

Roof Covering: Description

Inspected, Asphalt Shingles

The age listed is approximated and is based on visual observation of the shingle surface. A qualified roofer may be able to provide a better age and life expectancy description.

Roof Drainage Systems: Gutter & Roof Drainage Systems: Details

Downspout Material

Steel

Inspected

Flashings and Penetrations: Details

Details

Inspected

Chimney: Details

Inspected

Limitations

General

RESTRICTIONS OF THE ROOF INSPECTION

Steep Roof Pitch

Inspection of the roof was limited. Areas that were not visible during this inspection could not be commented on and are explicitly excluded from this report. If the listed limitations are not acceptable to you (the client), you are advised to contact a reputable roofing company for further examination of the roof surface and its components.

Concerns

2.2.1 Roof Covering

DAMAGE - ARCHITECTURAL SHINGLE

VARIOUS

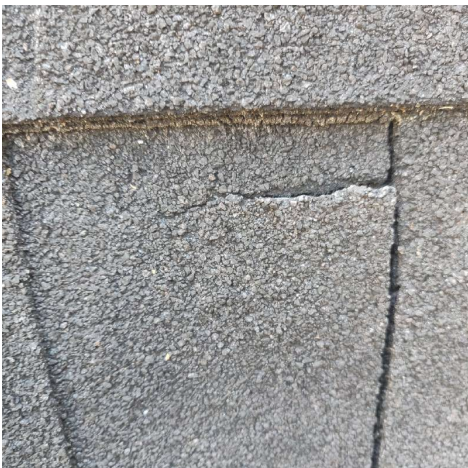
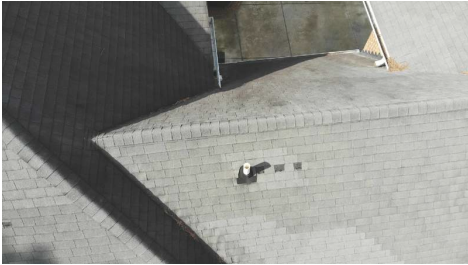
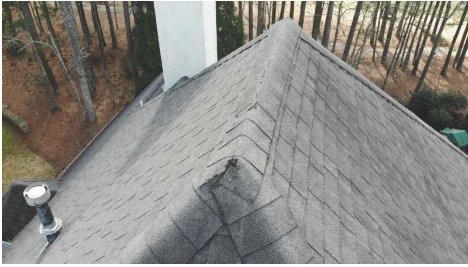
 Special Attention

The roof covering showed some damage and signs of aging. Granular loss and frayed edges were observed. Areas of possible storm damage were noted including loose or missing shingles. The average life expectancy for an architectural shingle is 25 to 30 years.

I recommend a qualified roofing professional evaluate all roof covering and flashings.

Recommendation

Contact a qualified roofing professional.



2.2.2 Roof Covering

 **Special Attention**

LEAVES / DEBRIS NEEDS TO BE CLEARED

The leaves and debris should to be cleared from the roof and gutters to discourage water entry and to promote proper drainage of water from the roof surface.

Recommendation

Contact a qualified roofing professional.



2.2.3 Roof Covering

 **Concern**

DISCOLORATION / ALGAE STAINS

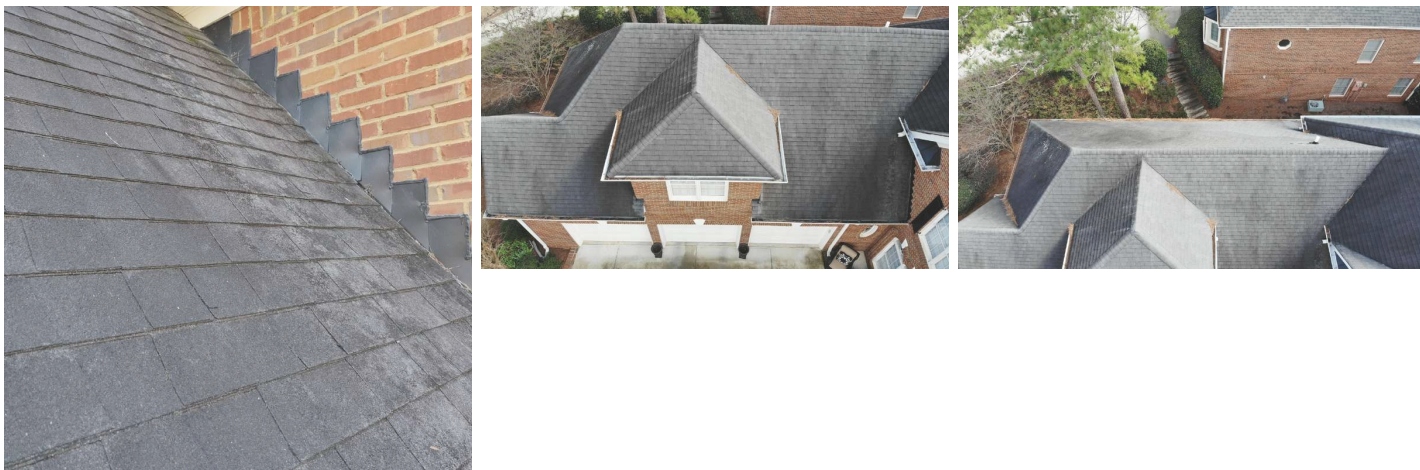
I observed discoloration consistent with algae stains. This is common in high-humidity areas. Recommend a qualified Roofing professional evaluate further and correct to prolong the life of shingles.

Click here to find tips on how to remove and prevent algae growth...

<https://www.todayshomeowner.com/remove-prevent-algae-stains-asphalt-shingle/>

Recommendation

Contact a qualified roofing professional.



2.3.1 Roof Drainage Systems

 **Concern**

GUTTER/DOWNSPOUT RUST

Observed rust on the gutter system. I recommend a qualified gutter contractor evaluate further and repair as needed.

Recommendation

Contact a qualified professional.



2.3.2 Roof Drainage Systems

DOWNSPOUT - POOR DISCHARGE LOCATION

ABOVE FRONT DOOR

I observed a gutter that discharges in a poor location. I recommend improving to allow for proper drainage.

Recommendation

Contact a qualified professional.



2.3.3 Roof Drainage Systems

DOWNSPOUT LOOSE

I observed a downspout that was loose or lacking proper support. I recommend a qualified gutter contractor secure as needed.

Recommendation

Contact a qualified professional.



2.4.1 Flashings and Penetrations

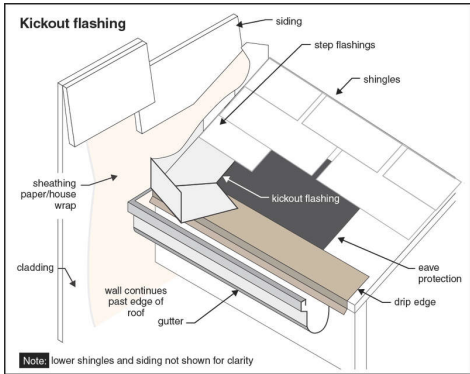
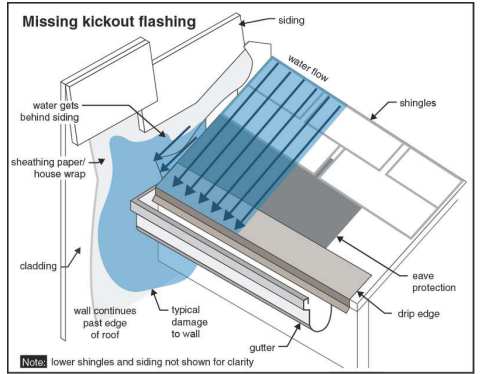
KICKOUT FLASHING MISSING

I recommend adding kickout flashing at this area to prevent water from running down the wall.



