



SUMMARY

1234 Main St. Palmer AK 99645

Buyer Name
05/20/2019 9:00AM

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3.1.1 Walkways, Patios & Driveways

DRIVEWAY CRACKING - MAJOR

Major cracks observed. Recommend driveway contractor evaluate and replace.

Recommendations



3.1.2 Walkways, Patios & Driveways

RESEAL ASPHALT

The asphalt driveway surface was worn and is prone to developing cracks from water penetration. Recommend that a qualified person reseal the driveway.

Recommendation
Contact a qualified professional.

Maintenance Item



3.1.3 Walkways, Patios & Driveways

WALKWAY CRACKING - MAJOR

Recommendations

Major cracks observed. Recommend concrete contractor evaluate and correct to prevent trip hazard & preserve appearance.



3.2.1 Vegetation, Grading, Drainage & Retaining Walls



Maintenance Item

DOWNSPOUT EXTENSION

W EXTERIOR

Extensions such as splash blocks or drain pipes for one or more downspouts were *missing / poorly sloped / misaligned / clogged / substandard / damaged*. Water can accumulate around the building foundation or inside crawl spaces or basements as a result. Recommend that a qualified person install, replace or repair extensions as necessary so rainwater drains away from the structure.

Recommendation

Contact a qualified professional.



3.2.2 Vegetation, Grading, Drainage & Retaining Walls

SOIL CLOSE/CONTACT

N EXTERIOR S EXTERIOR



Maintenance Item

Soil was in contact with or less than 6 inches from siding or trim. Regardless of what material is used for siding, it should not be in contact with the soil. If made of wood, siding or trim will eventually rot. For other materials, ground or surface water can infiltrate siding or trim and cause damage to the wall structure. Wood-destroying insects are likely to infest and damage the wall structure. This is a conducive condition for wood-destroying organisms. Recommend grading or removing soil as necessary to maintain a 6-inch clearance. Note that damage from fungal rot and/or insects may be found when soil is removed, and repairs may be necessary.

Recommendation

Recommended DIY Project



3.3.1 Exterior Issues

DRYER VENT CLOGGED

 Recommendations

The dryer vent is clogged and needs to be cleaned. A clogged dryer vent can lead to dryer failure and extended dry times as well as being a fire hazard.

Recommend cleaning.

Replace screen after cleaning to prevent animal intrusion.

Recommendation

Contact a handyman or DIY project



3.3.2 Exterior Issues

HOSE BIB MISSING BACKFLOW PREVENTER

 Maintenance Item

S EXTERIOR N EXTERIOR

One or more hose bibs were missing backflow prevention devices. These devices reduce the likelihood of gray water entering the potable water supply. Recommend installing backflow prevention devices on all hose bibs where missing. They are available at most home improvement stores and are easily installed.

Recommendation

Contact a handyman or DIY project



3.6.1 Exterior Electrical **NO GFCI PRESENT**

 Health and Life Safety Items

One or more exterior outlets were not GFCI protected as required recommend consulting a licensed electrician to evaluate and remedy as needed.

Recommendation
Contact a qualified electrical contractor.



3.7.1 Exterior Doors **DOOR DOES NOT SEAL PROPERLY**

 Recommendations

One or more of the exterior doors does not seal properly. This allows unwanted air and heat exchange between the exterior and interior of the home.

Recommend a qualified contractor evaluate and repair as necessary to ensure the door seals as intended.

Recommendation
Contact a qualified professional.



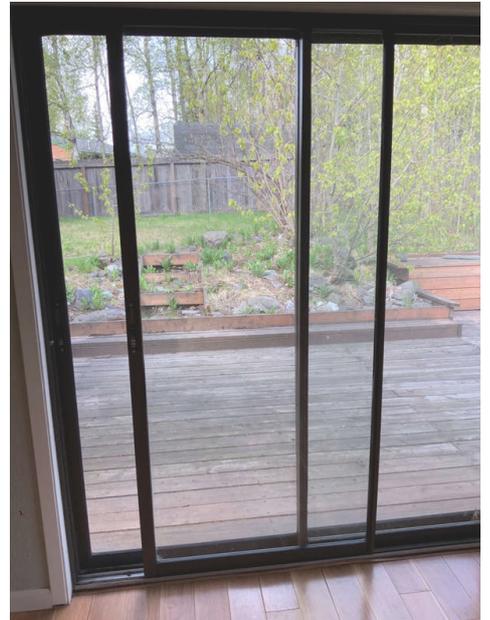
3.7.2 Exterior Doors

SLIDING GLASS DOOR DIFFICULT TO OPERATE

 Recommendations

The sliding glass door was difficult to operate when tested. Recommend in cleaning and or lubricating the tracks to make the door operate as intended.

