



THI THE HOME INSPECTOR LLC

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<https://www.thihomeinspector.com>



RESIDENTIAL PROPERTY INSPECTION REPORT

1234 Main St.
Ringgold GA 30736

Buyer Name

03/04/2019 9:00AM



Inspector

Mel Edwards

Mel Edwards

423-902-4008

thihomeinspector@gmail.com



Agent

Agent Name

555-555-5555

agent@spectora.com

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SUMMARY

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1: INSPECTION DETAILS

Information

In Attendance

Inspector

Occupancy

Vacant

Type of Building

Single Family

Construction Year (From Online Sources)

1992

Weather Conditions

Clear

Temperature at the Time of Inspection

40-50 Degrees



Precipitation in the Last 48 hrs? Ground Condition

Yes

Wet

Orientation

For the sake of this inspection the front of the home will be considered as the portion pictured in the cover photo. References to the left or right of the home should be construed as standing in the front yard, viewing the front of the home.

Overview

THI THE HOME INSPECTOR strives to perform all inspections in substantial compliance with the Standards of Practice as set forth by the State of Tennessee. As such, I inspect the readily accessible, visually observable, installed systems and components of the home as designated in these Standards of Practice. When systems or components designated in the Standards of Practice were present but were not inspected, the reason(s) the item was not inspected will be stated. This inspection is neither technically exhaustive or quantitative.

This report contains observations of those systems and components that, in my professional judgement, were not functioning properly, significantly deficient, or unsafe. **All items in this report that were designated for repair, replacement, maintenance, or further evaluation should be investigated by qualified tradespeople within the clients contingency period or prior to closing**, which is contract applicable, to determine a total cost of said repairs and to learn of any additional problems that may be present during these evaluations that were not visible during a "visual only" Home Inspection.

This inspection will not reveal every concern or issue that may be present, but only those significant defects that were visible at the time of inspection. This inspection can not predict future conditions, or determine if latent or concealed defects are present. The statements made in this report reflect the conditions as existing at the time of Inspection only, and expire at the completion of the inspection. Weather conditions and other changes in conditions may reveal problems that were not present at the time of inspection; including roof leaks, or water infiltration into crawl spaces or basements. This report is only supplemental to the Sellers Disclosure and Pest (WDI) Inspection Report. Refer to the State of Tennessee Standards of Practice (linked to above), and the Inspection agreement regarding the scope and limitations of this inspection.

This inspection is **NOT** intended to be considered as a **GUARANTEE OR WARRANTY, EXPRESSED OR IMPLIED, REGARDING THE CONDITIONS OF THE PROPERTY, INCLUDING THE ITEMS AND SYSTEMS INSPECTED, AND IT SHOULD NOT BE RELIED ON AS SUCH**. This inspection report should be used alongside the sellers disclosure, pest inspection (WDI) report, and quotes and advice from the tradespeople recommended in this report to gain a better understanding of the condition of the home. Some risk is always involved when purchasing a property and unexpected repairs should be anticipated, as this is unfortunately, a part of home ownership. One Year Home Warranties are sometimes provided by the sellers, and are **highly recommended** as they will cover future repairs on major items and components of the home. If a warranty is not being provided by the seller(s), your Realtor can advise you of companies who offer them.

Notice to Third Parties

Notice to Third Parties: This report is the property of THI THE HOME INSPECTOR and is **Copyrighted as of 2018**. The Client(s) and their Direct Real Estate Representative named herein have been named as licensee(s) of this document. This document is **non-transferrable, in whole or in part**, to any and all third-parties, including: subsequent buyers, sellers, and listing agents. Copying and pasting deficiencies to prepare the repair request is permitted. **THE INFORMATION IN THIS REPORT SHALL NOT BE RELIED UPON BY ANY ONE OTHER THAN THE CLIENT NAMED HEREIN**. This report is governed by an Inspection agreement that contained the scope of the inspection, including limitations, exclusions, and conditions of the copyright. Unauthorized recipients are advised to contact a qualified Home Inspector of their choosing to provide them with their own Inspection and Report.

Items Not Inspected and Other Limitations

ITEMS NOT INSPECTED - There are items that are not inspected in a home inspection such as, but not limited to; fences and gates, pools and spas, outbuildings or any other detached structure, refrigerators, washers / dryers, storm doors and storm windows, screens, window AC units, central vacuum systems, water softeners, alarm and intercom systems, and any item that is not a permanent attached component of the home. Also drop ceiling tiles are not removed, as they are easily damaged, and this is a non-invasive inspection. Subterranean systems are also excluded, such as but not limited to: sewer lines, septic tanks, water delivery systems, and underground fuel storage tanks.

Water and gas shut off valves are not operated under any circumstances. As well, any component or appliance that is unplugged or "shut off" is not turned on or connected for the sake of evaluation. I don't have knowledge of why a component may be shut down, and can't be liable for damages that may result from activating said components / appliances.

Also not reported on are the causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; Calculate the strength, adequacy, design or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility.

Lastly a home inspection does not address environmental concerns such as, but not limited to: Asbestos, lead, lead based paint, radon, mold, wood destroying organisms (termites, etc), cockroaches, rodents, pesticides, fungus, treated lumber, Chinese drywall, mercury, or carbon monoxide.

Recommended Contractors Information

CONTRACTORS / FURTHER EVALUATION: It is recommended that licensed professionals be used for repair issues as it relates to the comments in this report, and copies of receipts are kept for warranty purposes.

The use of the term "Qualified Person" in this report relates to an individual, company, or contractor whom is either licensed or certified in the field of concern. If I recommend evaluation or repairs by contractors or other licensed professionals, it is possible that they will discover additional problems since they will be invasive with their evaluation and repairs. Any listed items in this report concerning areas reserved for such experts should not be construed as a detailed, comprehensive, and / or exhaustive list of problems, or areas of concern.

CAUSES of DAMAGE / METHODS OF REPAIR: Any suggested causes of damage or defects, and methods of repair mentioned in this report are considered a professional courtesy to assist you in better understanding the condition of the home, and in my opinion only from the standpoint of a visual inspection, and should not be wholly relied upon. Contractors or other licensed professionals will have the final determination on the causes of damage/deficiencies, and the best methods of repairs, due to being invasive with their evaluation. Their evaluation will supersede the information found in this report.

Thermal Imaging Information

THERMAL IMAGING: An infrared camera may be used for specific areas or visual problems, and should not be viewed as a full thermal scan of the entire home. Additional services are available at additional costs and would be supplemented by an additional agreement/addendum. Temperature readings displayed on thermal images in this report are included as a courtesy and should not be wholly relied upon as a home inspection is qualitative, not quantitative. These values can vary +/- 4% or more of displayed readings, and these values will display surface temperatures when air temperature readings would actually need to be conducted on some items which is beyond the scope of a home inspection. If a full thermal scan of the home is desired, please reach out to me schedule this service.

Other Notes - Important Info

INACCESSIBLE AREAS: In the report, there may be specific references to areas and items that were inaccessible or only partly accessible. I can make no representations regarding conditions that may be present in these areas but were concealed or inaccessible for review. With access and an opportunity for inspection, reportable conditions or hidden damage may be found in these areas.

COMPONENT LIFE EXPECTANCY - Components may be listed as having no deficiencies at the time of inspection, but may fail at any time due to their age or lack of maintenance, that couldn't be determined by the inspector. A life expectancy chart can be viewed by visiting <http://thihomeinspector.com>

PHOTOGRAPHS: Several photos are included in your inspection report. These photos are for informational purposes only and do not attempt to show every instance or occurrence of a defect.

TYPOGRAPHICAL ERRORS: This report is proofread before sending it out, but typographical errors may be present. If any errors are noticed, please feel free to contact me for clarification.

Please acknowledge to me once you have completed reading the report. At that time I will be happy to answer any questions you may have, or provide clarification. Non-acknowledgement implies that you understood all information contained in this report.

Comment Key - Definitions

This report divides deficiencies into three categories; Major Defects (**in red**), Marginal Defects (**in orange**), and Minor Defects/Maintenance Items/FYI (**colored in blue**). Safety Hazards or concerns will be listed in the Red or Orange categories depending on their perceived danger, but should always be addressed ASAP.

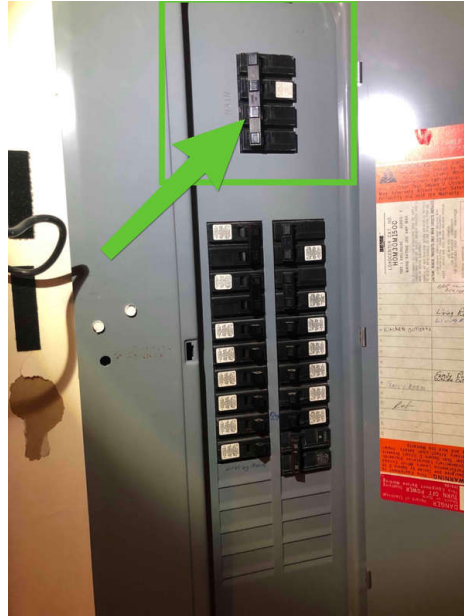
- **Major Defects** - Items or components that may require a major expense to correct. Items categorized in this manner require further evaluation and **repairs or replacement as needed by a Qualified Contractor prior to then end of your contingency period.**
- **Marginal Defects** - Items or components that were found to include a deficiency. These items may have been functional at the time of inspection, but this functionality may be impaired, not ideal, or the defect may lead to further problems (most defects will fall into this categorization). **Repairs or replacement is recommended to items categorized in this manner for optimal performance and/or to avoid future problems or adverse conditions that may occur due to the defect, prior to the end of your contingency period.** Items categorized in this manner typically require repairs from a **Handyman** or **Qualified Contractor** and are **not** considered routine maintenance or DIY repairs.
- **Minor Defects/Maintenance Items/Aged Items** - Items or components that were found to be in need of recurring or basic general maintenance and/or may need minor repairs which may improve their functionality. **Also included in this section are items that were at the end of their typical service life or beginning to show signs of wear, but were in the opinion of the inspector, still functional at the time of inspection.** Major repairs or replacement should be anticipated, and planned for, on any items that are designated as being past, or at the end of their typical life. These repairs or replacement costs can sometimes represent a major expense; i.e. HVAC systems, Water Heaters, Plumbing pipes, etc.

These categorizations are in my professional judgement and based on what I observed at the time of inspection. This categorization should not be construed as to mean that items designated as "Minor defects" or "Marginal Defects" do not need repairs or replacement. The recommendations in each comment is more important than its categorization. Due to your perception, opinions, or personal experience you may feel defects belong in a different category, and you should feel free to consider the importance you believe they hold during your purchasing decision. Once again it's the "Recommendations" in the text of the comment pertaining to each defect that is paramount, not its categorical placement.

2: UTILITY LOCATIONS AND SHUT-OFFS

Information

Electric/Water/Gas: Shut Off



3: GROUNDS

Information

Driveway and Walkway Condition: Driveway Material
Concrete

Driveway and Walkway Condition: Walkway Material
Concrete

Driveway and Walkway Condition: Driveway/Walkway Cracks Present?
Yes, Typical

Grading / Lot Drainage: Grading/Drainage Conditions (All Applicable)
Positive Grading (slopes away from structure)

Gas Meter/LP Tank Information: Fuel Source
Gas Meter

Gas Meter/LP Tank Information: Location of Fuel Source
Right Side of Home

Gas Meter/LP Tank Information:

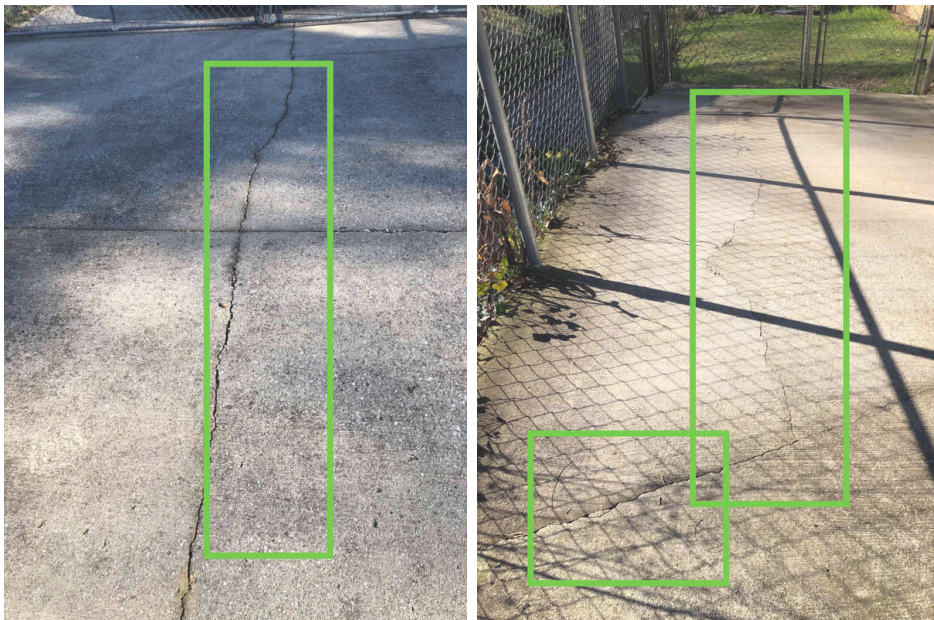
Main Gas Shut Off Valve

Location

On Exterior Meter

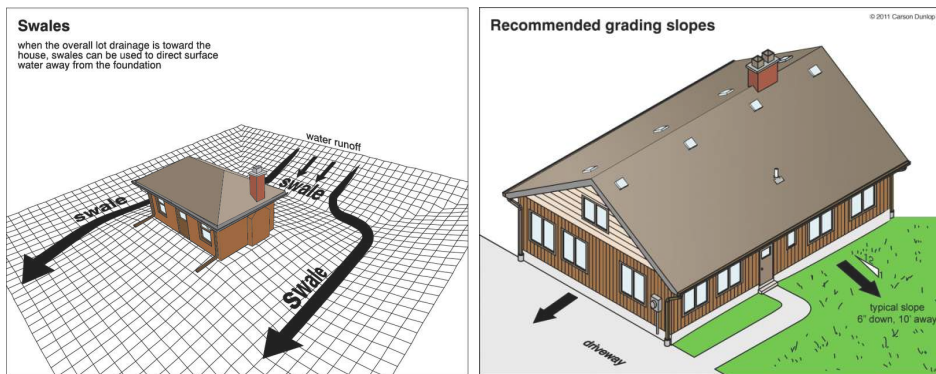
Driveway and Walkway Condition: Typical Settlement / Shrinkage Cracks

Settlement / shrinkage cracks were present on the concrete surface (<1/4 inch wide). These can typically be from standard settlement, from admixtures or the composition of the concrete, or weather conditions when the concrete was poured. I recommend sealing these cracks at a minimum, to prevent further damage from freezing water in winter months.



