



The summary is meant to organize the defects or important repairs needed in the home. Most anything can be repaired in a home, although some repairs can be very expensive to complete. Generally, normal maintenance issues are left out of the summary unless they would lead to water leaks or expensive repairs if not completed in a timely way. Roof maintenance issues will be included in the summary because of the severe damage that may be caused by the neglect of roof maintenance.

Please Read The Entire Report

There is important information about home maintenance, materials used in the construction of this home, and appliance use and maintenance that should be read to gain an understanding of how to care for your home.

Qualified Contractors

Qualified contractors should be properly licensed and insured in the state of Maryland. Documentation of repairs to include the contractor's invoice, details of work completed, contact information and license number should be provided for the buyer's records.

Recommended Contractors

Any contractor recommendations are made for my client's or their agent's convenience. I do not accept kickbacks or referral fees from any contractors, EVER.

2.3.1 Ventilation / Exhaust Fans

EXHAUST FAN LOUD

MASTER BATHROOM, HALLWAY BATHROOM

The bathroom exhaust fan is working but loud enough to be a disturbance. This may indicate the fan will not work much longer.

Recommendation

Contact a qualified professional.



3.1.1 Walls / Ceilings / Floors

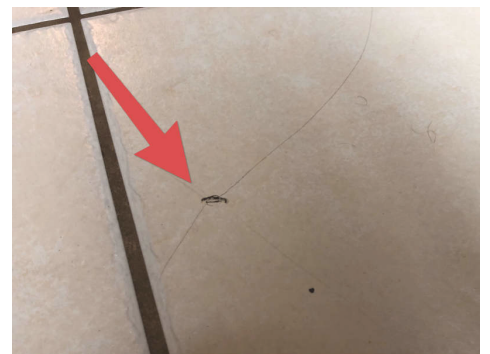
CRACKED FLOOR TILES

KITCHEN

There are cracked floor tiles. This condition may worsen if not corrected.

Recommendation

Contact a qualified tile contractor



3.1.2 Walls / Ceilings / Floors

DAMAGED WALLS

MASTER BATHROOM

This wall is damage where the T.P. holder came out.



Recommendation
Contact a qualified drywall contractor.



3.3.1 Cabinets / Countertops

WATER DAMAGED CABINET

KITCHEN

There are stains and minor water damage under the kitchen sink. Any leakage will be noted in the plumbing section.

Recommendation
Contact a qualified cabinet contractor.



3.4.1 Smoke Alarms

REPLACE OLD SMOKE ALARMS

Smoke alarms old than 10 years must be replaced according to Maryland State Law. Smoke alarms should be present on each floor and in the common area outside of all bedrooms.

Recommendation
Contact a qualified professional.



4.3.1 Microwave / Exhaust Fan

FAN REVERSED

The internal fan which removes exhaust from the cooktop may be reversed or incorrectly installed. There is a duct to take exhaust outside but the fan exhausts into the kitchen.

Recommendation
Contact a qualified appliance repair professional.



4.5.1 Refrigerator

NO WATER SUPPLY FOR REFRIGERATOR

There was no water supply for the ice maker.

Recommendation
Contact a qualified plumbing contractor.



5.3.1 Wiring / Grounding / Junction Boxes

OPEN JUNCTION BOXES

GUEST BEDROOM CLOSET

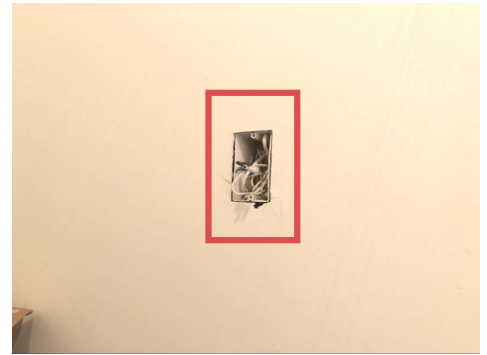
There are open junction boxes which should be covered to prevent accidental electrocution.

Recommendation

Contact a qualified electrical contractor.



Recommended Repairs



5.4.1 Outlets / Lights / Ceiling Fans

NOT GFCI PROTECTED

KITCHEN

One or more areas of the home are not GFCI protected as required by modern safety standards. GFCI receptacles or breakers are important safety features that can protect one from accidental electrocution in wet locations such as kitchens and bathrooms.

Recommendation

Contact a qualified electrical contractor.



Safety Issue



5.4.3 Outlets / Lights / Ceiling Fans

LIGHT COVERS MISSING

GUEST BEDROOM CLOSET, MASTER BATHROOM

Covers are missing leaving the lightbulbs exposed.

Recommendation

Contact a qualified handyman.



Recommended Repairs



6.1.1 Heating Equipment

DIRTY REFRIGERANT COILS

The evaporator and condenser coils are dirty and should be cleaned. Dirty refrigerant coils are the primary cause of major repairs and causes the equipment to work less efficiently.

Recommendation

Contact a qualified heating and cooling contractor



Recommended Repairs



7.3.1 Faucets / Sinks / Toilets

MISSING BATHTUB FAUCET HANDLE

HALLWAY BATHROOM

This bathtub faucet handle was missing. Any other problems with this faucet will be noted in this report.

Recommendation

Contact a qualified plumbing contractor.



7.5.1 Water Heating

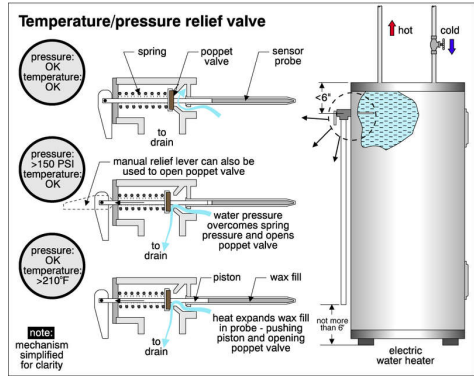
NO TPR DISCHARGE PIPE



A temperature pressure relief valve (TPR) should have a discharge pipe that extends to within 6 inches of the floor to prevent scalding if the valve discharges overheated water.

Recommendation

Contact a qualified plumbing contractor.



8.1.1 Evidence

POSSIBLE MOLD GROWTH IN UTILITY CLOSET



UTILITY CLOSET

What may be fungal, or mold growth was observed in the utility closet under the heating and cooling equipment.