Recommendation
Contact a qualified professional.



3.8.1 Decks, Balconies, Porches & Steps

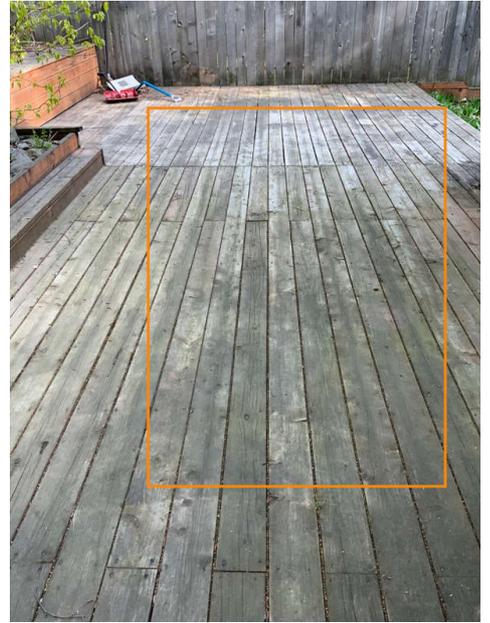
DECK - WATER SEALANT REQUIRED

 Recommendations

Deck is showing signs of weathering and/or water damage. Recommend water sealant/weatherproofing be applied.

[Here is a helpful article](#) on staining & sealing your deck.

Recommendation
Contact a qualified painting contractor.



3.9.1 Siding, Flashing & Trim **CAULKING AT JOINTS**

W EXTERIOR

Caulk was *missing / deteriorated / substandard* in some areas. For example, *around windows / around doors / at siding butt joints / at siding-trim junctions / at wall penetrations*. Recommend that a qualified person renew or install caulk as necessary. Where gaps are wider than 1/4 inch, an appropriate material other than caulk should be used.

Recommendation
Contact a handyman or DIY project



3.9.2 Siding, Flashing & Trim **EVIDENCE OF WATER INTRUSION**

Siding showed signs of water intrusion. This could lead to further siding deterioration and/or mold. Recommend a qualified siding contractor evaluate and repair.

Recommendation
Contact a qualified siding specialist.





3.9.3 Siding, Flashing & Trim

IMPROPER CONSTRUCTION PRACTICES

EXTERIOR W EXTERIOR

Siding appears to be installed improperly and not up to standards. This could lead to moisture damage or deterioration of the home structure. Recommend a siding specialist evaluate and repair/replace.

Recommendation

Contact a qualified siding specialist.



3.9.4 Siding, Flashing & Trim

SIDING/TRIM ISSUES

W EXTERIOR

Sections of siding and/or trim were *deteriorated / loose / split / warped / missing / damaged / substandard / rotten*. Recommend that a qualified person repair, replace or install siding or trim as necessary.

Recommendation

Contact a qualified professional.





3.9.5 Siding, Flashing & Trim

SIDING BOWED OUT

E EXTERIOR

Siding at the exterior of the house was bowed out in one or more locations. Recommend a qualified contractor evaluate and repair/remedy/replace as necessary.

Recommendation

Contact a qualified professional.



4.1.1 Coverings

END OF LIFE EXPECTANCY

The roof surface was significantly deteriorated and appeared to be at or beyond its service life. It needs replacing now. This is a conducive condition for wood-destroying organisms and water penetration. Consult with a qualified contractor to determine replacement options. Note that some structural repairs are often needed after old roof surfaces are removed and the structure becomes fully visible. Related roofing components such as flashings and vents should be replaced or installed as needed and per standard building practices.

Recommendation

Contact a qualified roofing professional.





4.1.2 Coverings

SHINGLES MISSING

Recommendations

Observed areas that appeared to be missing sufficient coverings. Recommend qualified roofing contractor evaluate & repair.

Recommendation

Contact a qualified roofing professional.



4.1.3 Coverings

MOSS ON ROOF SURFACE

Maintenance Item

Moss or other organic growth was observed of one or more locations on the roof recommend treating and removing the moss to prevent further deterioration.

Recommendation

Contact a qualified professional.



4.2.1 Roof Drainage Systems

DEBRIS

Recommendations

Debris has accumulated in the gutters. Recommend cleaning to facilitate water flow.

[Here is a DIY resource](#) for cleaning your gutters.