Grading / Lot Drainage: Grading / Drainage Overview

The grading around the home was inspected to determine that it was designed to allow rainwater to adequately drain away from the structure. The soil is recommended to slope away from the home, with a 6 inch drop in elevation, in the first 10 feet away from the structure (5% grade). When the 5% grade can not be achieved, swales or drains should be used as needed to properly divert rainwater runoff. Any flat or low areas around the home should be backfilled and sloped away from the foundation, to prevent potential moisture infiltration into areas below grade. No reportable deficiencies were observed at the time of inspection unless otherwise noted in this report.



Grading / Lot Drainage: Grading Limitations

The performance of lot drainage and the grading are limited to the conditions existing at the time of the inspection only. I cannot guarantee this performance as conditions constantly change. Heavy rain or other weather conditions may reveal issues that were not visible or foreseen at the time of inspection. Furthermore, items such as leakage in downspouts and gutter systems are impossible to detect during dry weather and can add moisture to the soil in the area around the foundation. The inspection of the grading and drainage performance in relation to moisture infiltration through foundation walls, therefore, is limited to the visible conditions at the time of inspection, and evidence of past problems. I recommend consulting with the sellers as to any previous moisture intrusion into the home, and / or ensuring that the Sellers disclosure has no mention of moisture infiltrating the structure.

Vegetation Observations: Vegetation Information

Vegetation was inspected around the home to ensure that it had adequate clearance from the structure, and was not impacting the structure. No deficiencies were observed unless otherwise noted in this report.

Guardrails, Handrails, Stair Railing, Etc.: Railing Information

The guardrails, stair rails, and handrails were inspected for their presence, proper sizing and spacing, looking for damage and securement, and other significant deficiencies. No reportable conditions were present at the time of inspection unless otherwise noted in this report.

Porch / Deck Roof Condition: Porch/Deck Roof Information

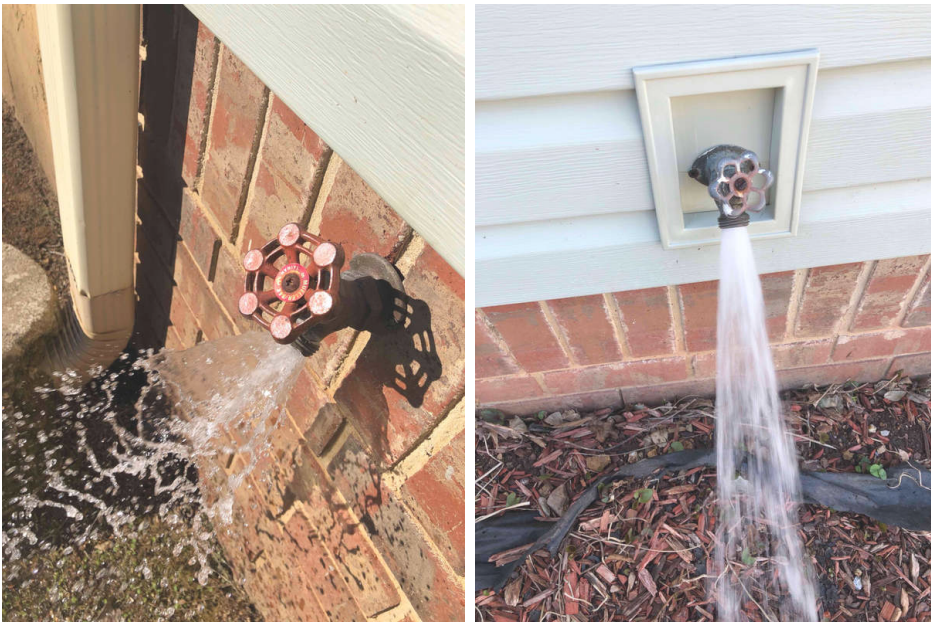
Visible portions of porch/deck roofs were inspected looking for any significant defects, leaks, etc. No deficiencies were present at the time of inspection unless otherwise noted in this report.

Concrete Surfaces: Typical Settlement Cracks

Settlement / shrinkage cracks were present on the concrete surface (<1/4" wide). These are typically from standard settlement, or from admixtures used in the concrete. I recommend sealing these cracks to prevent further damage from freezing water in winter months.

Exterior Spigots: Spigot(s) Information

The spigots were inspected by testing their operation (if weather permitted), looking for leaks, their attachment to the home, presence of anti-siphon, etc. No deficiencies were observed unless otherwise noted in this report.



Exterior Spigots: Spigots Winterized

The spigot(s) were winterized (covered), and were not inspected for functionality.



Recommendations

3.3.1 Vegetation Observations

 Marginal Defect

VEGETATION IN CONTACT WITH HOME

There was vegetation in contact with the home in areas. Pruning or removal of any plants that are in contact with the home is recommended by a qualified person to eliminate pathways of wood destroying insects, and to allow moisture to adequately dry behind these areas after rainfall events.

Recommendation

Contact a qualified landscaping contractor



3.4.1 Decks

 Marginal Defect**WOOD TO SOIL CONTACT PRESENT**

Wood to soil contact was present on areas of the decks. This can encourage decay of the framing members and be susceptible to wood destroying insect activity. Modifications to remove soil to provide for adequate clearance is recommended by a qualified person.

Recommendation

Contact a qualified deck contractor.



3.7.1 Guardrails, Handrails, Stair Railing, Etc.

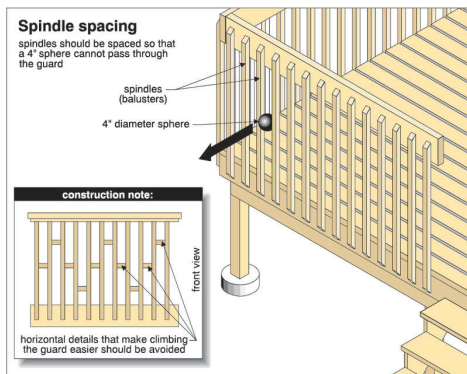
Marginal Defect

GUARDRAIL SPACING EXCEEDED

There was spacing present between or under the guardrail balusters that was greater than 4 inches. Current safety standards require that guardrails be designed as to not allow the passage of a 4 inch sphere through them. Safety upgrades or modifications are recommended to be conducted here by a qualified person.

Recommendation

Contact a qualified deck contractor.



4: ROOF

Information

Inspection Method

From the Ground, From Ladder,
From Upstairs Bedroom

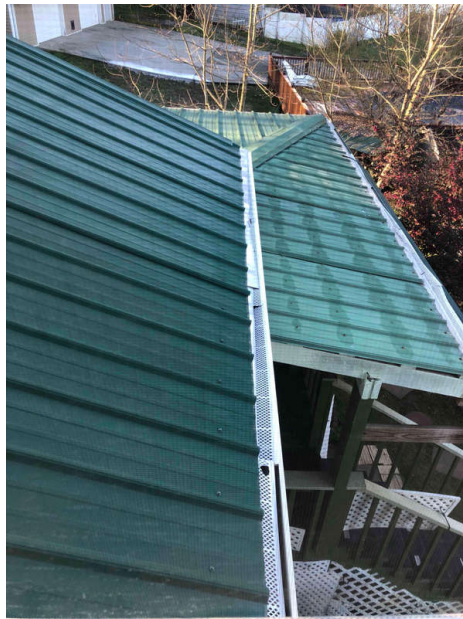
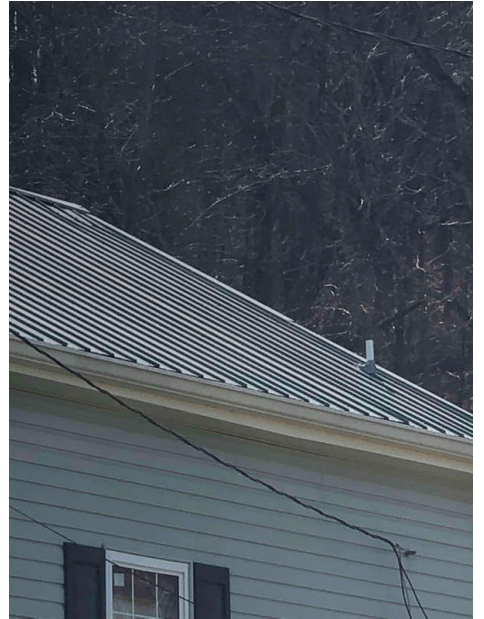
Roof Covering Material

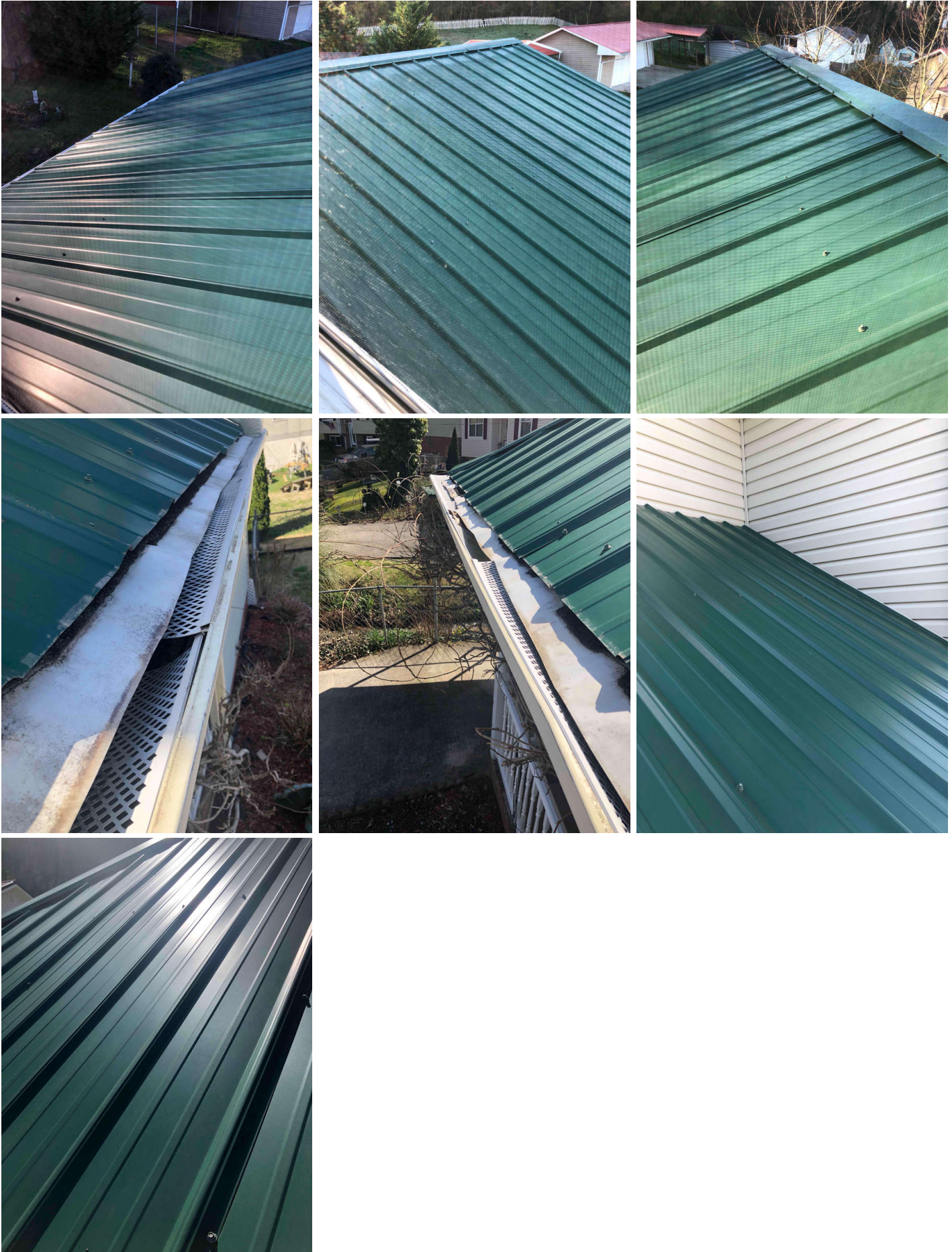
Metal Roof Panels

Vents / Protrusions: Vent Type(s)

Plumbing Stack Vent(s)

Roof Views





Roof Limitations

The inspection of the roof and its covering material is limited to the conditions on the day of the inspection only. The roof covering material, visible portions of the roof structure from within the attic (if applicable), and interior

ceilings, were inspected looking for indications of current or past leaks. Future conditions and inclement weather may reveal leaks that were not present at the time of inspection. Any deficiencies noted in this report with the roof covering or indications of past or present leaks should be evaluated and repaired as needed by a licensed roofing contractor.