Recommendation

Contact a qualified roofing professional.

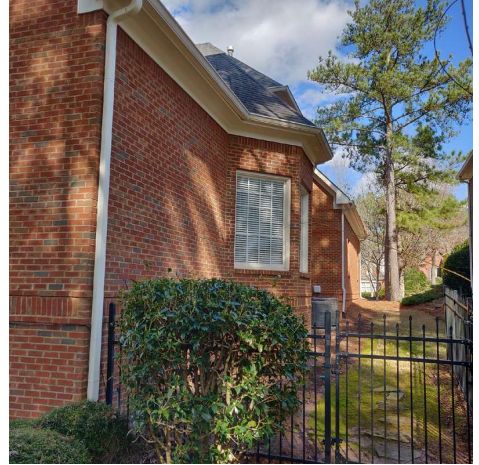


3: EXTERIOR

Information

General: Description of Exterior Inspection

The exterior finishings will be observed for general condition and signs of obvious defects. Siding materials are described in this section. Window and door exterior condition are observed as well as any deck or porch structures. Penetrations through the wall surface will be visually observed for signs of defects.



General: Inspection Method
Visual

Eaves, Soffits & Fascia: Material
Wood

Siding & Trim: Siding Material
Brick Veneer

Exterior Doors & Windows: Details
Inspected

Walkways, Patios & Driveways: Driveway Details
Inspected

Walkways, Patios & Driveways: Walkway Details
Inspected

Walkways, Patios & Driveways: Material
Concrete

Decks, Balconies, Porches & Steps: Details
Inspected

Decks, Balconies, Porches & Steps: Type Present
Deck with Steps

Decks, Balconies, Porches & Steps: Material
Concrete

Vegetation, Grading, Drainage & Retaining Walls: Description of Inspection of Grounds Components

Inspection of the grounds includes visual observation of the lot drainage and vegetation in relation to how it may affect the structure. Driveways and walkways are inspected for overall condition. Stairs and railings that may be present are inspected for condition and functional safety. Recreational facilities such as play-sets, slides, swings, tree houses, etc. will not be inspected unless otherwise specified and agreed upon.

Vegetation, Grading, Drainage & Retaining Walls: Grading Conditions
Inspected

Limitations

Vegetation, Grading, Drainage & Retaining Walls

GENERAL LIMITATIONS

The performance of lot drainage and the grading are limited to the conditions existing at the time of the inspection only. I cannot guarantee this performance as conditions constantly change. Heavy rain or other weather conditions may reveal issues that were not visible or foreseen at the time of inspection. Furthermore, items such as leakage in downspouts and gutter systems are impossible to detect during dry weather. The inspection of the grading and drainage performance in relation to moisture infiltration through foundation walls, therefore, is limited to the visible conditions at the time of inspection, and evidence of past problems.

Concerns

3.2.1 Eaves, Soffits & Fascia



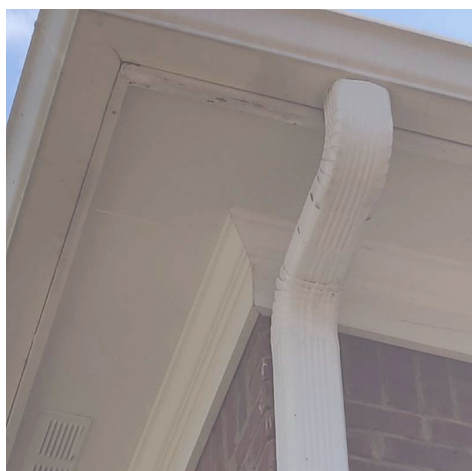
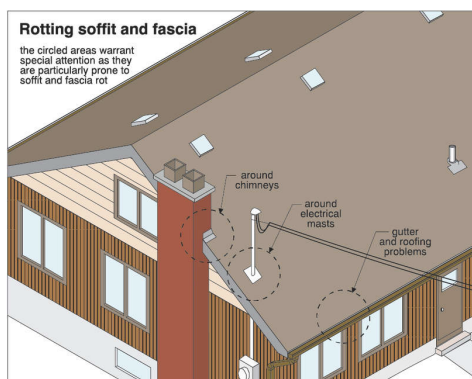
EAVES - DAMAGED

VARIOUS

Sections of the eaves/soffit were damaged. I recommend qualified contractor evaluate & repair.

Recommendation

Contact a qualified roofing professional.



3.3.1 Siding & Trim



BRICK MOVEMENT

OVER THE FRONT DOOR

Signs of movement in the brick was observed. I recommend a qualified professional evaluate further and repair as needed

Recommendation

Contact a qualified masonry professional.



3.4.1 Exterior Doors & Windows

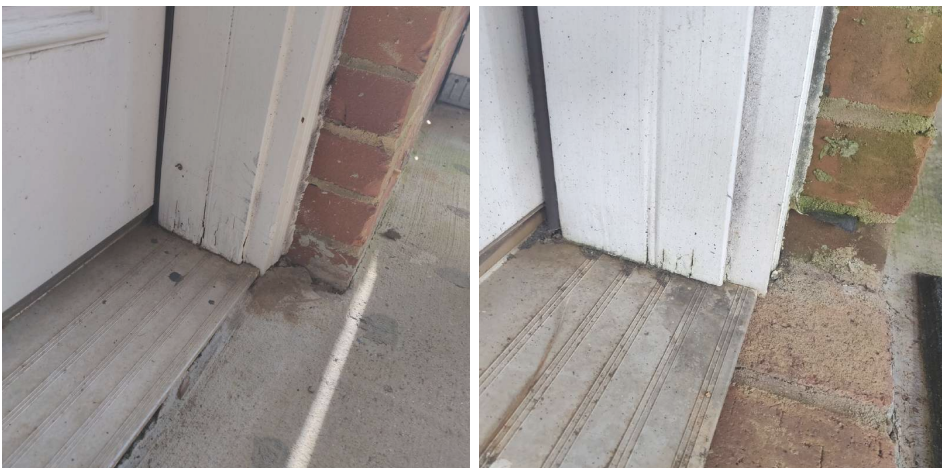
 Concern

DOOR TRIM - ROT

Observed water damage to the lower sections of door trim/frame. Recommend a qualified professional evaluate further and repair these areas to prevent further damage.

Recommendation

Contact a qualified professional.



3.6.1 Decks, Balconies, Porches & Steps



DECK - AGING

Deck and/or components are showing signs of aging. Recommend a qualified deck contractor evaluate further and as part of regular maintenance seal to prolong life of boards.

Recommendation

Contact a qualified deck contractor.