4.4.1 Skylights, Chimneys & Roof Penetrations

CHIMNEY HEIGHT ABOVE ROOF INCORRECT

ROOF

Chimneys are required to meet the 3-2-10 rule. This rule means that they must extend 3 feet above the roof penetration on the shortest side and the top of the chimney must be 2 feet higher than any portion of the building structure within 10 feet.

Recommendation

Contact a qualified chimney contractor.

 Recommendations



5.1.1 Interior-Exterior doors- Windows

ADJUST SELF-CLOSING HINGES

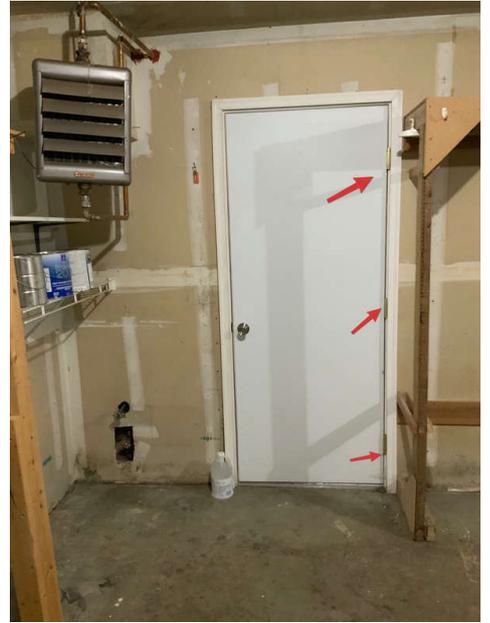
The garage-house door is equipped with an automatic closing device such as spring hinges that need to be adjusted or replaced.

This door should close and latch automatically to prevent vehicle fumes from entering living spaces and/or to slow the spread of fire from the garage to living spaces. A qualified contractor should adjust automatic closing device(s) as necessary, and as per standard building practices, so this door closes and latches automatically.

Recommendation

Contact a qualified professional.

 Health and Life Safety Items



5.2.1 Electrical

DETERIORATED FIXTURES

Recommendations

One or more light fixtures are damaged and/or deteriorated. A qualified electrician should evaluate and repair or replace where necessary.

Recommendation

Contact a qualified electrical contractor.



5.2.2 Electrical

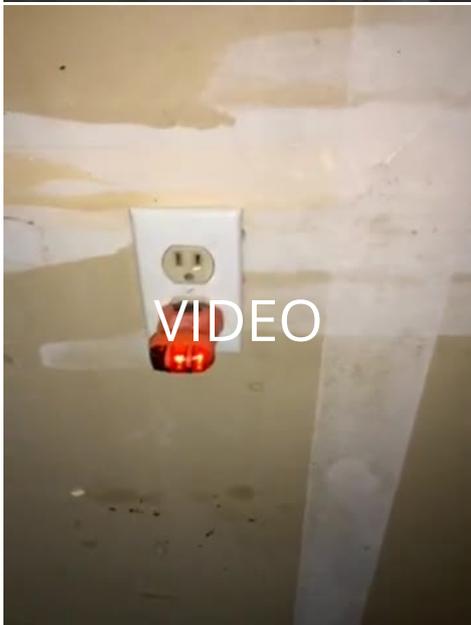
NO GFCI

Health and Life Safety Items

One or more garage electric receptacles appear to have no ground fault circuit interrupter (GFCI) protection. This is a safety hazard due to the risk of shock. A qualified electrician should evaluate to determine if GFCI protection exists, and if not, repairs should be made so that all garage receptacles, except for one for use with a refrigerator or freezer, have GFCI protection. For example, install GFCI receptacles or circuit breaker(s) as needed.

Recommendation

Contact a qualified electrical contractor.



5.3.1 Floors, walls, Ceiling
MICROBIAL GROWTH

HEATING CLOSET

Surface Microbial growth was found on one or more walls/ceilings of the garage. This appears to be due to items previously stored and should be cleaned

Recommendation
Contact a qualified professional.