Roof Surface Condition: Metal Roof Panels Information

The metal roof panels were inspected at visible portions looking for any significant deficiencies or damage. No reportable conditions were present at the time of inspection unless otherwise noted in this report.

Vents / Protrusions: Vent(s) Viewed From Ground Level

The roof protrusions were viewed from ground level, and no deficiencies were observed at the time of inspection if not followed by additional comments. The vents are also looked at from the attic (if accessible), to look for signs of leaks, etc.

Roof Flashings: Flashing Information

Visible portions of the flashings were inspected looking for installation related deficiencies or damage (drip edge, sidewall, headwall, counter, etc - if applicable). Typically most areas of flashings are not visible as they are covered by the roof covering material, and therefore functionality has to be determined by looking for moisture intrusion on the sheathing in the attic, or ceilings where the flashing was presumed to be in place. No deficiencies were observed at visible portions, at the time of inspection, unless otherwise noted in this report.

Gutters / Downspouts: Gutters Information

The gutters were inspected looking for proper securement, debris in the channel, standing water, damage, etc. Leaking gutters can not be diagnosed if an active rain was not occurring at the time of inspection, and if leaks are noticed after taking ownership of the home, sealing may be needed at seams or endcaps. No deficiencies were visibly present at the time of inspection unless otherwise noted in this report.

Gutters / Downspouts: Downspouts Information

The downspouts were inspected to ensure they were diverting rainwater away from the foundation walls. Testing for blockages in downspouts or drainpipes is beyond the scope of a home inspection, as is locating their termination point. No deficiencies were present at visible portions at the time of inspection, unless otherwise noted in this report.

Gutters / Downspouts: Recommend Maintaining Gutters

Maintenance Tip: Make sure that all of the gutter sections remain fastened securely, are kept clean - at least twice a year (maybe more) - to ensure proper flow and leaks are sealed.

Article Link: [Clogged Gutters can Lead to Big Problems](#)

Maintenance Tip: Make sure all underground drains discharge above grade and are kept clear.

Recommendations

4.4.1 Gutters / Downspouts

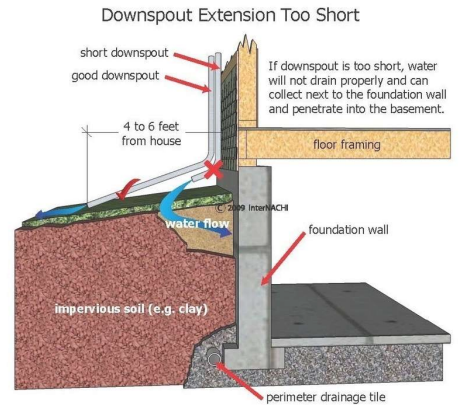
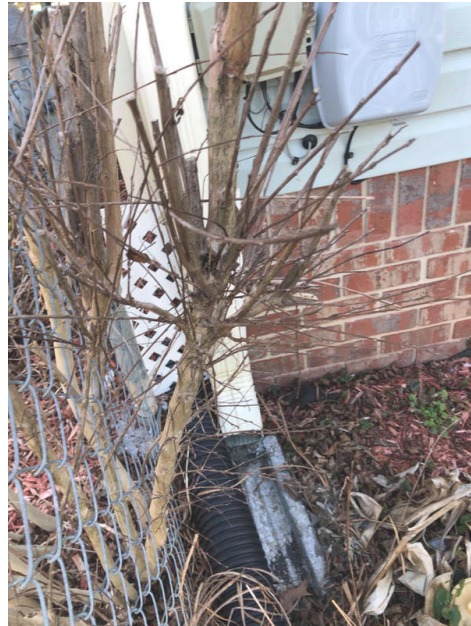
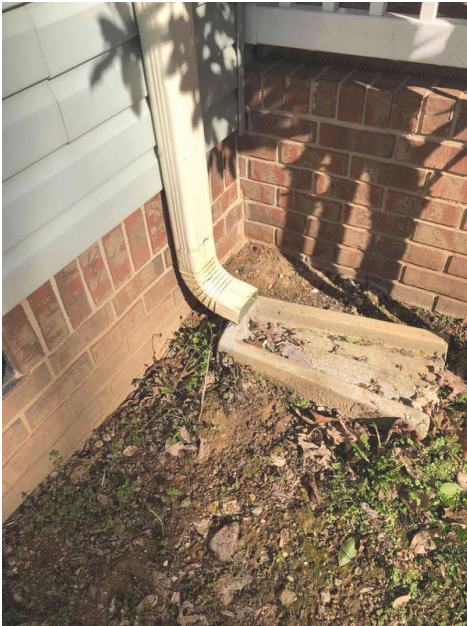
 Minor Defect, Maintenance Item, or FYI Item

DOWNSPOUTS TERMINATING NEAR FOUNDATION

There were downspouts present that were discharging within five feet of the foundation of the home. Current standards require downspouts to be diverted at least five feet from the foundation of the home to prevent the grounds surrounding the foundation from becoming saturated. Saturated grounds can allow water / moisture to enter basement and crawl space areas, and in extreme cases can allow for settlement of the home. Properly extending all downspouts at least five feet away from the home is recommended by a gutter contractor.

Recommendation

Recommended DIY Project



5: EXTERIOR

Information

Walls / Cladding: Siding Material

Vinyl Siding

Walls / Cladding: Wall Construction Type

2X Wood Lumber

Walls / Cladding: Wall Crack(s) Present?

No

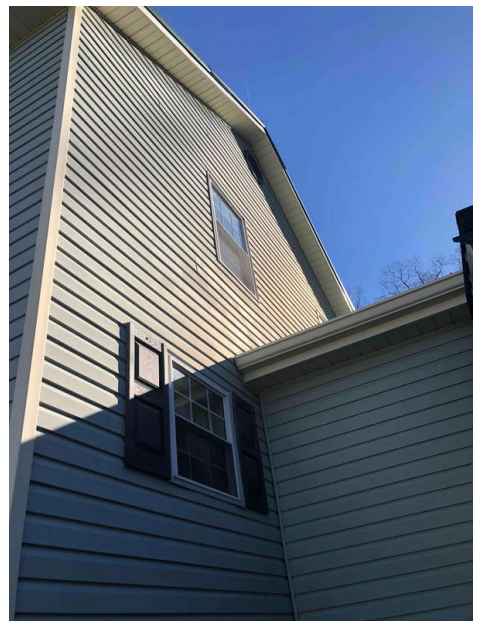
Overhangs / Soffit / Fascia: Soffit & Fascia Material

Vinyl Soffit

Exterior Doors: Door Material(s)

Steel, Glass

Exterior Views



Representative Number Inspected

The State of Tennessee Standards of Practice states that a representative sample of exterior components shall be inspected on each side of the home when multiple pieces make up an item or component (i.e. cladding,

windows, overhangs, etc.). I try to ensure that all portions are inspected but height from the ground, vegetation, or other factors may prevent full accessibility or visibility of some items.

Probing of Wood

The TN Standards of Practice requires any areas of wooden trim, siding, or other wood components to be probed if water damage (wood rot) was suspected. Any photos of a screwdriver stuck into wood represents water damage/wood rot to some extent. **Hidden damage is always a possibility at these areas.** These areas of damage will require further evaluation to determine the extent of the damage, along with repairs made as deemed necessary by a qualified contractor.

Walls / Cladding: Wall and Cladding Information

The walls and wall cladding were inspected looking for significant damage, presence of proper flashings, and potential water entry points, etc. No reportable deficiencies were visibly present at the time of inspection unless otherwise noted in this report.

Window Exteriors: Windows Information

The exterior components of the windows (trim, flashing, etc.) were inspected looking for damage, lack of proper flashing, clearance from grade, etc. No reportable deficiencies were visibly present at the time of inspection unless otherwise noted in this report.

Overhangs / Soffit / Fascia: Soffit / Fascia Information

The soffit and fascia was inspected at visible portions looking for any water damage or other significant defects. No reportable conditions were visibly present at the time of inspection unless otherwise noted in this report.

Exterior Doors: Doors Information

All exterior doors were inspected by looking for damage, lack of proper flashing, deficiencies with their operation, etc. No reportable deficiencies were present at the time of inspection unless otherwise noted in this report.

Exterior Doors: Handleset Information

Handlesets (deadbolts & door handles) are not inspected for their functionality with keys, as replacement or re-keying of any deadbolts and handles is recommended due to not knowing who may possess keys to the home. Therefore deadbolts and handles will be reported on with respect to the misalignment of the door only, preventing them from latching or locking properly.

Recommendations

5.4.1 Overhangs / Soffit / Fascia

LOOSE TRIM

LEFT SIDE OF HOME FRONT

Trim was loose or damaged. Recommend repair.

Recommendation

Contact a qualified professional.

 Marginal Defect



5.6.1 Exterior Doors

 Minor Defect, Maintenance Item, or FYI Item

COSMETIC DAMAGE

FRONT OF HOUSE

Cosmetic damage was present to the door, this did not affect it's functionality. Repairs are recommended as needed for aesthetic purposes.

Recommendation

Contact a qualified professional.



6: KITCHEN

Information

Kitchen View



Oven/Range: Energy Source
Electric

Oven/Range: Range Anti-tip Bracket Present
No

Exhaust Fan: Fan Type
Microwave Recirculating

Cabinets, Countertops: Countertop/Cabinets Information

The cabinets and countertops were inspected looking for significant damage and by testing a representative number of doors and drawers evaluating their operation. No reportable conditions were present at the time of inspection unless otherwise noted in this report.

Sink(s): Kitchen Sink Information

The kitchen sink was inspected by operating the faucet valves and faucet looking for any leaks or signs of significant deficiencies. No reportable conditions were observed at the time of inspection unless otherwise noted in this report.



Spray Wand: Spray Wand Information

The spray wand, whether standalone or attached to the faucet, was operated looking for proper flow and to ensure no leaks were present. No deficiencies were present at the time of inspection unless otherwise noted in this report.



Undersink Plumbing - Kitchen: Plumbing Information

The supply and drain pipes were inspected looking for leaks, improper installation, and other deficiencies. No reportable conditions were observed at the time of inspection unless otherwise noted in this report.



Dishwasher : Dishwasher Information

The dishwasher was operated by running a wash cycle, and was functional at the time of inspection. No leaks or water was present at the base of the unit at the completion of the cycle. The unit's efficiency of cleaning dishes is not tested for. No deficiencies were observed with the unit unless otherwise noted in this report.

Oven/Range: Heating Elements Information

All of the heating elements on the range were turned to "High", and were functional at the time of inspection. No indications of deficiencies were observed unless otherwise noted in this report.



Oven/Range: Oven Information

The oven was operated by placing into "Bake" mode, and heat was produced from the element(s). Temperature calibration, "clean" options, and other functions are not tested for. You are recommended to seek further evaluation of additional functions if desired/needed. No indications of deficiencies were observed at the time of inspection, unless otherwise noted in this report.



Exhaust Fan: Exhaust Fan Information

The kitchen exhaust fan was inspected by operating normal controls, checking for proper operation. The fan's type (recirculating or exterior) will also be reported on. No deficiencies were observed at the time of inspection if not otherwise noted in this report.

Microwave: Microwave Information

The microwave was tested by running on "Cook" mode for 30 seconds, and was functional at the time of inspection. The efficiency of the unit or other functions are not tested for. No reportable conditions were present unless otherwise noted in this report.



Refrigerator: Refrigerators Not Inspected

Refrigerators are not included in a Home Inspection as they are considered transient, "unattached" items. They are also not moved to look at the condition of the floor under them, or the cabinetry around them. Therefore their water line and power receptacle are not visible and excluded from this inspection. If the refrigerator is a concern, I recommend having it evaluated by an appliance repair company or other qualified person prior to closing.

7: BATHROOM(S)

Information

Ventilation: Ventilation Sources

Window(s), Ventilation Fan(s)

Bathroom View(s)



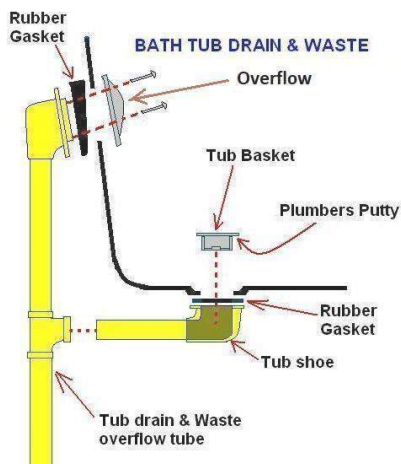
Tub and Shower Drain Information

Water was run through the drains of tubs and showers for an extended period of time, and the areas under these drains (if applicable) were then inspected with thermal imaging looking for indications of leaks. No leaks were observed at the time of inspection unless otherwise noted in this report.