3.6.2 Decks, Balconies, Porches & Steps



DECK - GROUND CONTACT

Observed decking components touching ground. While components may be rated for ground contact, ground contact allows the boards to hold moisture and will eventually rot the wood. Upon probing areas just below the ground surface no immediate signs of being rotted through were observed.

Recommend a qualified decking contractor evaluate and correct.

Recommendation

Contact a qualified deck contractor.



3.6.3 Decks, Balconies, Porches & Steps

 Special Attention

STAIR STRINGERS - DAMAGE

I observed damage to one or more stair stringers. I recommend a qualified decking contractor evaluate further and correct.

Recommendation

Contact a qualified deck contractor.



3.6.4 Decks, Balconies, Porches & Steps

 Concern

STAIRS UNDER SUPPORTED

The deck stair stringers were poorly attached (raises potential for detachment). Consult with a reputable contractor for repair.

Recommendation

Contact a qualified deck contractor.



3.6.5 Decks, Balconies, Porches & Steps

 Concern

DECK OVER BRICK VENEER

It is not recommended for decks to be installed over brick veneer. This raises concerns for lateral movement. I recommend a qualified decking contractor evaluate and correct as needed.

Recommendation

Contact a qualified deck contractor.



3.7.1 Vegetation, Grading, Drainage & Retaining Walls



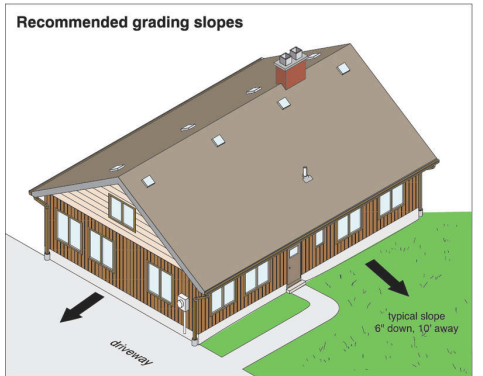
NEGATIVE/NEUTRAL GRADING

There was an area of negative grading and poor drainage at the front of the home. there was also an area around the air conditioner units that appeared to hold water. I recommend qualified grader or contractor regrade so water flows away from home. it may be beneficial to add drains from this area to prevent ground erosion under the driveway.

[Here is a helpful article](#) discussing negative grading.

Recommendation

Contact a qualified professional.



3.7.2 Vegetation, Grading, Drainage & Retaining Walls



TREE OVERHANG

Trees observed overhanging the roof. This can cause damage to the roof and prevent proper drainage. Recommend a qualified tree service trim to allow for proper drainage.

Recommendation

Contact a qualified tree service company.



3.7.3 Vegetation, Grading, Drainage & Retaining Walls

 Low Level Concern

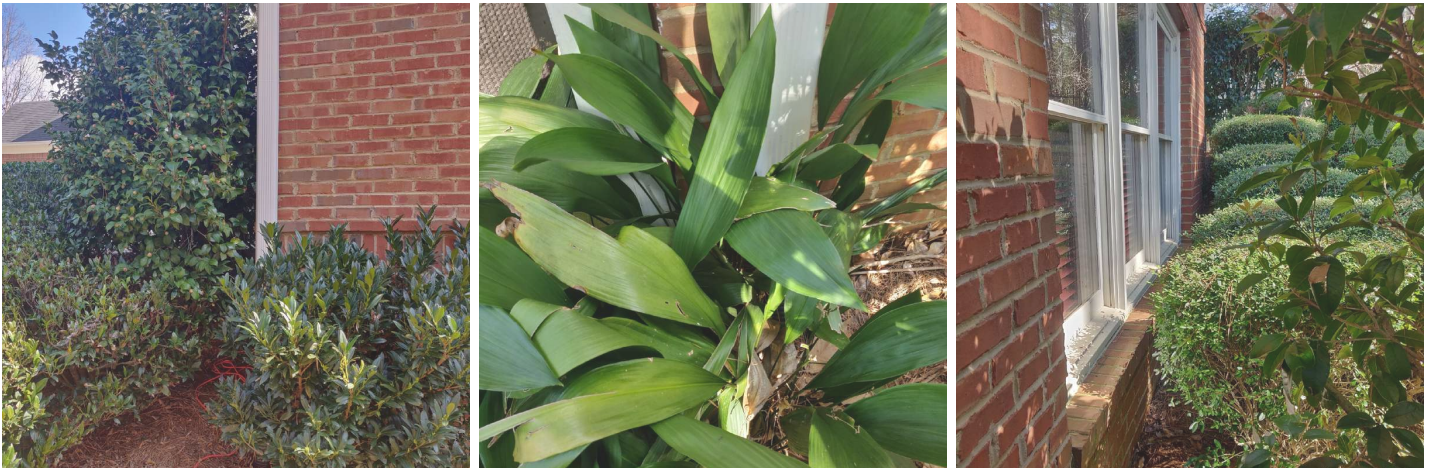
VEGETATION TOUCHING HOUSE

When vegetation touches the home it is an entry point for pests, possible water intrusion and could damage exterior components.

I recommend any vegetation be trimmed back to have a 6-inch clearance.

Recommendation

Contact a qualified professional.



4: HEATING & COOLING

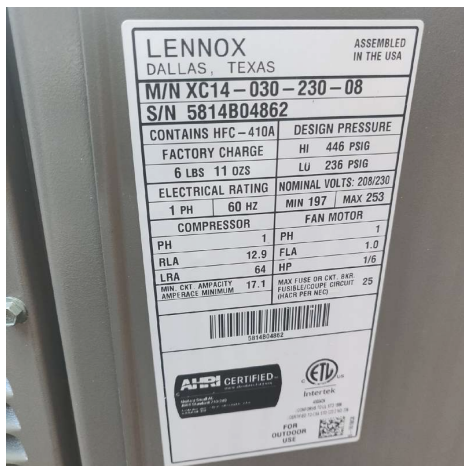
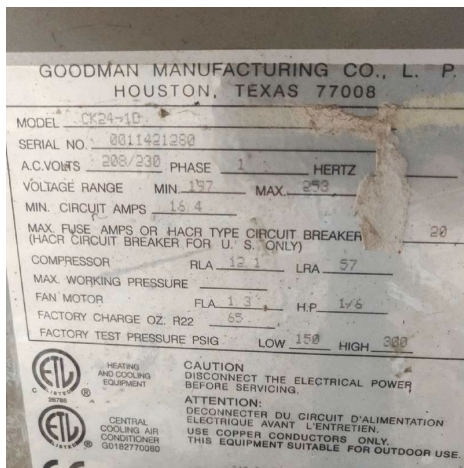
Information

General: Description of Inspection of the Heating and Cooling System

Inspection of heating and cooling systems typically includes visual examination of readily observable components for adequate condition and system testing for proper operation using normal controls. This inspection will not be as comprehensive as that performed by a qualified heating, ventilating, and air-conditioning (HVAC) system contractor. Report comments are limited to identification of common requirements and deficiencies.