5.3.2 Floors, walls, Ceiling

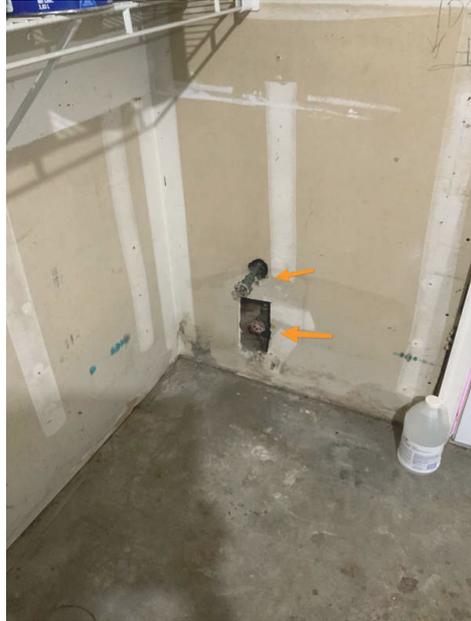
PENETRATIONS

NE CORNER GARAGE

There are one or more penetrations in the wall or ceiling of the garage. All penetrations (open areas) from holes made for wiring or anything else need to be sealed to keep out gases and/or fumes such as carbon monoxide, gas fumes and paint thinners etc. It is recommended to have ALL penetrations sealed to keep the fumes from entering the living space of the house.

Recommendation

Contact a qualified professional.



5.4.1 Vehicle door

OPENER INOPERABLE

One or more garage vehicle door openers are inoperable. A qualified contractor should evaluate and make repairs as necessary.

Recommendation

Contact a qualified garage door contractor.



5.4.2 Vehicle door

PANEL DAMAGE



Garage door panel is damaged and may need repair/replacement. Recommend a qualified garage door contractor evaluate.

Recommendation

Contact a qualified garage door contractor.



6.2.1 Distribution Lines

PRE-1986

Recommendations

Copper water supply pipes in homes built prior to 1986 may be joined with solder that contains lead. Lead is a known health hazard, especially for children. Laws were passed in 1985 prohibiting the use of lead in solder, but prior to that solder normally contained about 50 percent lead. The client(s) should be aware of this, especially if children will be living in this structure. Evaluating for the presence of lead in this structure is not included in this inspection. The client(s) should consider having a qualified lab test for lead, and if necessary take steps to reduce or remove lead from the water supply. Various solutions such as these may be advised:

- Flush water taps or faucets. Do not drink water that has been sitting in the plumbing lines for more than six hours.
- Install appropriate filters at points of use.
- Use only cold water for cooking and drinking. Hot water dissolves lead more quickly than cold water.
- Use bottled or distilled water.
- Treat well water to make it less corrosive.
- Have a qualified plumbing contractor replace supply pipes and/or plumbing components as necessary.

[Here's a link to the EPA website regarding lead](#)

Recommendation

Contact a qualified plumbing contractor.

6.2.2 Distribution Lines

POSSIBLE LEAK

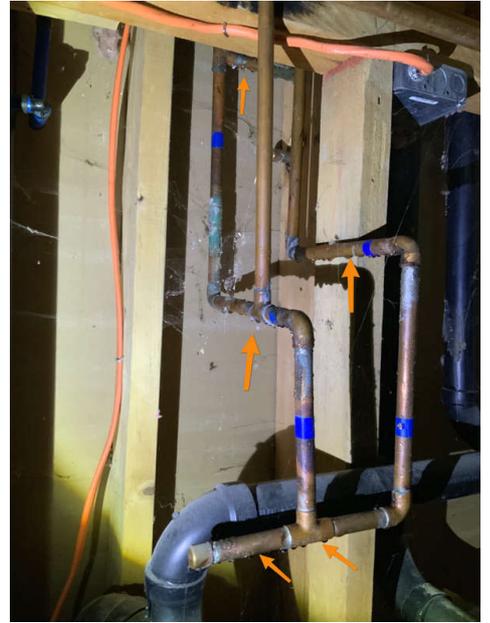
Recommendations

N CRAWLSPACE

Evidence of condensation or pipes potentially leaking in the crawlspace recommend consulting a licensed plumber for evaluation.

Recommendation

Contact a qualified plumbing contractor.



6.4.1 Water Heater **TPR TOO SHORT**

 Recommendations

The TPR (temperature-pressure relief) valve drain line was too short. This is a potential safety hazard due to the risk of scalding if someone is standing next to the water heater when the valve opens. Recommend that a qualified plumber repair per standard building practices. For example, by extending the drain line to within 6 inches of the floor for indoor hot water heaters, or within 24 inches of exterior grade for outdoor water heaters.

Recommendation
Contact a qualified plumbing contractor.



6.4.2 Water Heater **UNKNOWN AGE**

 Recommendations

The estimated useful life for most water heaters is 8 to 12 years. The inspector was unable to determine the age of the water heater due to the manufacturer's label being obscured, no serial number being visible, or the serial number not clearly indicating the age. The clients should be aware that this water heater may be near, at, or beyond its useful life and may need replacing at any time. Recommend attempting to determine the water heater's age, and budgeting for a replacement if necessary.

Recommendation
Contact a qualified plumbing contractor.