What I can't replicate is the affects of weight applied to these drains. When showering or bathing the forces from weight can put strain on gaskets or joints on the drain pipes that can possibly result in leaking, this can be even more likely if the home has been vacant for an extended period of time.

Tub and Sink Overflow Limitations

Tub and sink overflows are not tested for functionality due to the very high likelihood the gaskets will leak. Care should be exercised in filling tubs to not allow water into the overflow. While they will likely drain away the bulk of water, some amount of leaking should be anticipated. As an improvement, a licensed plumber could check the gaskets and make repairs deemed necessary. Again, it should be assumed these overflows will not be water tight.



Cabinets, Countertops: Cabinet & Countertop(s) Information

The cabinets and countertops were inspected by looking for significant defects. No deficiencies were observed at the time of inspection unless otherwise noted in this report.

Mirror(s): Mirror Information

The bathroom mirror(s) were inspected looking at their attachment to the wall and for any damage. No reportable conditions were present at the time of inspection unless otherwise noted in this report.

Ventilation: Ventilation Information

The bathroom ventilation is reported on by its source; windows or ventilation fans are acceptable forms of ventilation for bathrooms containing a tub and/or shower. If fans are present they will be tested by operating the switch and listening for proper air flow. Although windows in a bathroom can substitute for a fan, a fan is still recommended due to not utilizing windows in colder winter months. No deficiencies were observed with the ventilation at the time of inspection unless otherwise noted in this report.

Sink(s): Sinks Information

The sink(s) were inspected by operating the faucet water valves and checking for proper flow and drainage, looking for leaks, operating pop-ups, etc. No reportable conditions were observed at the time of inspection unless otherwise noted in this report.

**Undersink Plumbing - Bathroom: Sink Plumbing Information**

The visible portions of the sink plumbing was inspected by running water through the drain pipe for over one minute and looking for leaks from the drain pipe / trap assembly, water supply lines, and areas underneath of the sink area (ceiling below/basement/crawl space). Other significant defects are also looked for with the plumbing. No reportable conditions were observed at the time of inspection unless otherwise noted in this report.



Shower(s): Showers Information

The shower(s) were inspected by operating the water valve(s) and ensuring proper flow and drainage was present, looking for leaks, and/or any significant defects. No reportable conditions were present at the time of inspection unless otherwise noted in this report.

**Shower Walls: Shower Walls Information**

The shower walls were inspected looking for any significant damage or areas that could allow for water infiltration behind the walls. No reportable conditions were present at the time of inspection unless otherwise noted in this report.

Bathtub(s): Bathtub(s) Information

The bathtub(s) were inspected by operating the faucet valves checking for proper flow and drainage and looking for leaks and/or any cracks or damage to the tub itself. No deficiencies were observed at the time of inspection unless otherwise noted in this report.

Toilet(s): Toilet(s) Information

The toilets were inspected by flushing them to ensure they were flushing adequately and to determine no leaks were present at the water supply line or tank location. Toilets will also be checked for an adequate connection at the floor. No deficiencies were observed at the time of inspection unless otherwise noted in this report.



Recommendations

7.8.1 Bathtub(s)

 Marginal Defect

LEAK FROM FAUCET VALVE

A leak was present from the faucet valve. Repairs are recommended as needed by a licensed plumber or other qualified person.

Recommendation

Contact a qualified plumbing contractor.



7.8.2 Bathtub(s)

 Minor Defect, Maintenance Item, or FYI Item

STOPPER MISSING

A stopper / pop-up was not present in the tub. The installation of a proper pop up is recommended by a qualified person.

Recommendation

Recommended DIY Project



8: INTERIOR AREAS

Information

Smoke Alarms / Detectors:
Smoke Alarms Present at All Required Locations

Yes

CO Detectors: CO Alarms Present at all Recommended Locations?

Missing Outside of Sleeping Areas

Windows: Window Material
Vinyl

Windows: Window Glazing

Ceiling Condition: Moisture

Double Pane

Stains Present on Ceilings

No

Room Views





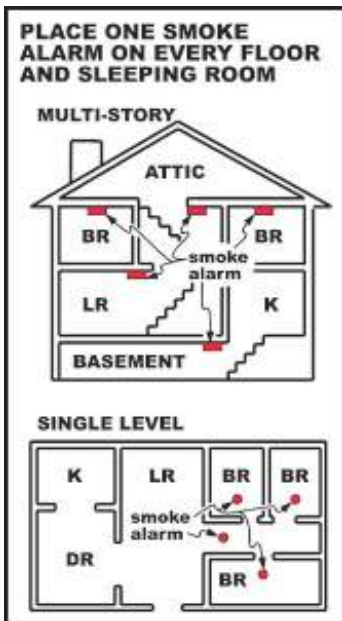
Bedroom Locations

Bedrooms are determined by starting with the Master, after walking out of the master bedroom, bedroom 2 will be the first bedroom you come to, bedroom 3 the next, and so on.

Smoke Alarms / Detectors: Smoke Alarms Information

Smoke alarms are recommended for each sleeping room and (1) outside of each sleeping room(s), and one per level including habitable attics and basements. I recommend replacing the batteries and testing the smoke alarms before spending your first night in the home, and the testing monthly thereafter. Several other recommendations relating to smoke alarms and fire safety are recommended by the NFPA, and can be found here:

<http://www.nfpa.org/public-education/by-topic/smoke-alarms/installing-and-maintaining-smoke-alarms>



CO Detectors: CO Alarm Information

Carbon Monoxide (CO) detectors are recommended to be installed outside of each sleeping area, in the area(s) of any gas appliances, and any fireplace(s). CO alarms are recommended if any gas appliances are present in the home or if the home contains a garage. More information about CO detectors and their requirements can be found here:

<https://www.nfpa.org/Public-Education/By-topic/Fire-and-life-safety-equipment/Carbon-monoxide>

Windows: Windows Information

The windows were inspected by operating a representative number (I will try and operate every window in the home, but personal belongings may block accessibility to some). Their operation was tested, along with looking for damage, broken glass, failed seals, etc. No reportable deficiencies were present unless otherwise noted in this report.

Windows: Glass Seal Failure Limitations

Reporting on double pane glass seal failure is not required by the State of TN Standards of Practice, and lies beyond the scope of a home inspection, as glass may not show signs of seal failure at the time of inspection, but may become visible later due to changes in conditions. Desiccant material in the glass spacer can absorb

moisture in between the panes, essentially masking seal failure. Also, changes in weather conditions (high humidity, etc.) may reveal seal failure that was not visible at the time of inspection. Seal failure is where the double pane glass loses its adhesion with the inner spacer, allowing moisture and debris in between the panes of glass. I will report on any insulated glass units that were showing signs of seal failure at the time of inspection, but this should not be relied upon as a complete listing of affected units. If glass seal failure is a concern, you are advised to seek the services of a window or glass repair contractor.

Closets: Closets Information

The closets were inspected by testing the operation of their doors and looking for significant defects. No reportable conditions were visibly present at the time of inspection unless otherwise noted in this report.

Interior Doors: Interior Doors Information

A representative number of interior doors were inspected by operating them ensuring that they opened and closed properly, as well as latched properly without binding on jambs or the floor. No reportable conditions were present at the time of inspection unless otherwise noted in this report.

Doorbell: Doorbell Information

The doorbell was tested by depressing the button and listening for a chime. No indications of deficiencies were observed at the time of inspection unless otherwise noted in this report.

Stairs, Handrails, Guardrails: Stairs Information

The stairs were inspected by evaluating the risers and treads, applicable railings, etc. No deficiencies were present at the time of inspection unless otherwise noted in this report.

Surfaces - Overall: Surfaces Information

Visible portions of the interior wall, floor, and ceiling surfaces were inspected looking for indications of moisture intrusion, settlement, or other significant defects. Cosmetic and minor deficiencies are not typically reported on, but may be noted while looking for significant defects, any listing of these items should not be construed as an all-inclusive listing. No reportable conditions were observed at the time of inspection unless otherwise noted in this report.

Surfaces - Overall: Cosmetic Damage

Cosmetic damage was present in some areas throughout the home. If these areas are of concern, appropriate tradespeople should be contacted for repairs as needed.





Wall Condition: Walls Information

Visible portions of the interior walls were inspected looking for signs of moisture infiltration, settlement cracking, significant damage, or other significant deficiencies. No reportable deficiencies were observed at the time of inspection unless otherwise noted in this report.

Ceiling Condition: Ceilings Information

The ceilings throughout the home were inspected looking for moisture intrusion/staining due to roof leaks or leaking plumbing pipes. Settlement cracks, and significant defects were also inspected for. No reportable conditions or moisture stains were visibly present at the time of inspection unless otherwise noted in this report.

Ceiling Condition: No Moisture Stains Present

Moisture stains were inspected for on the ceilings throughout the home, and no moisture stains were present on the ceilings at the time of inspection.

Floor Condition: Floors Information

Visible portions of the floors throughout the home were inspected looking for significant floor deficiencies. No reportable conditions were visibly present at the time of inspection unless otherwise noted in this report.

Recommendations

8.5.1 Interior Doors

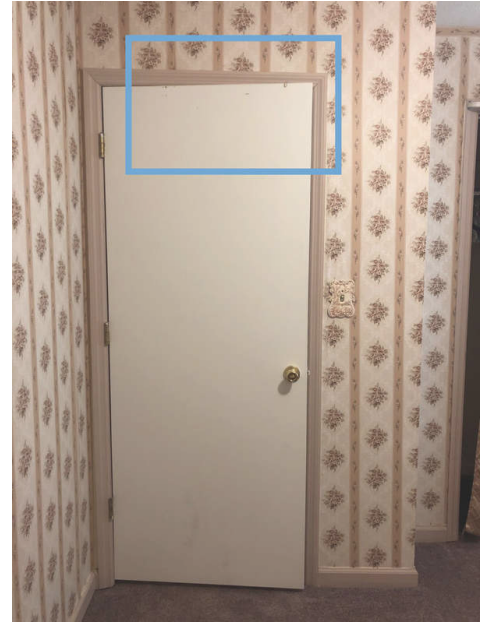
 Minor Defect, Maintenance Item, or FYI Item**BINDING
DOOR(S) PRESENT**

REAR OF HOME RIGHT

There were door(s) that were binding / rubbing on an adjacent surface. Adjustments or modifications as needed for proper operation is recommended by a qualified person.

Recommendation

Contact a qualified handyman.



8.5.2 Interior Doors

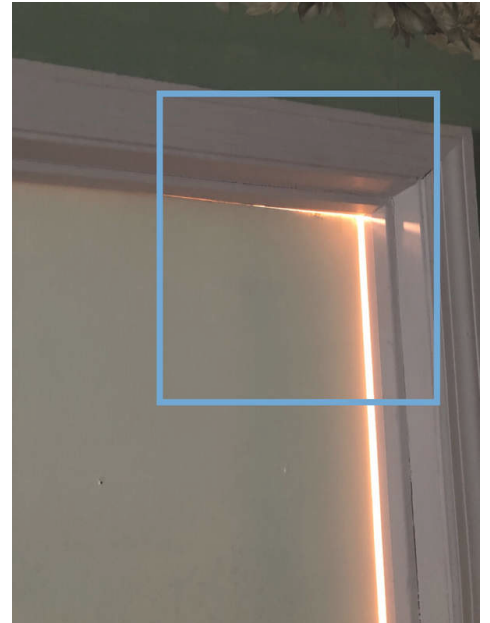
 Minor Defect, Maintenance Item, or FYI Item**BINDING
DOOR(S) PRESENT**

FRONT OF HOUSE BEDROOM LEFT

There were door(s) that were binding / rubbing on an adjacent surface. Adjustments or modifications as needed for proper operation is recommended by a qualified person.

Recommendation

Contact a qualified handyman.



8.6.1 Doorbell

 Minor Defect, Maintenance Item, or FYI Item**DOORBELL BUTTON NOT INSTALLED**

The doorbell button was not installed at the time of inspection. Installation is recommended as well as confirming proper operation prior to closing.

Recommendation

Contact a qualified professional.

8.7.1 Stairs, Handrails, Guardrails

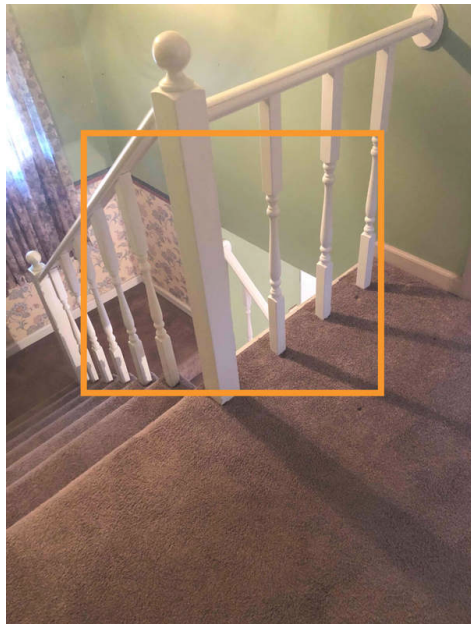
Marginal Defect

BALUSTER SPACING

The stair railing had spacing that would allow the passage of a 4 3/8 inch sphere through the balusters, and/or the passage of a 6 inch sphere below them. Current safety standards require that spheres of the referenced sizes should not pass through the referenced areas. Safety upgrades should be considered here.