Cooling Equipment: Brand

Lennox



Cooling Equipment: Energy Source/Type

Central Air Conditioner, Electric

Cooling Equipment: Location

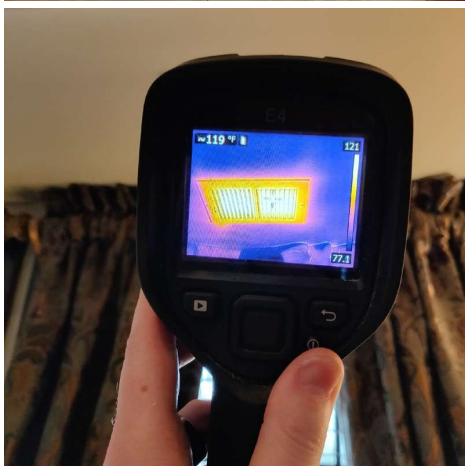
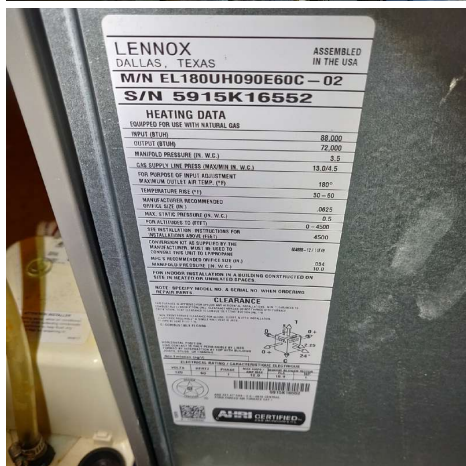
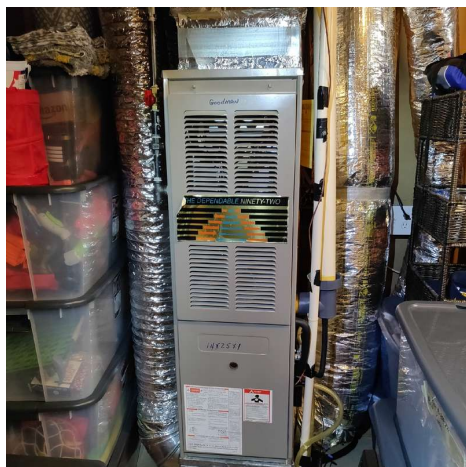
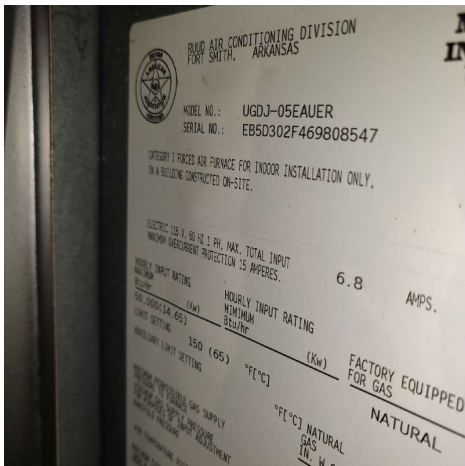
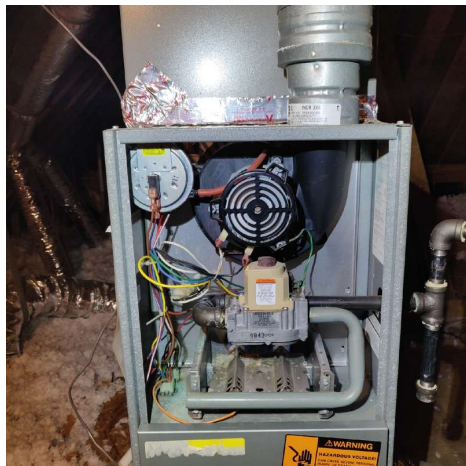
Left Side

Cooling Equipment: Manufacture Date

Goodman - 2000,
Lennox - 2016, 2014

The average life expectancy is 13 to 17 years.

Heating Equipment: Brand Ruud, Lennox, Goodman



Heating Equipment: Energy Source
Gas

Heating Equipment: Heat Type
Forced Air

Heating Equipment: Filter Location
At Furnace

Normal Operating Controls: Thermostat Location
Living Room, Hallway, Basement

Distribution Systems: Ductwork
Insulated

Presence of Installed Heat Source: Fireplace
Living Room
Gas

Limitations

Vents, Flues & Chimneys

FLUE VISIBILITY LIMITED

The visibility of the flue is limited. Only the visible sections of the flue can be commented on.

Concerns

4.2.1 Cooling Equipment

NEAR END OF LIFE EXPECTANCY

The average lifespan is 13 to 17 years. The air conditioner unit(s) showed signs of wear and tear. Recommend monitoring effectiveness.

As part of regular maintenance I recommend a qualified HVAC professional cleaning service and certify the HVAC system.

During the aging process, other HVAC components such as lineset insulation can deteriorate. It is a good idea to have all components evaluated by qualified HVAC professional.

Recommendation

Contact a qualified HVAC professional.



4.3.1 Heating Equipment

FILTER DIRTY

The furnace filter is dirty. It is important to replace the filter every 1 to 2 months keep the system clean and running smoothly.

Recommendation

Contact a qualified HVAC professional.



4.3.2 Heating Equipment

FURNACE - RUST

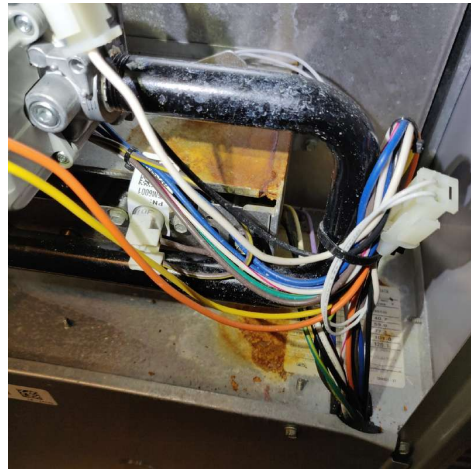
LENNOX, BASEMENT

I observed rust on furnace components. Condensation was leaking at the time of inspection. I recommend a qualified HVAC professional evaluate further to determine cause.

Recommendation

Contact a qualified HVAC professional.





5: STRUCTURE

Information

General: Description of Structural and Foundation Inspection

This inspection includes inspection of the structural elements that were readily visible at the time of the inspection. This typically includes the foundation, exterior walls, floor structures and roof structure. Much of the structure is hidden behind exterior and interior roof, floor, wall, and ceiling coverings, or is buried underground. Because this inspection is limited to visual and non-invasive methods, this report may not identify all structural deficiencies. Upon observing indications that structural problems may exist that are not readily visible, the report may recommend inspection, testing, or evaluation by a specialist that may include invasive measures.

General: Inspection Method

Attic Access, Visual, Access
Limited

Foundation: Material

Concrete

Foundation: Configuration

Basement

Basements & Crawlspace: Moisture Meter Testing

Walls Were Tested With a Moisture Meter

All accessible walls below grade were tested with a moisture meter. Personal storage, furniture, wall coverings, and other components may restrict accessibility and visibility of portions of the walls. Areas that were restricted from accessibility and visibility could not be inspected, tested, or commented on and are specifically disclaimed from this report. The presence or lack of moisture is not a prediction of future conditions - it is only a reflection of the condition at the time of the inspection. Future conditions cannot be predicted.