6.4.3 Water Heater

EARTHQUAKE STRAPS NEED ADJUSTMENT

Recommendations

Earthquake straps were not installed as per standard building practices recommend adjusting the earthquake straps.

Recommendation

Contact a handyman or DIY project



7.1.1 Electric Panel

DOUBLE GROUNDS

Recommendations

Grounding wires are doubled or bundled together on the grounding bus bar. This is unsafe due to one of the grounding wires could come loose from the lug allowing a circuit to become an ungrounded circuit. A qualified electrician should evaluate and repair as necessary.

Recommendation

Contact a qualified electrical contractor.



7.1.2 Electric Panel

DOUBLE TAP, NEUTRAL BAR

 Recommendations

Neutral wires were doubled or bundled together under the same lug on the neutral bus bar in panel. This is a potential safety hazard in the event that one of the circuits needs to be isolated during servicing. For one neutral to be disconnected, other neutrals from energized circuits sharing the same lug will be loosened. Power surges may result on the energized circuits and result in damage or fire. Also, multiple wires under the same lug may not be secure, resulting in loose wires, arcing, sparks and fire. Recommend that a qualified electrician repair per standard building practices.

Recommendation

Contact a qualified electrical contractor.



8.1.1 Heating Equipment

NEEDS SERVICING/CLEANING

 Recommendations

Boiler or furnace should be cleaned and serviced annually. Recommend a qualified HVAC or Heating/Mechanical contractor clean, service and certify furnace.

[Here is a resource](#) on the importance of furnace maintenance.

Recommendation

Contact a qualified heating and cooling contractor



8.1.2 Heating Equipment

FIRE CAULKING REQUIRED

 Health and Life Safety Items

Penetrations observed in the heating unit room. All penetrations must be sealed with approved fire caulking.

Recommendation

Contact a qualified professional.



8.1.3 Heating Equipment

EVIDENCE OF PAST LEAK

 Recommendations

The garage heating unit supply and return water piping is significantly corroded with evidence of past leaks. Recommend consulting a qualified mechanical contractor to repair or replace as necessary.

Recommendation

Contact a qualified heating and cooling contractor



8.1.4 Heating Equipment **CORROSION PRESENT**

 Recommendations

Corrosion was observed on one or more plumbing or heating pipes in the heating area. Recommend a qualified mechanical contractor evaluate and repair or replace as needed.

Recommendation
Contact a qualified professional.

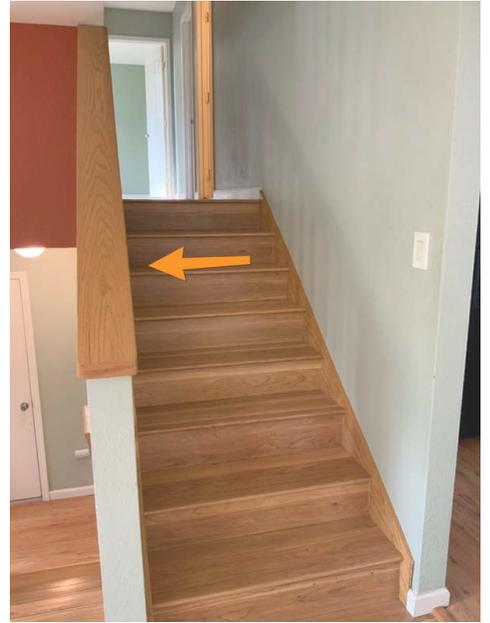


9.4.1 Steps, Stairways & Railings **HANDRAIL NOT GRASPABLE**

 Recommendations

Handrails at one or more flights of stairs were not graspable and posed a fall hazard. Handrails should be 1 1/4 - 2 inches in diameter if round, or 2 5/8 inches or less in width if flat. Recommend that a qualified person install graspable handrails or modify existing handrails per standard building practices.

Recommendation
Contact a qualified professional.



9.4.2 Steps, Stairways & Railings
NEEDS SHEETROCK UNDER STAIRS

 Health and Life Safety Items

CRAWLSPACE

One or more areas on the underside of staircases was not properly sheet rocked and fire taped. Recommend installing sheet rock drywall gypsum board and fire taping is necessary to allow for proper egress time. Repairs to be completed by a licensed contractor .

Recommendation
Contact a qualified professional.



9.5.1 Electrical
OUTLET(S) NOT GROUNDED
BEDROOM 3 E WALL

 Recommendations

One or more outlets are not grounded. Recommend a qualified electrician replace non-grounded outlets with grounded ones.