Recommendation

Contact a qualified professional.



Stair Railing



- 4 3/8" Sphere
- 6" Sphere

9: LAUNDRY

Information

Laundry View

Dryer Energy Source
Electric

Dryer Vent: Dryer Vent Termination Point
Exterior



Visible Plumbing - Laundry: Plumbing Information - Washer Present

The washing machine water supply valves and visual portions of the drain (standpipe) were visually examined for leaks from the valves or other deficiencies, but were not operated or tested for functionality or leaks due to the washer hoses being connected (washing machines are not tested during a home inspection). No indications of deficiencies or leaks were present at the time of inspection unless otherwise noted in this report.

Dryer Vent: Dryer Vent Information

The dryer vent was inspected to ensure it terminated to the exterior of the home and that no damage was present at visible portions. No deficiencies were observed with the dryer vent at visible portions unless otherwise noted in this report.

10: HEATING, COOLING

Information

Package Unit Information:

Package Unit Location

Right side of home

Package Unit Information:

Exterior Unit Manufacture Year

Undetermined

The typical life expectancy is approximately 13-15 years.

Package Unit Information:

Package Unit Cooling Source Type

Condensing Unit (Heat Pump)

Package Unit Information:

Package Unit Heating Source and Distribution

Electric

Package Unit Information:

Package Cooling Unit Max Circuit Breaker Size

Undetermined

Condensate Drain Pipe:

Condensate Drain Termination Point

Right Side of Home

Air Return: Return Air Temp

62

Thermostat(s): Thermostat Location(s)

Living Room, Hallway

Air Filter / Return Plenum: Filter Location(s)

Living Room

Air Filter / Return Plenum: Filter Size

20 X 30

Cooling Source Present in Each Room: Cooling Source Present in Each Room

Yes

Heating Source Present in Each Room: Heating Source Present In Each Room

Yes

General Info: HVAC Testing Information

The inspection of the HVAC system is limited to the response of the system at the thermostat in both heating and cooling modes; a visual observation of the exterior and interior equipment, and the removal of any access panels made for removal by a homeowner (not requiring ANY tools). If a more thorough inspection is desired, an HVAC contractor should be consulted.

General Info: Package Unit Present

This home contained a package unit. Package units are exterior units that contain both the heat pump and air handler in one unit for electric units, or the gas furnace and air conditioning unit in one unit. These systems help to save space on the interior of the home when it would be prohibitive to have an "indoor" unit.

Package Unit Information: AC Unit Not Tested

The AC unit(s) were visually inspected with no indications of deficiencies observed at the time of inspection unless otherwise noted in this report. The AC function of the unit(s) was not tested due to temperatures below 60 degrees. The oil that lubricates the compressor is a heavier weight designed for use in summer weather, this oil thickens in colder temperatures, and can't provide the proper protection for the compressor in cooler temperatures. The AC function shouldn't be initiated until the temperature rises to over 60 degrees, for several days. Once conditions permit the unit(s) should be tested for functionality, and if needed, service and maintenance is recommended by an HVAC contractor. More information can be found at the link below:

<http://www.webhvac.com/2012/01/will-running-an-air-conditioner-in-cold-weather-damage-it/>

Air Return: Temperature Reading

A temperature reading of the return air was taken at the time of inspection, to provide a baseline to compare output temperatures to, to show the system responded to normal operating controls.

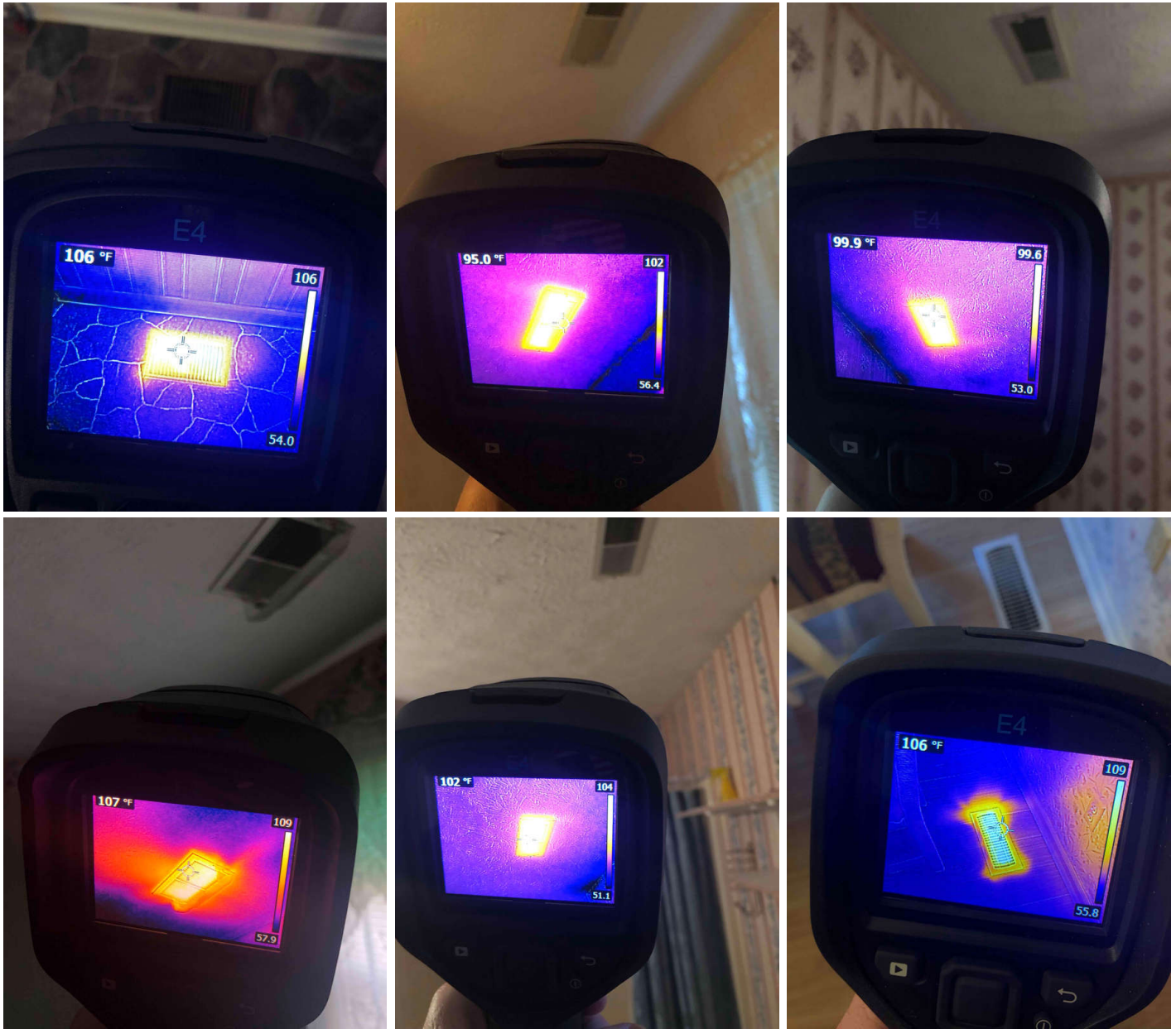
Air Supply: Air Supply Information

The typical temperature differential between return and supply air is 10 - 20 degrees in cooling mode, and 16 - 25 degrees in heating mode. Several factors can affect these numbers, such as, but not limited to: indoor ambient air temperature, exterior ambient air temperature, humidity, cleanliness of the air filter and evaporator, etc. Furthermore HVAC thermometers (wet bulb) are required for accurate readings, and measurement points would be carried out at a different location by an HVAC contractor. These readings are shown to show the system responded to normal operating controls at the time of inspection, and not to show the exact temperature differential produced by the system, the efficiency, or performance of the system; which lies beyond the scope of a home inspection.

Air Supply: Temperature Differential Heating Mode

20+ Degrees





Thermostat(s): Thermostat Information

The thermostat was operated and it initiated the HVAC system, at the time of inspection. No indications of deficiencies were observed unless otherwise noted in this report.



Air Filter / Return Plenum: Filter/Plenum Information

The return air grille, air filter, and return air plenum were inspected at visible portions looking for any significant deficiencies, gaps in the plenum, dirty filter(s), or an accumulation of dust. I recommend changing the filter every 30 days - 3 months depending on the style of filter used. This is one of the most important "maintenance" items you can perform as a dirty filter puts additional strain on the air handler and may cause damage to the unit.

Visible Ductwork: Ductwork Information

The ductwork was inspected at visible portions looking for damage, loose connections, or other significant defects. No reportable deficiencies were observed unless otherwise noted in this report.



11: WATER HEATER

Information

Water Heater Condition: Water Heater Location
Closet Under Stairs

Water Heater Condition: Capacity
50 Gallons

Water Heater Condition: Energy Source
Electric

Water Heater Condition:**Manufacture Year**

1992

TPRV Discharge Pipe: TPRV**Discharge Tube Material**

CPVC

The typical life expectancy of a water heater is 13-15 years.

Water Heater Condition: Water Heater Information

The water heater produced hot water at the time of inspection. No reportable deficiencies were observed with the unit unless otherwise noted in this report.

TPR Valve: TPR Valve Information

A TPR valve was in place, and appeared functional. These are not tested due to the fact that once they are tested, they tend to form a drip leak. These valves allow the water heater to expel water and pressure if the tank reaches a pressure over 150psi, or the water temperature exceeds 210 degrees. No deficiencies were observed with the valve unless otherwise noted in this report.

Recommendations

11.1.1 Water Heater Condition

AGED UNIT

Minor Defect, Maintenance Item, or FYI Item

FYI - The unit was at or past its typical service life. Major repairs or replacement should be anticipated in the future due to the age of the unit alone. Depending on prior maintenance and other factors the unit could last anywhere from months to years, the remaining life is undeterminable.

A typical life expectancy chart can be found here:

<http://prohitn.com/component-life-expectancies/>

11.4.1 Water Pipes

EXPANSION TANK NOT PRESENT

Minor Defect, Maintenance Item, or FYI Item

An expansion tank was not installed for the water heater. Current standards and manufacturers instructions recommend that expansion tanks be installed during water heater installations on closed loop systems. The presence of a pressure regulator where the water line enters the home, prevents back flow, and makes this a closed loop system. The expansion tank provides an area for heated water to enter. When water is heated, it expands, and can put pressure on the water heater or plumbing components. The installation of an expansion tank is recommended by a licensed plumber. More info can be found here:

<https://plumbertalk.wordpress.com/2014/01/07/expansion-tank-that-thing-on-top-of-your-waterheater/>

Recommendation

Contact a qualified plumbing contractor.

12: PLUMBING

Information

**Water Distribution Pipes:
Service Pipe Material (Visible**

**Water Distribution Pipes: Water
Distribution Pipe Material**

**Drain, Waste, and Vent Pipes
(DWV): Sewer/Septic Lateral**

Portions)

PVC

(Visible Portions)

Copper

Material (Visible Portions)

PVC

Drain, Waste, and Vent Pipes (DWV): DWV Material Type (Visible Portions)

PVC

Sewer Clean Out: Cleanout Location

Right side of home

Functional Flow: Functional Flow

Yes

Functional Drainage: Functional Drainage

Yes

Main Shut Off Valve : Main Shut Off Valve Location

At meter/front

**Main Shut Off Valve : Main Shut Off Information**

The shut off valve appeared to be in satisfactory condition at the time of inspection. No deficiencies were observed unless otherwise noted in this report. The valve is not operated to test its functionality.

Pressure Regulator: Not Found

A pressure regulator was not found at visible portions. I recommend consulting with the sellers as to its presence.

Water Distribution Pipes: Water Distribution Pipes Information

Visible portions of the water distribution pipes were inspected looking for leaks or other deficiencies. No reportable conditions were visually present at the time of inspection unless otherwise noted in this report.

Drain, Waste, and Vent Pipes (DWV): Drain, Waste, and Vent Pipes Information

Visible portions of the (DWV) drain, waste, and vent pipes were inspected looking for leaks or indications of other deficiencies. No reportable conditions (significant defects) were visibly present unless otherwise noted in this report.

Sewer Clean Out: Cleanout Information

A sewer cleanout was present. Sewer cleanouts are reported on with regards to their presence only and are not attempted to open or verify any other information.

Functional Flow: Flow Information

Water was run from multiple faucets simultaneously to gauge that there was not a significant reduction in flow as a result of doing so. No significant reduction occurred at the time of inspection unless otherwise noted in this report.

Functional Drainage: Drainage Information

Water was run through all drains in the home for an extended period of time to determine if functional drainage was occurring. No hindered drainage was present at the time of inspection unless otherwise noted in this report. Lived-in conditions can not be adequately replicated during an inspection and I have no control of future drainage conditions due to heavy or frequent use.

Gas Pipes: Gas Pipes Information

Visible portions of the gas pipes appeared to be in satisfactory condition at the time of inspection. No indications of deficiencies were observed unless otherwise noted in this report.