Basements & Crawlspace: Basements/Crawlspace Prone To Moisture

continually conditioned by an HVAC system or to run dehumidifiers. a good idea if the space is not

Please feel free to reach out to our company or waterproofing contractor for clarification on this matter. We are here to help.

Floor Structure: Material

Wood Joist

Floor Structure: Sub-floor

Plywood

Floor Structure: Basement/Crawlspace/Main Floor

Concrete

Wall Structure: Exterior Wall Construction

Wood frame

Roof & Ceiling Framing: Type

Combination

Roof & Ceiling Framing: Frame Type

Rafters/roof joist

Roof & Ceiling Framing:

Sheathing

Inspected, OSB

Limitations

Foundation

FOOTING CONDITION

The footings for the structure are beneath the soil and are not visible. The presence and condition of the footings cannot be commented on and are disclaimed from this report.

Concerns

5.5.1 Wall Structure

 **Special Attention**

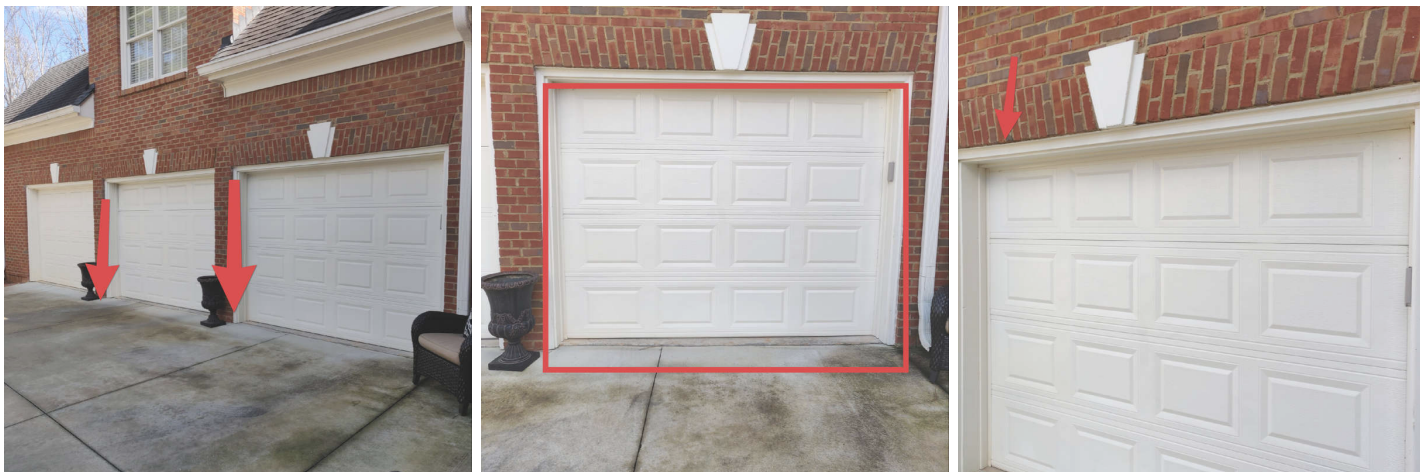
SIGNS OF SETTLEMENT

Wall structure showed signs of settlement in between garage doors. Garage doors were out of square and breaking and cracks in bricks were noted above.

I recommend a qualified contractor evaluate and make corrections or repairs as needed.

Recommendation

Contact a qualified professional.



5.6.1 Roof & Ceiling Framing

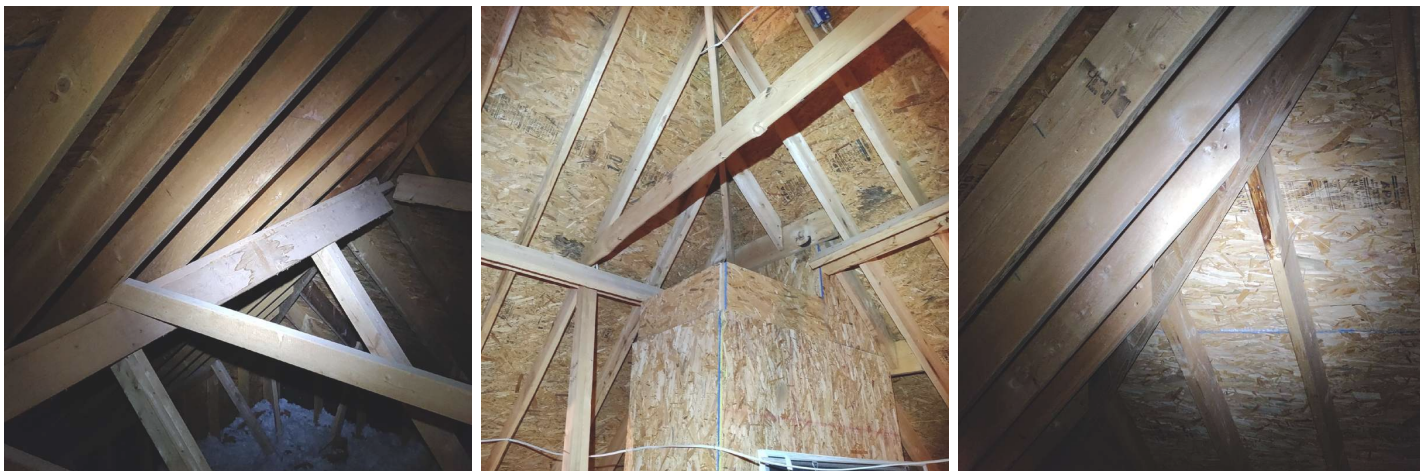
 **Special Attention**

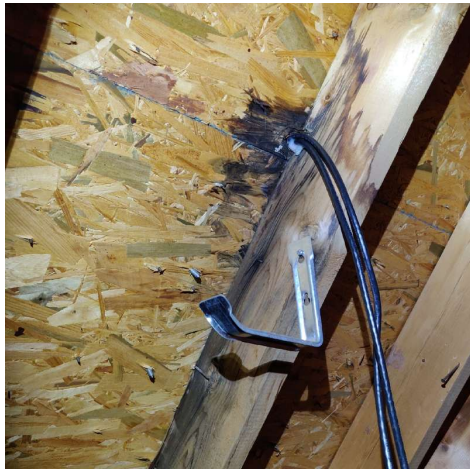
WATER STAINS

I observed water stains in the attic at various areas. It appears one location of the roof covering and sheathing was drilled through to allow TV cables. Cables should be moved to another location and this area repaired by qualified roofer I recommend a qualified roofer evaluate further and repair as needed.

Recommendation

Contact a qualified roofing professional.





6: ELECTRICAL

Information

General: Description of Inspection of the Electrical System

Inspection of the electrical system includes observation of the service entry location and wire material. Distribution panels are inspected as well as branch wiring material. A representative number of fixtures (switches, lights, ceiling fans) are inspected and accessible GFCI devices are tested for normal operation. Inspection of the electrical system is not technically exhaustive as it would be if performed by a licensed electrician. If you have specific concerns for the electrical system then please bring them to our attention or consult with a licensed electrician for more of an comprehensive review.