9.5.2 Electrical

HOT-NEUTRAL REVERSE

 Health and Life Safety Items

LEFT OF FIREPLACE

One or more electric receptacles had reverse-polarity wiring, where the hot and neutral wires were reversed. This is a shock hazard. Recommend that a qualified electrician repair as necessary.

Recommendation

Contact a qualified electrical contractor.



9.7.1 Windows and Door

CLOSET DOORS

 Maintenance Item

MASTER BEDROOM BEDROOM 2 BEDROOM 3

One or more closet doors are missing, damaged or need repairs. It is recommended to have the necessary repairs or replacement of the closet door (s).

Recommendation

Contact a qualified door repair/installation contractor.



9.7.2 Windows and Door

IMPROPER SILL HEIGHT

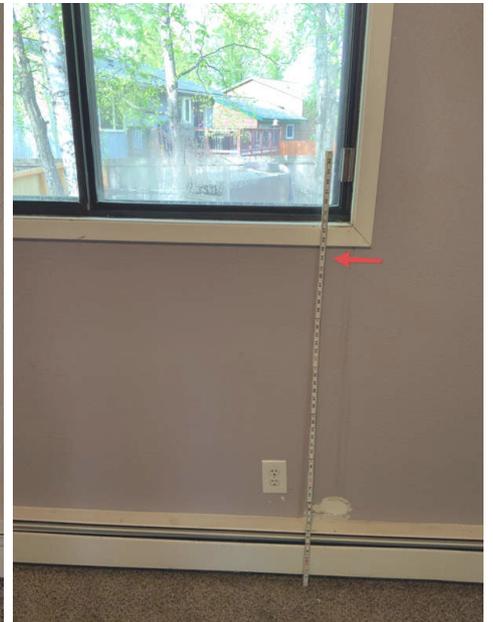
BEDROOM 2 BEDROOM 3 MASTER BEDROOM

 Health and Life Safety Items

Maximum sill height for an egress window is 44 inches from the floor. Recommend consulting with a qualified person to lower sill height or install a permanent step below egress windows.

Recommendation

Contact a qualified professional.



9.7.3 Windows and Door

WINDOW-DOUBLE PANE SEAL

BEDROOM 3 MASTER BEDROOM

 Recommendations

Seals between double-pane glass in one or more windows appear to have failed based on condensation or stains between the panes of glass. A qualified contractor should evaluate and replace glass where necessary.

The client(s) should be aware that evidence of broken seals may be more or less visible from one day to the next depending on the temperature, humidity, sunlight, etc. Windows or glass doors other than those that the inspector identified may also have failed seals and need glass replaced too.

Recommendation

Contact a qualified window repair/installation contractor.



9.7.4 Windows and Door

WINDOW HARD TO OPEN

LIVING ROOM FAMILY ROOM



One or more windows are difficult to open and close. The windows should be adjusted so that they will open and close freely all necessary repairs should be made.

Recommendation

Contact a qualified professional.



9.7.5 Windows and Door

EVIDENCE OF PAST LEAK

 Recommendations

Evidence of a past leak was observed at one or more bedroom windows. Recommend consulting a qualified window professional to ensure that the leak is remediated.

Recommendation
Contact a qualified professional.



10.2.1 Countertops-Backsplash

CAULKING

 Maintenance Item

One or more areas of the kitchen counter top(s) are recommended to be re-sealed (caulked) to keep any moisture and or water out and prevent future damage.

Recommendation
Recommended DIY Project



10.3.1 Electrical

GFCI MISSING

One or more electric receptacles at the kitchen had no visible ground fault circuit interrupter (GFCI) protection, or the inspector was unable to determine if GFCI protection was present. If not GFCI-protected, receptacles in wet areas pose a shock hazard. Recommend that a qualified electrician evaluate and install GFCI protection if necessary and per standard building practices. General guidelines for GFCI-protected receptacles include the following locations:

- Outdoors (since 1973)
- Bathrooms (since 1975)
- Garages (since 1978)
- Kitchens (since 1987)
- Crawl spaces and unfinished basements (since 1990)
- Wet bar sinks (since 1993)
- Laundry and utility sinks (since 2005)

Recommendation

Contact a qualified electrical contractor.



10.5.1 Sink

DRAIN LEAK

One or more sink drains have an active leak. For example, at pipe fittings and/or junctions between pipe and sink. A qualified plumber should evaluate and repair as necessary.

Recommendation

Contact a qualified plumbing contractor.



11.1.1 Dishwasher
AIR GAP MISSING

KITCHEN

The air gap for a dishwasher prevents water in the sink drain from backing up into the dishwasher and potentially contaminating the dishes. Recommend a qualified professional install an air gap for the dishwasher.