13: ELECTRICAL

Information

Service Entrance: Service Entrance Type

Overhead Service Drop

Service Disconnect: Main Breaker / Service Disconnect Location

At Main Breaker in the Electrical Panel

Service Amperage: Service Entrance Conductors Type

3/0 Aluminum



Service Amperage: Service Amperage

150amps 120/240VAC

Service Grounding / Bonding: GEC Present

Yes

Service Grounding / Bonding: Grounding Electrode Type

Rebar (Ground Rod)

Service Grounding / Bonding: Water Pipe Bonding Present

Yes

Service Grounding / Bonding: Gas Pipe Bonding Present

Not Visible

Breakers: AFCI Breakers Present

No

Breakers: Breakers in Off Position

0

Branch Wiring : Visible Branch Wiring Type

Copper

GFCI Protection: GFCI Protected Areas

Kitchen, Bathroom(s), Exterior

GFCI Protection: GFCI Missing/Damaged - Installation

Recommended

Exterior

General Info: Low Voltage Systems/Wiring Not Inspected

Any low voltage systems in the home were not inspected and are excluded from this inspection. Including but not limited to: phone/telecom systems, cable coaxial systems, ethernet wiring, alarm systems, low voltage lighting and applicable wiring, etc.

Service Disconnect: Service Disconnect Information

The service disconnect or main OCPD (over current protection device) was inspected looking for any deficiencies and reporting on its location. This disconnect can be a breaker, fuse block, or kill switch. This is the means of shutting off all electricity entering the home.

Service Amperage: Service Amperage

The service amperage is determined by inspecting the service entrance conductors size as well as the service disconnects size. Voltages are not tested for and therefore not confirmed, so 120/240VAC is presumed. If a concern, a licensed electrician could test for proper voltages to see if 120/208VAC is present. In some situations the sizing of the service entrance conductors will not be legible or marked and the stated amperage will be followed by "presumed" as it could not be verified.

Electrical Panel / Service Equipment: Electrical Panel / Service Equipment Location

Closet Underneath Stairwell



Electrical Panel / Service Equipment: Electrical Panel / Service Equipment Information

The main electrical panel (called service equipment when it contains the service disconnect) was inspected looking for any wiring deficiencies or damage that may be present in the panel. No indications of reportable conditions were present at the time of inspection unless otherwise noted in this report.

Breakers: Breakers Information

The breakers were inspected looking for any visible signs of damage due to arcing, heat, etc. Corresponding conductors were inspected looking for multiple lugging, sizing, damage, etc. No deficiencies were present at the time of inspection unless otherwise noted in this report.

Branch Wiring : Branch Wiring Information

The branch wiring was inspected at visible portions looking for any significant deficiencies or defects that could be a fire and/or safety hazard; including but not limited to: connections made outside of a junction box, wiring terminations, open junction boxes, damage, the wiring material, improper support, etc. The majority of branch feeders are not visible due to being behind wall and ceiling coverings, insulation, etc. No significant deficiencies were visibly present at the time of inspection unless otherwise noted in this report.

Receptacles: Receptacle Information

A representative number of receptacles were tested with a polarity tester to confirm proper wiring. No wiring deficiencies were reported by the tester unless otherwise noted in this report.

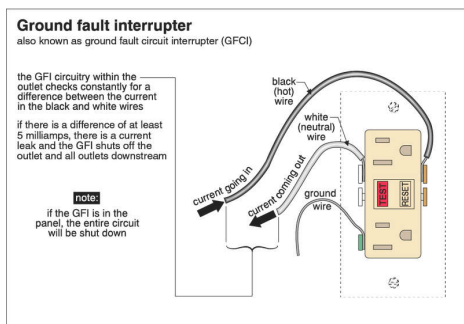
Receptacles: 220V/240V Receptacle(s) Not Tested

220V/240V receptacles are not tested for functionality or polarity, as they can not be tested with a standard receptacle polarity tester. Only visual deficiencies will be reported on with relation to these receptacle(s).

GFCI Protection: GFCI Information

Ground Fault Circuit Interrupter (GFCI) is a protection feature that allows a circuit or receptacle to "trip" or "shut off" if as little as a 5 milliamp differential is detected between the "hot" and "neutral" conductors. This protection is recommended for receptacles within 6 feet of a sink, or where something plugged into a receptacle could come into contact with water, including: bathrooms, kitchens, on the exterior, in garages, and basements and crawl spaces. Although GFCI protection may not have been required in some or all of these areas when the home was built, their installation is highly recommended and is typically inexpensive. This protection, if present, was tested and was in satisfactory condition at the time of inspection, unless otherwise noted in this report.

More information on GFCI protection and the years certain areas where required to be protected can be viewed here: <https://prohitn.com/gfci-protection/>



Ceiling Fans: Ceiling Fan Information

A representative number of ceiling fans were inspected by ensuring they powered on and did not wobble excessively, as well as looking for other deficiencies. No reportable conditions were present at the time of inspection unless otherwise noted in this report.

Switches, Lights: Switches, Lights Information

A representative number of switches and lights were tested throughout the home and were found to be in good working order. No deficiencies were observed unless otherwise noted in this report.

Switches, Lights: Lights Not Tested

Exterior dusk to dawn lights, motion lights, landscape lighting, or any light not attached to the structure are not included in a home inspection, and were not tested for functionality. These items are excluded from this

inspection.

Recommendations

13.5.1 Electrical Panel / Service Equipment  Minor Defect, Maintenance Item, or FYI Item

INCOMPLETE OR MISSING LEGEND

The legend for the electrical panel was missing, incomplete, or incorrect. A legend is required so that breakers are properly labeled, ensuring correct circuits are shut off in case of the need of service, etc. I recommend consulting with the seller as to the labeling of the breakers, or have a licensed electrician to label the circuits.

Recommendation

Contact a qualified electrical contractor.



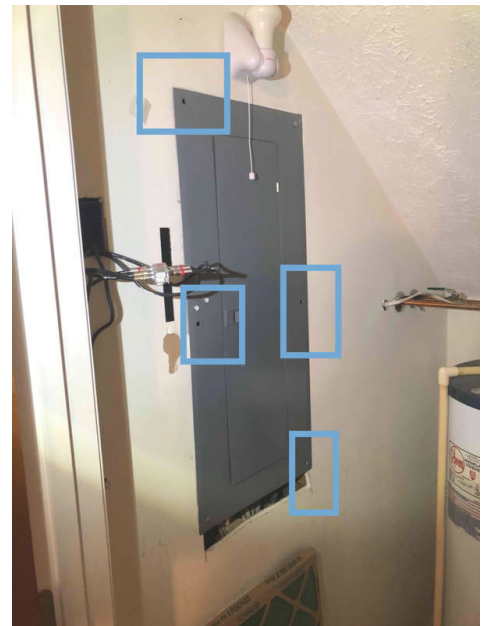
13.5.2 Electrical Panel / Service Equipment  Minor Defect, Maintenance Item, or FYI Item

PANEL COVER SCREWS MISSING

Some panel cover screw(s) were missing. All panel cover screw locations are required to be utilized to adequately secure the cover to the panel. Replacement of the screws is recommended.

Recommendation

Contact a handyman or DIY project



13.8.1 Branch Wiring

EXPOSED WIRING - INTERIOR Marginal Defect

There was exposed wiring present. Recommend covering.

Recommendation

Contact a qualified electrical contractor.



13.8.2 Branch Wiring

JUNCTION BOX - MISSING COVER Significant Defect

UPSTAIRS BEDROOM REAR LEFT

There were junction boxes without a cover present. This is a potential electrocution hazard, and can be a fire hazard due to the possibility of arcing. The installation of a UL listed cover is recommended by a licensed electrician on any and all junction boxes in the home missing covers.

Recommendation

Contact a qualified electrical contractor.



13.8.3 Branch Wiring

JUNCTION BOX - MISSING COVER

REAR OF HOME DECK

There were junction boxes without a cover present. This is a potential electrocution hazard, and can be a fire hazard due to the possibility of arcing. The installation of a UL listed cover is recommended by a licensed electrician on any and all junction boxes in the home missing covers.

Recommendation

Contact a qualified electrical contractor.

 Significant Defect

13.8.4 Branch Wiring

JUNCTION BOX - MISSING COVER

CRAWL SPACE

There were junction boxes without a cover present. This is a potential electrocution hazard, and can be a fire hazard due to the possibility of arcing. The installation of a UL listed cover is recommended by a licensed electrician on any and all junction boxes in the home missing covers.

Recommendation

Contact a qualified electrical contractor.

 Significant Defect

13.9.1 Receptacles



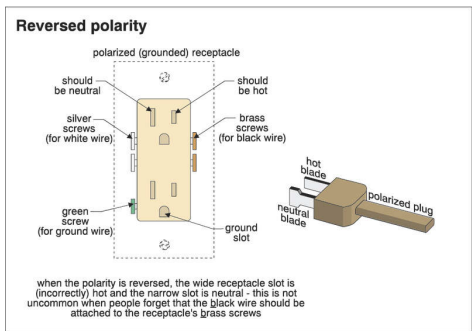
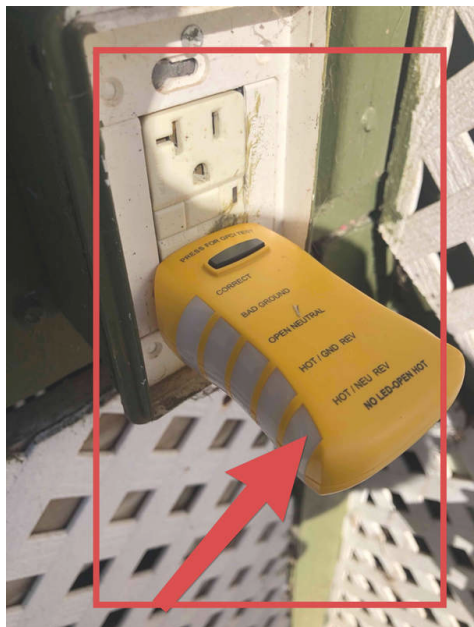
REVERSED POLARITY

REAR OF HOME LEFT

There were receptacle(s) present in the referenced areas that tested as being wired with reversed polarity (hot / neutral reversed). This is a potential shock hazard, as a wiring deficiency is present. Correction is recommended by a licensed electrician as needed.

Recommendation

Contact a qualified electrical contractor.



13.9.2 Receptacles



FOREIGN OBJECT IN RECEPTACLE SLOT

KITCHEN

A foreign object was present in a receptacle slot. Repairs are recommended as needed by a licensed electrician.

Recommendation

Contact a qualified electrical contractor.



13.12.1 Switches,
Lights

 Minor Defect, Maintenance Item, or FYI Item

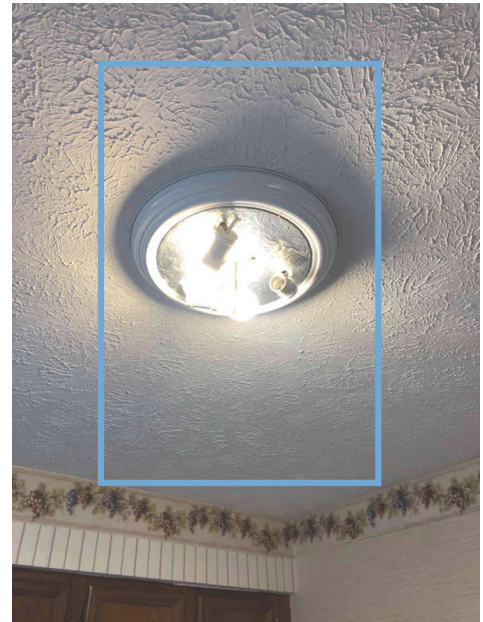
MISSING LIGHT GLOBE - INTERIOR

KITCHEN

There were bare bulbs present on some light fixtures. The installation of covers or globes on any fixtures in the home without globes is recommended by a qualified person to prevent accidental breakage, and possible electrocution.

Recommendation

Contact a handyman or DIY project



14: ATTIC / ROOF STRUCTURE

Information

Inspection Method: Inspection Method

From Access Opening

Inspection Method: Amount of Attic Visually Accessible

70-80%

Inspection Method: Areas of Attic Not Visibly Accessible or Fully Accessible

Perimeter of Home

Attic Access: Access Location(s)

Bedroom Closet

Attic Access: Access Type(s)

Scuttle Hole(s)

Ventilation: Ventilation Types

Gable Vents

Roof Structure / Framing: Roof Structure Type

Conventional Framing

Roof Structure / Framing: Indications of Condensation Present

No

Roof Structure / Framing: Indications of Leak(s) Present?

