



The summary is meant to organize the defects or important repairs needed in the home. Most anything can be repaired in a home, although some repairs can be very expensive to complete. Generally, normal maintenance issues are left out of the summary unless they would lead to water leaks or expensive repairs if not completed in a timely way. Roof maintenance issues will be included in the summary because of the severe damage that may be caused by the neglect of roof maintenance.

Please Read The Entire Report

There is important information about home maintenance, materials used in the construction of this home, and appliance use and maintenance that should be read to gain an understanding of how to care for your home.

Qualified Contractors

Qualified contractors should be properly licensed and insured in the state of Maryland. Documentation of repairs to include the contractor's invoice, details of work completed, contact information and license number should be provided for the buyer's records.

Recommended Contractors

Any contractor recommendations are made for my client's or their agent's convenience. I do not accept kickbacks or referral fees from any contractors, EVER.

### 3.1.1 Driveway / Sidewalk / Patio

#### **TEMPORARY TRIP HAZARD**



Safety Issue

The final layer of asphalt had not been applied at the time of inspection. Caution should be exercised as there will be trip hazards in the driveway until the asphalt is complete.



### 3.2.1 Steps / Porch / Deck

#### **STAIR TREADS EXCESSIVELY SLOPED**

REAR BASEMENT STAIRWAY

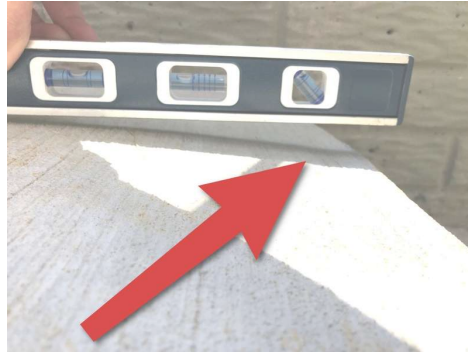


Safety Issue

One or more stair treads are excessively sloped and may be a trip/fall hazard. Exterior stair treads should be sloped to prevent water from collecting but not more than a maximum of 1/4 inch per foot.

Recommendation

Contact a qualified concrete contractor.



Slope should not exceed 1/4 inch per foot

### 3.3.1 Siding / Trim / Flashing

#### **GAPS AT TRIM**

 Recommended Repairs

There are gaps at the exterior trim that should be filled to keep water and pests out.

Recommendation

Contact a qualified painter.



Rear Basement Door

### 3.3.2 Siding / Trim / Flashing

#### **EXPOSED NAILS IN TRIM**

 Recommended Repairs

There are exposed nails in the exterior trim that should be filled or sealed to prevent corrosion.

Recommendation

Contact a qualified painter.



### 3.4.1 Doors / Windows

#### **MISSING WINDOW SCREENS**

MASTER BEDROOM

 Recommended Repairs

Window screens are missing and should be replaced to keep pests out.

Recommendation

Contact a handyman or DIY project

3.4.2 Doors / Windows

**WINDOW WELLS UNCOVERED**

 Recommended Repairs

Window wells should be covered to keep water, children, and pests, such as foxes or skunks out of the window well. This is a common cause of wet basements.

Recommendation  
Contact a qualified handyman.



4.2.1 Insulation Condition

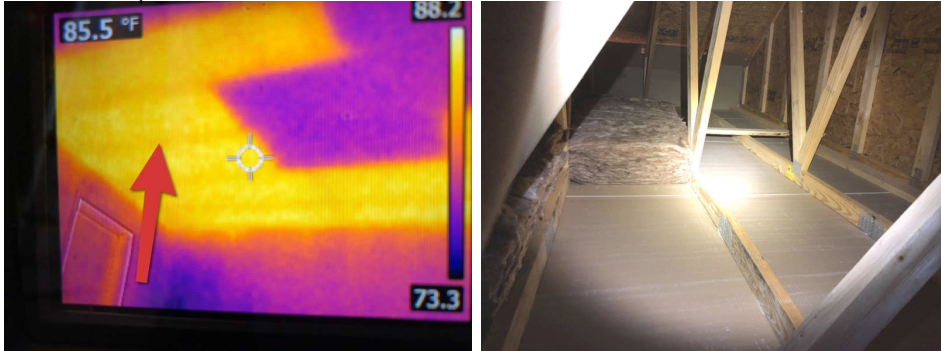
**MISSING INSULATION IN ATTIC**

ABOVE FAMILY ROOM

 Recommended Repairs

Portions of the insulation was observed to be missing. This condition cause moisture problems and contribute to energy loss during the heating and cooling seasons if not corrected.

Recommendation  
Contact a qualified insulation contractor.



Yellow areas are hot due to missing insulation

6.1.1 Walls / Ceilings / Floors

**DAMAGED FLOOR TILES**

MASTER BATHROOM

 Recommended Repairs

There is a chipped floor tile in the master bathroom. This is a cosmetic defect that should not affect the durability of the tile.

Recommendation  
Contact a qualified flooring contractor



6.2.1 Windows / Doors / Closets

## WINDOWS DIFFICULT TO LATCH

Recommended Repairs

MASTER BEDROOM

One or more windows were difficult to latch and require some adjustment.

Recommendation

Contact a qualified window repair/installation contractor.



7.5.1 Refrigerator

## REFRIGERATOR ON GFCI CIRCUIT

Recommended Repairs

Please remember that your refrigerator is installed on a GFCI circuit and if the circuit breaker for that portion of the kitchen is tripped your food may spoil if not reset immediately.

Recommendation

Recommend monitoring.

10.4.1 Drain, Waste and Vent Piping

## LEAK IN CEILING UNDER BATHROOM

Recommended Repairs

KITCHEN

There is a leak underneath the master bathroom. The thermal image of the kitchen ceiling indicates cold spots (dark blue) that were confirmed to be wet with a moisture meter.

Recommendation

Contact a qualified plumbing contractor.