Recommendation
Contact a qualified professional.



Recommendations



11.1.2 Dishwasher
DISHWASHER BRACKET

The bracket that attaches the dishwasher to the underside of the countertop is loose, missing or installed in a substandard way. Repairs should be made as necessary, such as installing or reinstalling the bracket, and by a qualified contractor if necessary.

Recommendation
Contact a qualified appliance repair professional.



Recommendations



11.5.1 Hood/Vent

LIGHT INOPERABLE

 Recommendations

The light in range hood is inoperable. Recommend replacing light bulb(s) or having repairs made by a qualified contractor as necessary.

Recommendation

Recommended DIY Project



12.2.1 Bathub

CAULK AT FLOOR

 Maintenance Item

MASTER BATH

Caulk is missing or deteriorated along the base of one or more bathtubs, where flooring meets the tub. It should be replaced where deteriorated and/or applied where missing to prevent water intrusion and damage to the floor structure.

Recommendation

Recommended DIY Project



12.2.2 Bathub

CAULK AT SPOUT

 Maintenance Item

MASTER BATH

Caulk is missing or deteriorated around the base of the bathtub spout. It should be replaced where deteriorated and/or applied where missing to prevent water intrusion and damage to wall structures.

Recommendation

Recommended DIY Project



12.2.3 Bathub

JETTED TUB NEED CLEANING

 Recommendations

There was debris coming from the jets at the jetted tub. This is normally from not being used for an extended period of time. A cleaner should be ran through the tubs jets to clean.

Recommendation

Recommended DIY Project



12.2.4 Bathub

CONTROLS DETACHED

 Maintenance Item

The controls for the jetted tub controls have been detached recommend re-fixing the controls as intended.

Recommendation

Contact a qualified professional.



12.3.1 Shower

CAULK AT FLOOR

 Maintenance Item

Caulk is missing or deteriorated along the base of the shower, where flooring meets the shower. It should be replaced where deteriorated and/or applied where missing to prevent water intrusion and damage to the floor structure.

Recommendation
Recommended DIY Project



12.4.1 Sink/Countertop

BACKSPLASH SEALANT

 Maintenance Item

Caulk is missing and/or deteriorated where counter tops meet back splashes in wet areas, such as around sinks. Caulk should be replaced where deteriorated and/or applied where missing to prevent water damage.

Recommendation
Recommended DIY Project



12.4.2 Sink/Countertop
REVERSED PLUMBED

MASTER BATH

One or more bathroom faucets appear to be reversed plumbed. The cold water comes on in the hot water position and the hot water comes on in the cold position. A certified plumbing contractor should evaluate the fixture and make the necessary repairs.

Recommendation

Contact a qualified plumbing contractor.



12.4.3 Sink/Countertop
AERATOR MISSING



The aerator for the bathroom sink is missing and recommend replacing to prevent splattering.

Recommendation

Recommended DIY Project



12.5.1 Toilets

NO OR BAD CAULK BASE



BATHROOM

Caulk around the base of the toilet was missing, substandard and/or deteriorated. Modern standards require caulk to be installed around the entire toilet base where it meets the floor for sanitary reasons. Without it, soiled water can soak into flooring and sub-floor materials if the toilet overflows. Condensation from the toilet can also soak into the flooring. Recommend that a qualified person caulk around toilet bases per standard building practices.

Recommendation

Recommended DIY Project



12.5.2 Toilets

RUNS



MASTER BATH

The toilet "run" after being flushed, where water leaks from the tank into the bowl. Significant amounts of water can be lost through such leaks. A qualified plumber should evaluate and repair or replace components as necessary.

Recommendation

Contact a qualified plumbing contractor.



12.6.1 Cabinets

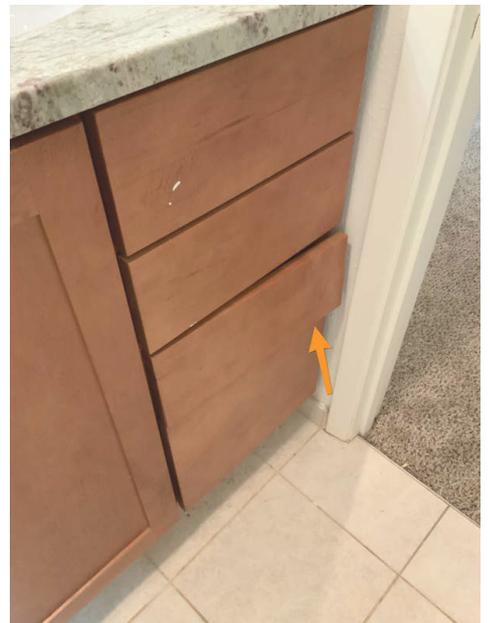
CABINET DOOR ADJUSTMENT

MASTER BATH

One or more bathroom cabinet doors and or drawers are in need of adjustment.