No

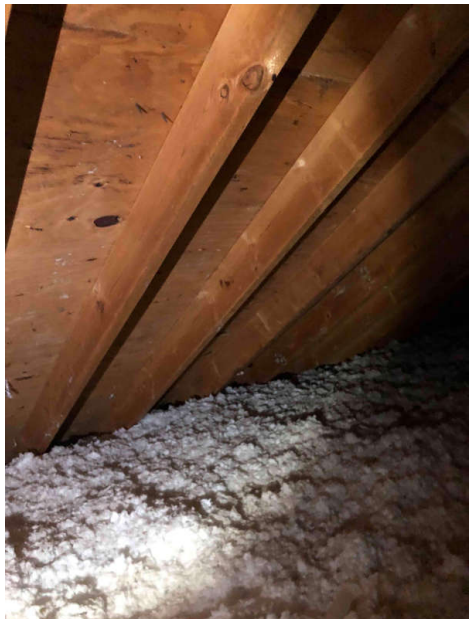
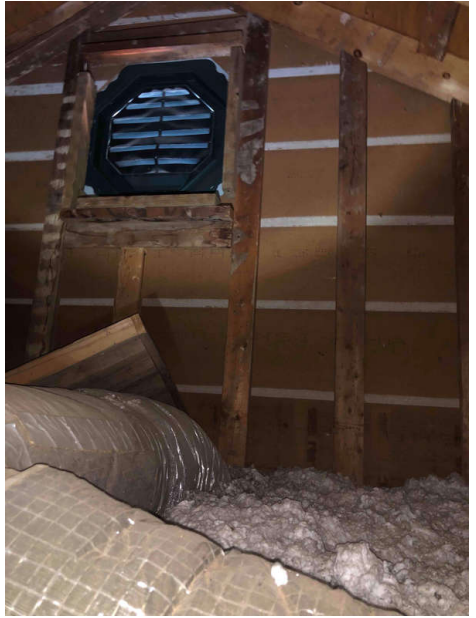
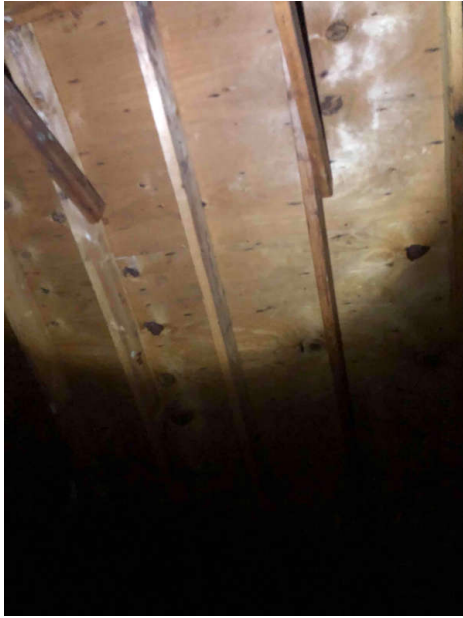
Insulation: Insulation Type

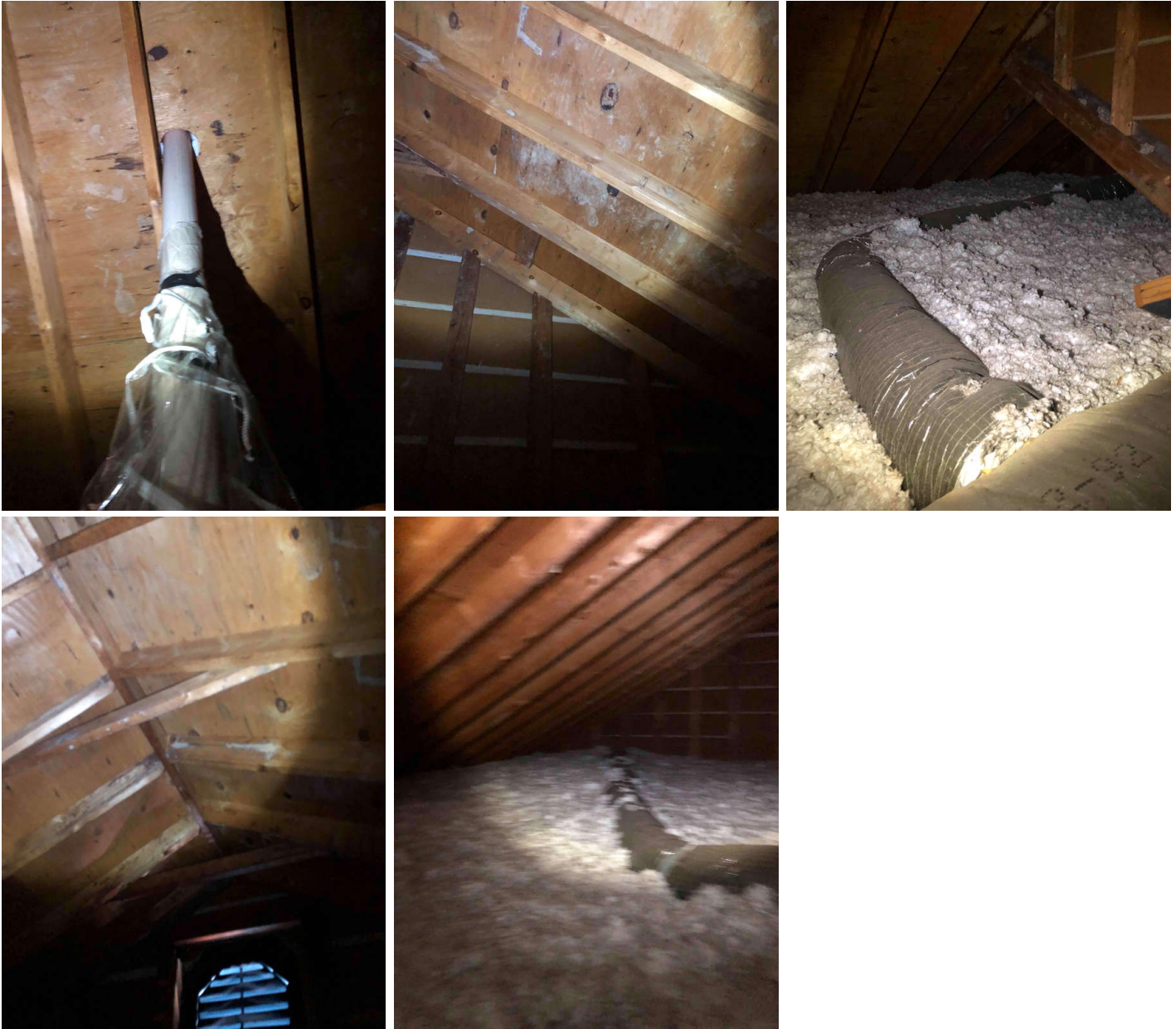
Blown-in Fiberglass

Insulation: Insulation Amount (Average)

10 - 12"

Attic View(s)





Accessibility Limitations

Attics are navigated as best I can; levels of high insulation, HVAC ductwork, framing, and other factors can prevent physical and visual accessibility of some areas and items. The amount of the attic that was able to be safely and visually inspected will be listed as an approximate percentage above. Insulation is not moved or disturbed for visual accessibility of items. The inspection of this area is limited to visual portions only. Any areas that were not visible are excluded from this inspection.

Attic Access: Attic Access Information

The attic access(es) were inspected by reporting on their location and type, as well as looking for any significant defects in association with the access. No reportable conditions were present at the time of inspection unless otherwise noted in this report.

Ventilation: Ventilation Information

The attic ventilation was reported on by a visual inspection of said ventilation sources, and looking for indications of improper ventilation. Measurements of ventilation sources are beyond the scope of a home inspection and were not conducted. No indications of inadequate ventilation was observed at the time of inspection unless otherwise noted in this report.

Roof Structure / Framing: Roof Structure Information

The roof structure was inspected at visible portions looking for any signs of moisture infiltration, damage, or other deficiencies. No reportable conditions or indications of past or present leaks were observed at the time of inspection unless otherwise noted in this report.

Insulation: Insulation Information

The insulation was inspected to determine the approximate depth and type. Current energy star standards recommend approximately 14 inches of insulation to achieve an R-38 rating. Depending on when the home was constructed anywhere from 8-14 inches may be present. No reportable deficiencies were observed with the insulation unless otherwise noted in this report.

Exhaust Vent(s): Not Visible From Opening

The bathroom ventilation fans were not visually accessible from the access opening.

Plumbing Stack Vents: Vent Stack Information

Visible portions of the plumbing stack vent(s) were inspected looking for any disconnected portions and looking at the condition of the sheathing or decking surrounding them for indications of past or present leaks. No reportable conditions were present at the time of inspection unless otherwise noted in this report.

Recommendations

14.5.1 Insulation

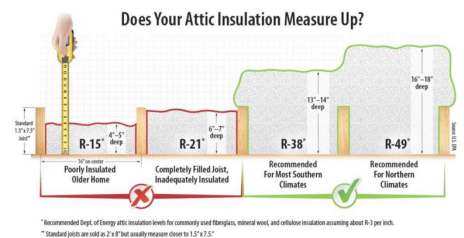
 Minor Defect, Maintenance Item, or FYI Item

TYPICAL FOR AGE - ADD MORE AS DESIRED

The insulation level was typical for when the home was constructed. Current standards require approximately 14 inches of insulation to achieve an R-38 rating. More insulation can be added as desired by an insulation contractor.

Recommendation

Contact a qualified insulation contractor.



15: FOUNDATION AREA(S)

Information

Foundation Type

Crawl Space

Floor Structure Visual Obstructions

HVAC Ductwork

Crawl Space Access: Access Location

Rear of Home

Inspection Method

Crawled Where Possible

Amount of Crawl Space Able to be Safely Inspected

70-80%

Areas of Crawl Space Not Visibly Accessible or Fully Accessible

Front of Home

Crawl Space Obstructions / Safety Concerns

HVAC Ductwork

Moisture Presence: Indications of Moisture at Visible Portions

None Present

Foundation Walls: Foundation Wall Material

CMU Block

Foundation Walls: Foundation Wall Crack(s) Present?

Yes

Framing / Floor Structure: Floor Structure Materials

Wood Floor Joists

Framing / Floor Structure: Indications of Condensation Present

No

Floor Structure Support: Floor Structure Support Type (Piers or Columns)

Subfloor: Subfloor Material

Plywood

Ground Cover / Vapor Barrier : Vapor Barrier Condition

Present

CMU Block Piers

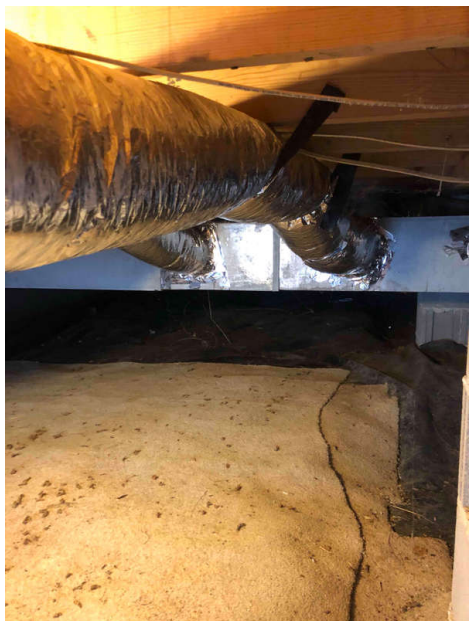
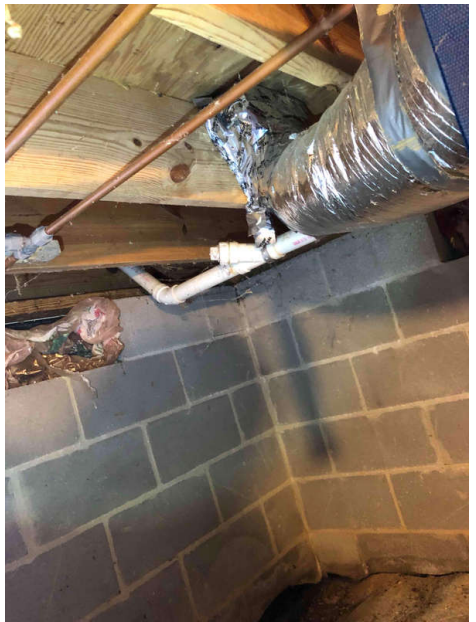
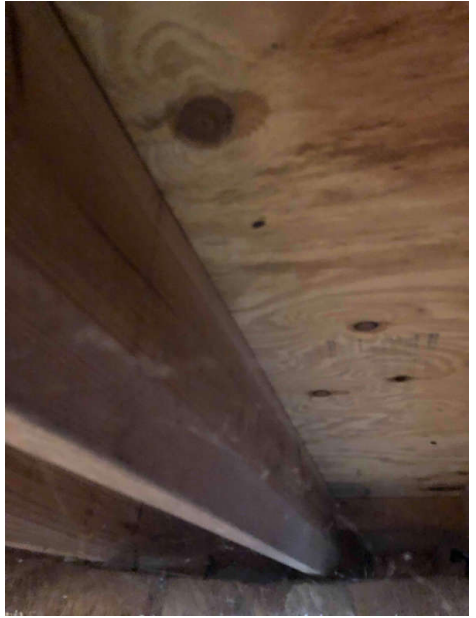
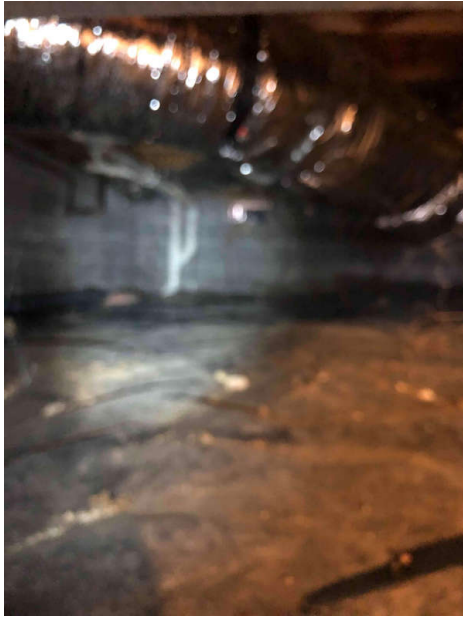


Insulation: Insulation Present at Unfinished Areas

No

Crawl Space View(s)







Visual Limitations Information

The referenced visual obstructions listed above may block or hinder visual accessibility of the floor structure and other areas. The inspection of the foundation area and floor structure is limited to visual portions only. Any items or areas not visible are excluded from this inspection. Insulation or any other item is not moved or disturbed for visual accessibility.