Service Entrance Conductors: Electrical Service Entrance

Below Ground, 220 Volts

Service Entrance Conductors: Grounding Source

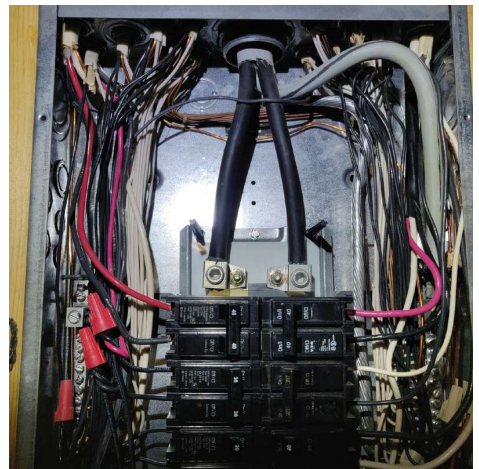
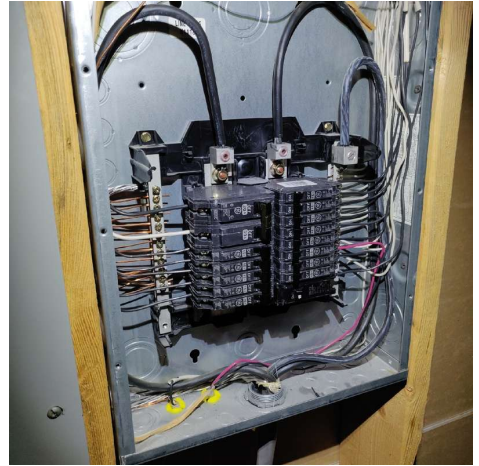
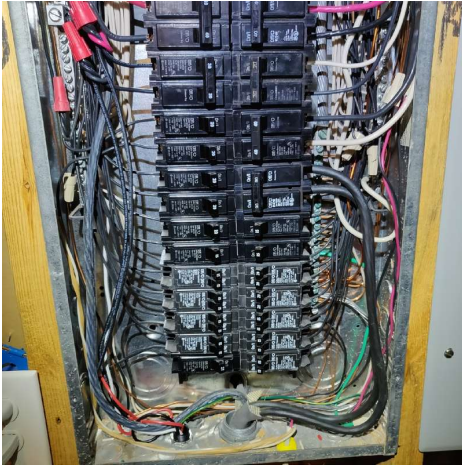
Not Visible

Service Entrance Conductors: Meter

Right Side



Main & Subpanels, Service & Grounding, Main Overcurrent Device: Main Panel Location Basement



Main & Subpanels, Service & Grounding, Main Overcurrent Device: Panel Capacity
200 AMP

Wiring: Distribution Wire Material and Type
Copper, Non-metallic sheathed

Main & Subpanels, Service & Grounding, Main Overcurrent Device: Panel Type
Circuit Breaker

Lighting Fixtures, Switches & Receptacles: Receptacles
Inspected
Accessible receptacles were spot tested.

Main & Subpanels, Service & Grounding, Main Overcurrent Device: Main Disconnect
At meter

GFCI & AFCI: Details
Inspected

Limitations

Wiring

WIRING INSIDE OF WALLS

Wiring inside of walls is not visible and cannot be commented on. All of the wire types that may be present in the walls cannot be determined.

Smoke Detectors

NOT INSPECTED AS PART OF A HOME INSPECTION.

It is recommended to replace smoke detectors every 10 years.



Replace your alarms after 10 years.
Smoke alarms do not last forever. If your alarms are 10 years old or older, replace them with new alarms.

U.S. Fire Administration | FEMA

Concerns

6.5.1 Lighting Fixtures, Switches & Receptacles

 Concern

LIGHTS INOPERABLE

Light(s) not operating. New light bulbs possibly needed or there could be a disconnect in the wiring/light fixtures. I recommend a qualified electrician evaluate further.

Recommendation

Contact a qualified electrical contractor.



6.6.1 GFCI & AFCI

 Concern

GFCI FAULTY

GFCI protected outlet tested faulty. There is power to this outlet but it may no longer function as a GFCI protected Outlet. Recommend a qualified electrician evaluate and correct.

Recommendation

Contact a qualified professional.



7: PLUMBING

Information

General: Description of Inspection of the Plumbing System

The plumbing system is evaluated for general functionality. Fixtures (sinks, toilets, showers, etc.) were operated using normal controls, unless otherwise specified. Waste and supply piping is inspected for functionality and the types of pipes that are visible will be reported. Water heaters are inspected for functionality (not performance) - the age of the heater will be reported for your convenience if readily available. Jacuzzi tubs are operated unless otherwise specified. Understand that we are testing for basic functionality of the system and its components. This inspection will not be as in-depth as if it were performed by a licensed plumber. If you have specific plumbing concerns then please bring them to our attention and consult with a licensed plumber for further information.

General: Filters

None

General: Water Source

Public

General: Waste Water Disposal Source

The source of the waste water disposal was not verified as a part of this inspection. Recommend verification.

Drain, Waste, & Vent Systems: Material

PVC

Visible types of piping serving the waste system (drains, traps, vents, etc.).

Water Supply, Distribution

Systems & Fixtures: Water

Pressure

50-60PSI

Water pressure is recommended to be between 40-80 PSI.

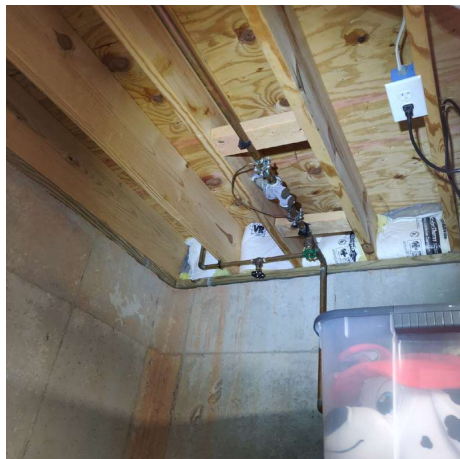
Water Supply, Distribution Systems & Fixtures: Distribution Material

Copper

Listed are the types of supply piping that were visible at the time of this inspection. Not all of the piping is visible during an inspection. Piping that was not visible cannot be commented on and is excluded from this report.

Water Supply, Distribution Systems & Fixtures: Main Water Shut-off Location

Basement, North



Water Supply, Distribution Systems & Fixtures: Water Supply Material

Unknown

Hot Water Systems, Controls, Flues & Vents: Manufacturer

Ruud

I recommend flushing & servicing your water heater tank annually for optimal performance. Water temperature should be set to at least 120 degrees F to kill microbes and no higher than 130 degrees F to prevent scalding.