Recommendation

Contact a qualified professional.



12.10.1 Ceiling

MINOR CRACKING OBSERVED

Cracking in the paint above the shower has deteriorated recommend repainting need to prevent moisture intrusion.

Recommendation

Contact a qualified professional.





13.1.1 General

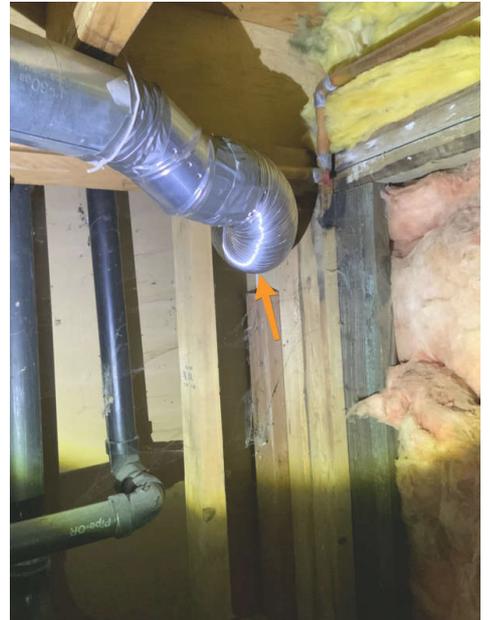
FLEX DRYER DUCT

N CRAWLSPACE

Dryer duct should be smooth wall solid steel ducting. Recommend repair or replacing to current building standards .

Recommendation

Contact a qualified professional.



14.4.1 Electrical

MISSING BULB

Recommend replacing the bulb in the attic.

Recommendation

Recommended DIY Project





14.4.2 Electrical
SAFETY CAGE NEEDED

A safety cage is needed for the light fixtures in the attic.

Recommendation
Recommended DIY Project



14.4.3 Electrical
FIXTURE INOPERABLE



The bulb was inoperable at one or more fixtures in the attic.
Recommend replacing the bulb(s).

Recommendation
Recommended DIY Project



14.6.1 Ventilation

EXHAUST TERMINATE IN ATTIC

Recommendations

One or more exhaust fan ducts terminate in attic do to a roof or side vent has never been installed through the roof or exterior wall surfaces. This is a conducive condition for wood destroying insects and organisms due to increased moisture levels in the attic from the exhaust air. A qualified contractor should evaluate and install vent caps where missing and as per standard building practices, so all exhaust air is vented outside.

Recommendation

Contact a qualified HVAC professional.



14.6.2 Ventilation

EXHAUST FLEX DUCTING

Recommendations

Recommend replacing the existing attic exhaust vents with smooth wall solid ducting and replacing the existing flexible ducting.

Recommendation

Contact a qualified professional.



14.6.3 Ventilation

GABLE/RIDGE/SOFFIT VENTS CLOGGED

 Recommendations

One or more gable/ridge/soffit vents in the attic were clogged with insulation material. Recommend cleaning or adjusting to allow adequate air flow and ventilation through the attic.

Recommendation

Contact a qualified professional.



15.1.1 General

PEST EVIDENCE

 Recommendations

Evidence of rodent infestation was found in the form of *feces / urine stains / traps / poison / dead rodents / damaged insulation* in the *attic / crawl space / basement / garage / interior rooms*. Consult with the property owner about this. A qualified person should make repairs to seal openings in the structure, set traps, and clean rodent waste as necessary.

Recommendation
Contact a qualified professional.



15.2.1 Foundation, Basement & Crawlspace

EFFLORESCENCE

 Recommendations

Efflorescence noted on the crawlspace surface. This is a white, powdery deposit that is consistent with moisture intrusion. This can compromise the soil's ability to support the home structure and/or lead to mold growth. Recommend a qualified contractor identify source or moisture and correct.



15.4.1 Vapor Retarder (Barrier)

IMPROPER INSTALLATION

 Recommendations

Vapor barrier is improperly installed. This can result in unwanted moisture. Recommend insulation contractor evaluate and repair/replace as needed.



16.1.1 Fireplaces, Stoves & Inserts

REPLACE GAS LINE

 Recommendations

Recommend replacing the gas line for the installed fireplace.

Recommendation

Contact a qualified professional.