Crawl Space Access: Crawl Space Access Information

The crawl space access was inspected by reporting on its location as well as inspecting for any significant defects. No reportable conditions were present at the time of inspection, unless otherwise noted in this report.

Crawl Space Inspection Information

The crawl space area was inspected where possible. I make every attempt to inspect around the perimeter of the crawl space and then throughout the crawl space evaluating areas for moisture intrusion, damage, or other deficiencies. Inherently there are often areas that are either physically or visually inaccessible due to referenced obstructions and/or clearance issues. A percentage of the amount of the crawl space that was safely and visually accessible will be listed above. The inspection of the crawl space area is limited to visual portions only, and any items or areas not visually accessible are excluded from this inspection.

Moisture Presence: Moisture Infiltration Information - Areas Below Grade

Areas below grade were inspected for signs of past or present water intrusion by examining visible portions of the foundation walls, floors, and/or soil looking for moisture stains and/or other signs of current or prior water intrusion. No indications of water/moisture intrusion was present at visible areas below grade unless otherwise noted in this report. I can only report on the conditions as they existed at the time of inspection, and can not guarantee that water will not infiltrate this area at a future time due to a heavy rain or changes in conditions. **I have inspected homes where no water or indications of water intrusion was present at the time of inspection, but days later standing water was present due to a rainfall event**, and for this reason, I highly recommend consulting with the sellers as to prior moisture infiltration into areas below grade, and reading the sellers disclosure which should list such a condition.

Foundation Walls: Foundation Walls Information

Visible portions of the foundation walls were inspected looking for significant cracking, moisture intrusion, or any other indications of damage or significant deficiencies. No reportable conditions were observed at the time of inspection unless otherwise noted in this report.

Foundation Walls: Step Cracking Present

Step settlement cracking was present on the foundation wall. A home will settle the most in the first five years after being built as the ground is considered "disturbed earth" at this time. Cracks most often occur in block that follows the mortar lines in a step pattern. If a concern, evaluation by a structural engineer is recommended, as determining the cause and severity of cracking is beyond the scope of a home inspection.



Framing / Floor Structure: Floor Structure Information

Visible portions of the framing and floor structure were inspected looking for damage or other significant deficiencies. No reportable conditions were visibly present at the time of inspection unless otherwise noted in this report.

Ground Cover / Vapor Barrier : Vapor Barrier Information

Vapor barriers also called ground covers (if present) are inspected to ensure they cover the entirety of the soil in the crawl space, that they are not damaged or dry rotted, and contain no gaps. No reportable conditions were observed at the time of inspection unless otherwise noted in this report.

Ventilation: Ventilation Information

The crawl space ventilation was reported on by stating its presence and looking for indications of improper ventilation. No reportable conditions were present at the time of inspection unless otherwise noted in this report.

Recommendations

15.9.1 Insulation

 Minor Defect, Maintenance Item, or FYI Item

INSULATION NOT PRESENT BETWEEN JOISTS

FYI- Insulation was not present between the floor joists. Current energy standards recommended insulation to be present between the floor joists of unconditioned areas, when living areas are overhead, for energy efficiency. The installation of insulation is recommended as an upgrade by an insulation contractor.

Recommendation

Contact a qualified insulation contractor.

16: FINAL CHECKLIST

Information

Oven Turned Off
Yes

All GFCI Receptacles Reset?
Yes

Thermostat Initial Setting
Heat, 61



Thermostat Leaving Setting
Heat, 61

Photo Of Thermostat When Leaving

Photo Upon Arrival



All Lights Turned Off?
Yes

All Exterior Doors Locked?
Yes

STANDARDS OF PRACTICE

Inspection Details

Grounds

In accordance with the Tennessee Standards of Practice the home inspector **shall observe**: Exterior electrical receptacles and the presence of GFCI protection (GFCI protection was not required prior to 1975, but upgrading is recommended for safety). Decks, balconies, stoops, steps, areaways, porches and applicable railings that are directly attached to the structure. Vegetation, grading and drainage of grounds, driveways, patios, walkways, and retaining walls will be inspected with respect to their effect on the condition of the structure.

The home inspector is **not required to observe**: Fences and gates, Geological conditions, Soil conditions, Recreational facilities (including spas, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other exercise, entertainment, or athletic facilities), Detached buildings or structures, or the Presence or condition of buried fuel or waste storage tanks. The home inspector is **not required to**: Move personal items, panels, furniture, equipment, plant life, soil, snow, ice or debris that obstructs access or visibility.

Roof

In accordance with the Tennessee Standards of Practice the home inspector shall observe: The roof covering, roof drainage systems, visible flashings, skylights, chimneys, and roof penetrations; and report on signs of leaks or abnormal condensation on building components. **The home inspector shall**: Describe the type of roof covering materials, and Report on the method used to observe the roofing.

The home inspector is not required to Walk on the roofing (although every safe attempt to do so, will be taken), report on the age or remaining life of the roof covering, move leaves, snow, or other items on the surface that may block visual accessibility, or observe attached accessories including but not limited to solar systems, antennae, satellite dishes and lightning arrestors. No claims will be made as to remaining roof material life expectancy, and no guarantee or warranty should be expected from comments or observations. The sellers or the occupants of a residence will generally have the most relevant knowledge of the roof and of its history. Therefore, I recommend that you consult with the sellers about the age of the roof covering, and that you either include comprehensive roof coverage in your home insurance policy, or that you obtain a roof certification from an established local roofing company.

Exterior

In accordance with the State of Tennessee Standards of Practice **the home inspector shall observe from ground level**: - Wall cladding, flashings, and trim; entryway doors and a representative number of windows; eaves, soffits, and fascias. **The home inspector shall**: Describe wall cladding materials; Operate all entryway doors and a representative number of windows; and probe exterior wood components where deterioration or damage is suspected.

The home inspector is not required to observe Storm windows, storm doors, screening / screens, shutters, awnings, and similar seasonal accessories; Presence of safety glazing in doors and windows; Detached buildings or structures; or the Presence or condition of buried fuel storage tanks, water tanks, or septic tanks. **The home inspector is not required to**: Move personal items, panels, furniture, equipment, plant life, soil, snow, ice or debris that obstructs access or visibility.

Kitchen

In accordance with the Tennessee Standards of Practice the inspector will examine and report on the condition and operation of the dishwasher by initiating a cycle, the range by testing heating elements and the oven, the mounted microwave by starting a warm-up cycle, test the hot/cold water supply at the fixture, look for leaks in the plumbing and fixtures/faucet, examine counters, walls, ceilings, floors, a representative number of cabinets, windows, doors, and the presence of GFCI receptacles and their operation, if applicable. Homes built prior to 1987 were not required to have GFCI receptacles in the kitchen, but upgrading is recommended for safety.

The home inspector is not required to report on Clocks, timers, self-cleaning oven functions, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. **The home inspector is not required to operate**: Appliances in use; or Any appliance that is shut down or otherwise inoperable.

Bathroom(s)

In accordance with the Tennessee Standards of Practice the inspector will examine and report the condition of the: sinks, showers, tubs, enclosures, toilets, exposed plumbing, presence of leaks from plumbing, fixtures, and/or faucets. As well as the walls, floors, ceilings, a representative number of windows and doors, heating/cooling source, ventilation, and presence of GFCI protection, if applicable. GFCI protection in bathrooms was not required in homes built prior to 1975; but upgrading is recommended for safety.

The home inspector is not required to Operate any valve except water closet flush valves, fixture faucets, and hose faucets; or Inspect the system for proper sizing, design, or use of proper materials.

Interior Areas

In accordance with the Tennessee Standards of Practice **the home inspector shall observe:** walls, ceilings, and floors; steps, stairways, balconies, and railings; counters and a representative number of installed cabinets; and a representative number of doors and windows; fireplaces by examining the firebox, operating the damper, and reporting on the presence of a gas shut off valve. **The home inspector shall:** Operate a representative number of receptacles, switches, windows, and interior doors; and report on signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components.

The home inspector is not required to observe Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting, tile; or Draperies, blinds, or other window treatments. Gas fireplaces are not tested for functionality, and the pilot light will not be lit if it's off at the time of inspection. An evaluation by a gas company is recommended before using any gas appliances in the home.

Laundry

In accordance with the State of Tennessee Standards of Practice **the inspector will examine and report on the condition of:** the exposed plumbing; presence of a 240 volt receptacle, GFCI receptacles, dryer vent condition and termination, as well as the walls, floors, ceilings, doors, cabinets, counters, and windows, if applicable.

The inspector is not required to Inspect or move washers and dryers, operate water valves where the flow end of the faucet is connected to an appliance, Inspect the plumbing for proper sizing, design, or use of proper materials.

Heating, Cooling

In accordance with the State of Tennessee Standards of Practice **the home inspector shall observe:** the permanently installed heating and cooling systems including: Heating and cooling equipment that is central to the home; visible ducts and piping, air filters, registers, and the presence of an installed heating and cooling source in each room. **The home inspector shall describe:** the energy source and heating equipment. The home inspector shall operate the systems using normal operating controls. The home inspector shall open readily accessible access panels provided by the manufacturer or installer for routine homeowner maintenance. **The home inspector is not required to:** Operate heating systems when weather conditions or other circumstances may cause equipment damage; Operate automatic safety controls; Ignite or extinguish solid fuel fires; or Observe: Humidifiers; Electronic air filters; or The uniformity or adequacy of heat supply to the various rooms. Efficiency of the units and load testing are not conducted. Air conditioning units can not be tested when temperatures are lower than 60 degrees, due to the possibility of damaging the compressor. Clients are advised to have an HVAC company to perform maintenance on the system on an annual basis.

Water Heater

In accordance with the State of Tennessee Standards of Practice the inspector will examine and report the condition: of the water heater enclosure, plumbing supply, energy source, venting, and TPR valve, if applicable. The inspector is not required to: activate the system if it is powered down, or the pilot flame is not lit, Inspect the system for proper sizing, design, or use of proper materials.

Plumbing

In accordance with industry standards **the home inspector shall observe at visible portions** Interior water supply and distribution system, including: piping materials and supports; fixtures and faucets; functional flow; leaks; and cross connections. Interior drain, waste, and vent system, including: traps; drain and waste lines; leaks; and functional drainage. **The home inspector shall describe:** Water supply and distribution piping materials; Drain, waste, and vent piping materials; and Location of the main water supply shutoff device. The home inspector shall operate all plumbing fixtures, including their faucets and all exterior faucets attached to the house, except where the flow end of the faucet is connected to an appliance.

The home inspector is not required to State the effectiveness of anti-siphon devices; Determine whether water supply and waste disposal systems are public or private; Operate automatic safety controls; Operate any valve except water closet flush valves, fixture faucets, and hose faucets; Observe: Water conditioning systems; Fire and lawn sprinkler systems; On-site water supply quantity and quality; On-site waste disposal systems; Foundation

irrigation systems; Spas, except as to functional flow and functional drainage; Swimming pools; Solar water heating equipment; or Observe the system for proper sizing, design, or use of proper materials.

Electrical

In accordance with the State of Tennessee Standards of Practice **the home inspector shall observe:** Service entrance conductors; Service equipment, grounding equipment, the main over current device, and main and distribution panels; Amperage and voltage ratings of the service (if the conductors' sizing text is present / legible); Branch circuit conductors, their over current devices, and the compatibility of their ampacities and voltages. **The home inspector shall describe:** Service amperage and voltage (if known); Service entry conductor materials; Service type as being overhead or underground; and the location of main and distribution panels. **The home inspector shall report on:** the presence of any observed aluminum branch circuit wiring. **The home inspector is not required to** Insert any tool, probe, or testing device inside the panels; Test or operate any over current device except ground fault circuit interrupters; Dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels; or Observe: Motion or Dusk to Dawn lighting, Low voltage systems; Security system devices, heat detectors, or carbon monoxide detectors; Telephone, security, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution system.

Attic / Roof Structure

In accordance with the State of Tennessee Standards of Practice **the inspector will examine:** the attic area and report on the condition of the access opening (including location), insulation type (and current depth), ducts, visible electrical components, exhaust terminations, plumbing components, and ventilation if applicable. **The inspector is not required to** move or disturb insulation, or report on the adequacy of current ventilation, Calculate the strength, adequacy, or efficiency of any system or component including framing. Enter any attic that may damage the property or its components or be dangerous to or adversely affect the health or safety of the home inspector or other persons. Therefore, I do not attempt to enter attics with less than 36" of headroom; where insulation obscures the ceiling joists; or where ducts block access. In these cases I will evaluate from the access opening as best I can.

Foundation Area(s)

In accordance with the Tennessee standards of practice **the inspector will examine and report on the condition of:** the foundation walls, the framing (including probing of any framing that looks to have damage / deterioration), columns / piers, the crawl space access, and insulation, if applicable.

The inspector is not required to enter any area that could be considered a safety hazard to the inspector; report on the adequacy of structural components; or report on spacing, span, or size of structural components. Ductwork, framing, plumbing, and insulation may block visual accessibility of some areas. The inspection is limited to the conditions on the inspection day; I inspect several items to try and determine if moisture is or has infiltrated the basement / crawl space area. But, can not guarantee that water will not infiltrate the area at a future time due to conditions unforeseen at the time of inspection.

Final Checklist

Final checklist showing the home was left as it was found, and was locked when complete.