

2.1.1 Grading & Vegetation
ANIMAL BURROWING

 Recommendations

BACK

Animal burrowing was found at one or more areas. It is unknown what type of animal this is or if this is active. Client should follow up with seller, or monitor moving forward. An animal removal expert/trapper may need to be called.

Recommendation
 Contact a qualified pest control specialist.



4.5.1 Electrical
GFCI PUMP

 Major Recommendations

GFCI protection was not visible for one or more pumps. Pumps are now required to have GFCI protection. It is recommended GFCI protection be installed for overall safety. A qualified electrician should evaluate and repair as necessary.

Recommendation
 Contact a qualified electrical contractor.



4.6.1 Heater
HEATER INOPERABLE

 Recommendations

The pool and spa heaters were inoperable. A qualified contractor should evaluate and repair as necessary.

Recommendation
 Contact a qualified professional.





6.2.1 Shingles

SELF SEAL STRIPS LOOSE

 Recommendations

Composition shingles were loose because the adhesive, self-sealing strips weren't sealed. Leaks can occur as a result. Self-sealing strips secure the lower edge of shingles and reduce vulnerability to wind damage. Strips may not be sealed because the sealant has failed or because the sealant never activated and cured after the original installation. Recommend that a qualified contractor repair as necessary. For example, by hand sealing shingles with an approved sealant.

Recommendation

Contact a qualified roofing professional.



Right



Right

9.3.1 Panel Wiring & Breakers

RECALL GFCI SQUARE D BLUE

 Recommendations

One or more circuit breakers appeared to be of a type that have been recalled (Square D or Homeline AFCI, from, with a blue test button). Recommend that a qualified electrician evaluate and replace circuit breakers if necessary.

Recommendation

Contact a qualified electrical contractor.



9.5.1 Receptacles

IN USE COVER

 Recommendations

EXTERIOR, LEFT

One or more standard exterior electric receptacles (outlets) were being used for appliances or systems that were constantly in use. Recommend that a qualified person install "while in use" receptacle covers as necessary.

Recommendation

Contact a qualified electrical contractor.



9.6.1 Lighting & Fans

LAMPS INOPERABLE



Recommendations

FRONT, EXTERIOR

One or more light fixtures were inoperable (didn't turn on when nearby switches were operated). Recommend further evaluation by replacing bulbs and/or consulting with the property owner (perhaps on a switch that was not identified). If replacing bulbs doesn't work and/or no other switch(es) can be found, then recommend that a qualified electrician evaluate and repair or replace light fixtures as necessary.

Recommendation

Contact a qualified electrical contractor.



10.2.1 Supply Lines

SUBSTANDARD SUPPORT



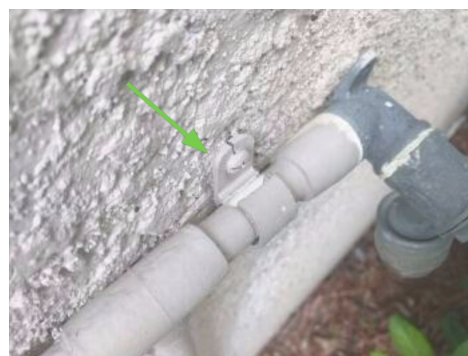
Recommendations

RIGHT BACK EXTERIOR

One or more water supply pipes had substandard support or were loose. Leaks may occur as a result. Recommend that a qualified person install hangers or secure pipes per standard building practices.

Recommendation

Contact a qualified plumbing contractor.



12.2.1 Doors

CLOSET OUT OF TRACK



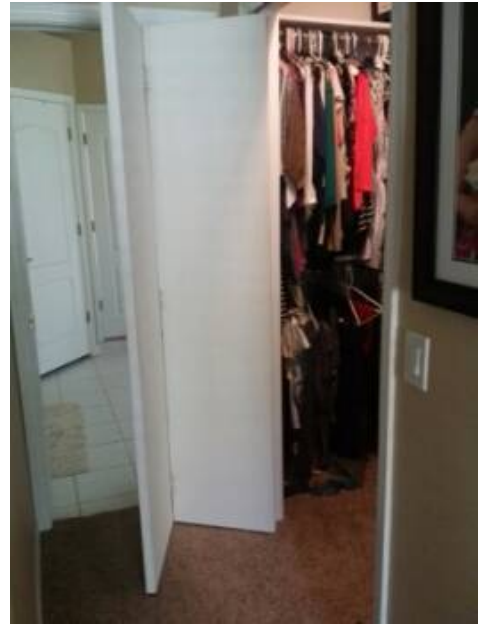
Recommendations

GUEST BEDROOM

The closet doors in one or more locations were out of track. Recommend repair for proper functionality.

Recommendation

Contact a qualified handyman.



12.2.2 Doors

GHOST DOOR

GUESTBATHROOM

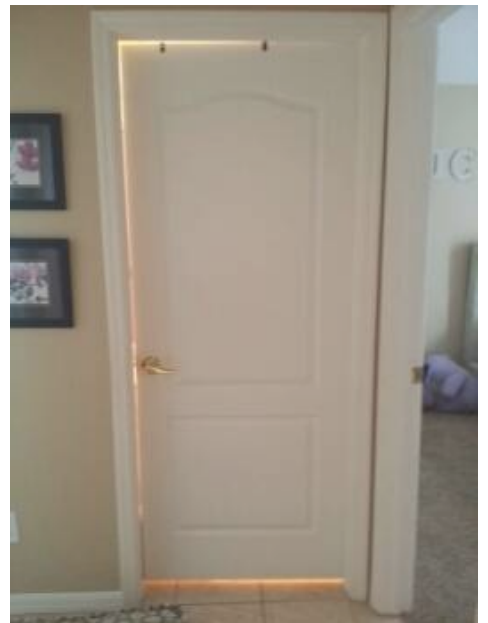
One or more interior doors would not stay open on it's own, commonly referred to as a 'ghost door'. This is caused by the door not being hung plumb. A simple fix is to remove the door hinge pin and hammer it on a concrete surface a few times to add a slight bend to the door pin. Reinstall the door pin. This slight bend will cause a minor bit of friction in the hinge, allowing the door to stay open. If this does not work with one hinge, keep trying on all 2-3 hinges till door stays open.

Recommendation

Contact a qualified handyman.



Recommendations



12.3.1 Windows

WINDOWS LEAKING

DINING ROOM, GUEST BEDROOM, MASTER BEDROOM

One or more windows appeared to be leaking. Water can or may have damaged areas behind the wall or floor. Recommend contractor evaluate and repair.

Recommendation

Contact a qualified general contractor.



Recommendations



Dining Room



Guest Bedroom



Back Master Bedroom

12.5.1 Floors

TILE DAMAGED

 Recommendations

Tile or grout in the flooring in one or more areas was damaged or deteriorated. Recommend that a qualified contractor repair as necessary.

Recommendation

Contact a qualified professional.