[Here is a nice maintenance guide from Lowe's to help.](#)



Hot Water Systems, Controls, Flues & Vents: Power Source/Type

Gas

Hot Water Systems, Controls, Flues & Vents: Capacity

90 gallons

Hot Water Systems, Controls, Flues & Vents: Location

Basement

Hot Water Systems, Controls, Flues & Vents: Manufacture Date

2011

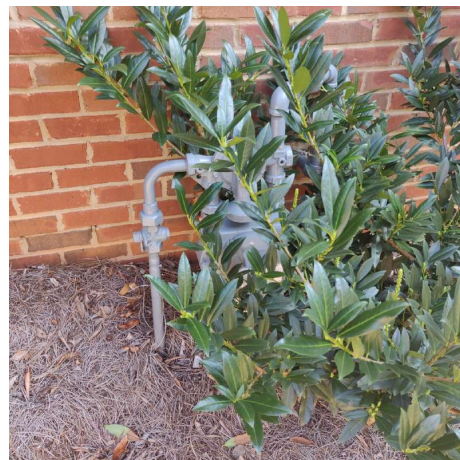
The average life expectancy for a water heater is 10 to 12 years.

Fuel Storage & Distribution Systems: Main Gas Shut-off

Location

Right Side

Gas Meter



Sump Pump: Location

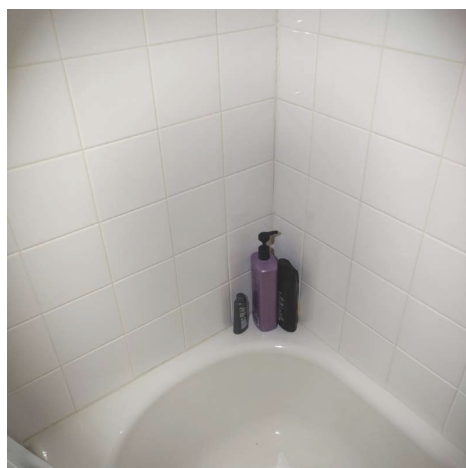
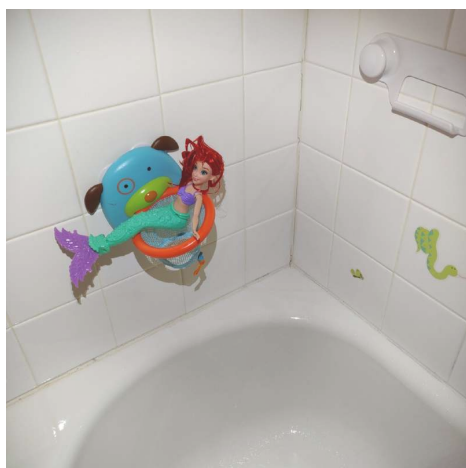
Under Sink In Basement

Exterior Fixtures: Details

Inspected

Sinks, Bathtubs & Shower Enclosures : Grout/Sealant Needed

I observed areas in the shower and around the bathtub that have cracks in the grout. Recommend sealing these areas to prevent water intrusion.



Limitations

General

EMERGENCY OVERFLOW TESTING

The emergency overflow drains are not a part of the standards of practice and were not tested during this inspection. Care should be exercised in filling tubs and sinks to not allow water into the overflow. While they will likely drain away most of the water, some amount of leaking around the gaskets may occur. You can have a plumber to check the gaskets and repair if this is of concern to you.

General

FUNCTIONAL DRAIN TESTING

A large amount of water was operated during the inspection as a part of testing the piping, fixtures, and the waste drainage system. A portion of the drainage piping is below the ground and is not fully visible without the use of a sewer scope system (which is not a part of this inspection). A sewer scope inspection can reveal issues with the waste piping below the soil that may have not been visible during the inspection. Readily visible issues with the drainage system will be listed in the report. If you wish to have a more invasive inspection of the waste piping that is not visible, you are advised to contact a reputable plumbing company to have the piping scoped.

General

TESTING OF THE WATER SUPPLY

Plumbing fixtures are operating simultaneously in effort to mimic normal living conditions. While testing during the inspection is thorough, it is not possible to recreate all of the conditions that will be present in an occupied home. Water pressure and flow may fluctuate at certain times of the day. In addition, hot water may be delayed in reaching some fixtures in the home. If there are indications of these concerns during the inspection, they will be noted in the report. However, for most occasions it is not possible to detect these items during an inspection.

Water Supply, Distribution Systems & Fixtures

SUPPLY PIPING MATERIAL LIMITATIONS

Sections of the supply piping are located inside of walls or floors and was not visible at the time of inspection. Piping that is not visible cannot be commented on.

Water Supply, Distribution Systems & Fixtures

WATER SUPPLY VALVE OPERATION

Water supply and shut-off valves were not turned on or off during this inspection unless otherwise noted. Turning valves on that were previously turned off is not part of the standards of practice, as mentioned in your inspection contract.

Concerns

7.3.1 Water Supply, Distribution Systems & Fixtures

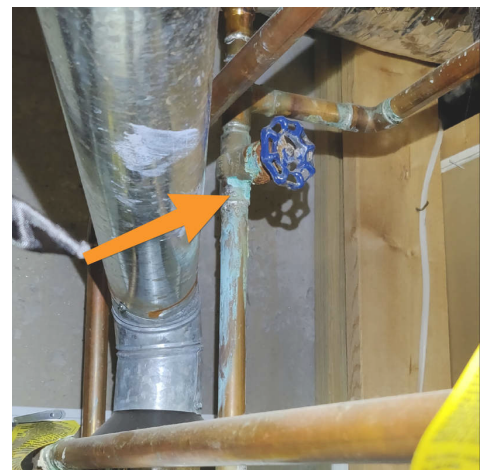
RUST/CORROSION

ABOVE WATER HEATER

I observed rust and corrosion on plumbing components. Signs of leaking were observed. I recommend a qualified plumber evaluate further and repair as needed.

Recommendation

Contact a qualified plumbing contractor.



7.4.1 Hot Water Systems, Controls, Flues & Vents

 Concern

NEAR END OF LIFE

The average life expectancy for a water heater is 10 to 12 years. Recommend monitoring it's effectiveness and consider replacing in the near future.

Recommendation

Contact a qualified plumbing contractor.



7.6.1 Sump Pump

 Special Attention

SINK SUMP PUMP

The under sink sump pump in the basement was not functioning properly. The basin overflowed. The pump did kick on after a few minutes.

I recommend a qualified plumber evaluate and repair or replace as needed.

Recommendation

Contact a qualified professional.



8: GARAGE

Information

General: Description of Inspection of the Garage

Inspection of the garage includes visual observation of the general condition of the walls, ceilings, and slab. Overhead garage door openers that may be present will be tested for basic function using normal operation controls. Interior and exterior doors are inspected for condition and functionality.

General: Accessibility

Some Areas Restricted

General: Garage Type

Attached

Overhead Door: Details

Inspected, Operated

Walls, Ceiling, & Slab: Walls and Ceiling Details

Inspected

Walls, Ceiling, & Slab: Concrete Slab Details

Inspected

Interior Door: Details

Inspected

Concerns

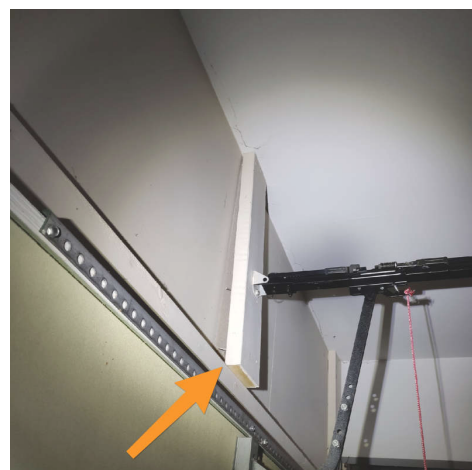
8.2.1 Overhead Door

LOOSE COMPONENT

Bracing for the overhead garage door component was loose. I recommend a qualified professional correct to prevent damage or injury.

Recommendation

Contact a qualified professional.



9: ATTIC

Information

General: Description of Inspection of the Attic

Inspection of the attic spaces includes observation of the following components: the presence and general condition of the insulation, methods of ventilation, and visual condition of the framing. As noted in the standards of practice, the roof framing system is not inspected for design or load calculations - ventilation and insulation value are not calculated for adequacy or performance. Obvious and visible signs of water intrusion will be noted in this report and effort will be made to try to determine water entry is ongoing - however, it is not possible in all situations to verify. All items in this section should be reviewed and corrected by the appropriate trades professionals.



Access: Access Location

Hallway, Master

Access: Access Type

Pull-Down Stairs, Scuttle Opening

Access: Method of Inspection

Fully Entered, Some Areas Restricted

Attic Insulation: Insulation Type

Loose-fill

Ventilation: Attic Ventilation Type

Thermostatically Controlled Fan, Soffit Vents

Concerns

9.3.1 Attic Insulation

INSUFFICIENT INSULATION



Insulation depth was low in areas. Some settlement/compression of insulation is normal. The insulation had been compressed from sheathing placed on top. I recommend a qualified attic insulation contractor add additional insulation as needed.

Recommendation

Contact a qualified insulation contractor.



9.3.2 Attic Insulation

ATTIC ACCESS - NOT INSULATED

 Concern

I recommend adding insulation to the attic access door to prevent energy loss.

Recommendation

Contact a qualified professional.



9.3.3 Attic Insulation

ACCESS BLOCKED

 Concern

Access panels to the knee wall attic areas above the garage are sealed off. Recommend making these accessible as needed.

Recommendation

Contact a qualified professional.



10: INTERIOR

Information

General: Description of Inspection of the Interior Conditions

The interior finishings and components will be inspected for signs of obvious defects. Doors and windows are operated, walls, ceilings, and floors are observed for signs of moisture and obvious concern, stairways and railings are checked for visible safety concerns, and counter tops and cabinets are checked for signs of abnormal conditions and obvious defects.

Cosmetic concerns are not a part of this inspection. If there is a cosmetic concern noted in this report, it will be listed as such and will be noted as an informative item only.

Walls, Ceilings & Floors: Details

Inspected

Doors: Details

Inspected

A representative number of doors were operated.

Windows: Details

Inspected

Accessible windows were spot checked for functionality. Windows that were not accessible cannot be fully commented on. Notable deficiencies will be listed in this report.

Home Exhaust Systems: Exhaust Fans

Inspected

Steps, Stairways & Railings: Details

Inspected

Cabinets & Countertops: Details

Inspected

Limitations

General

COSMETIC ITEMS

Concerns that are cosmetic in nature (i.e. do not affect the integrity of the structure or functionality of the home and it's components) are not a requirement of The State of Tennessee Home Inspector's Licensing Board and are generally not commented on. If a cosmetic item is listed in this report, it will be noted as such.

Windows

BLINDS, SHADES, AND SHUTTERS

The condition and functionality of blinds, shades, and shutters are not a requirement of this report according to the State of Tennessee Licensing Board and will generally not be commented on.

Windows

VISIBILITY OF FAULTY THERMAL SEALS

The visibility of faulty thermal seals is not possible in all situations. Variables such as accessibility to the windows, time of day, weather conditions, cleanliness of windows, indoor and outdoor temperatures, etc. will affect the ability to detect a faulty seal. Because a standard inspection typically lasts between 2 and 4 hours, some windows that have a faulty seal may not be visible during the inspection and are explicitly disclaimed from this report.

Concerns

10.2.1 Walls, Ceilings & Floors

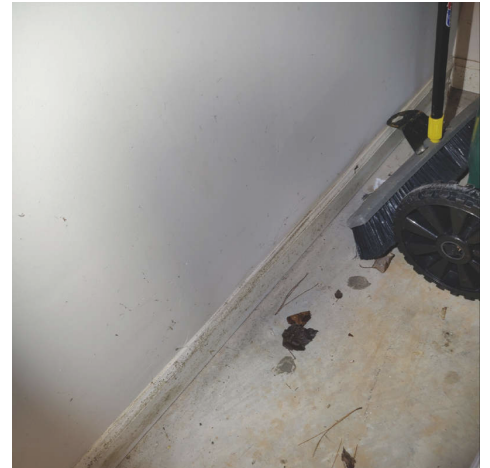


POSSIBLE MICROBIAL GROWTH

I observed signs of microbial growth on the trim in garage. This area was dry at the time of inspection. This is most likely due to excess humidity in the garage in the summer months corrected. I recommend a qualified contractor clean as needed..

Recommendation

Contact a qualified mold inspection professional.



10.3.1 Doors



DOUBLE KEYED DEADBOLT

One or more door locks require a key to unlock from the inside. This is a fire escape hazard. I recommend all deadbolts be unlockable from the inside without a key.

Recommendation

Recommended DIY Project



10.4.1 Windows



DIFFICULT TO OPERATE

I observed a number of the windows to be difficult to open and close. I was unable some windows at the time of inspection especially the top sashes. I recommend a window professional clean, lubricate & adjust as necessary.

Recommendation

Contact a qualified window repair/installation contractor.



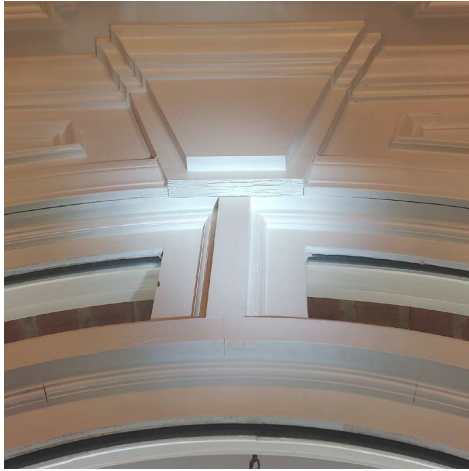
10.4.2 Windows

**WATER INTRUSION**

Water stains were underneath the window in the foyer. I recommend a qualified siding contractor evaluate siding further and correct.

Recommendation

Contact a qualified siding specialist.



11: APPLIANCES

Information

General: Description of Inspection of the Appliances

Operated

The appliances that were present were operated / inspected using normal operation controls and are tested for basic function only. Special features and components are not tested and will not be commented on. Only the notable deficiencies with major components will be listed in this report.

Dishwasher: Details

Inspected

Cooktop and Oven: Cook Top Details

Inspected

Cooktop and Oven: Oven Details

Inspected

Refrigerator: Details

Inspected

Garbage Disposal: Details

Inspected

Microwave: Details

Inspected

Ventilation: Details

Inspected, Downdraft

Washer and Dryer: Dryer Vent Details

Metal

Exhaust ducts for clothes dryers should terminate on the outside of the building and should be equipped with a back-draft damper. Screens should not be installed at the duct termination.

Washer and Dryer: Dryer Power

Source

220 Electric