



Below is a summary of all deficiencies found at the property. Estimated costs are added as a courtesy and must be verified by a licensed contractor in their respectable trade.

2.1.1 Coverings

REPLACEMENT RECOMMENDED



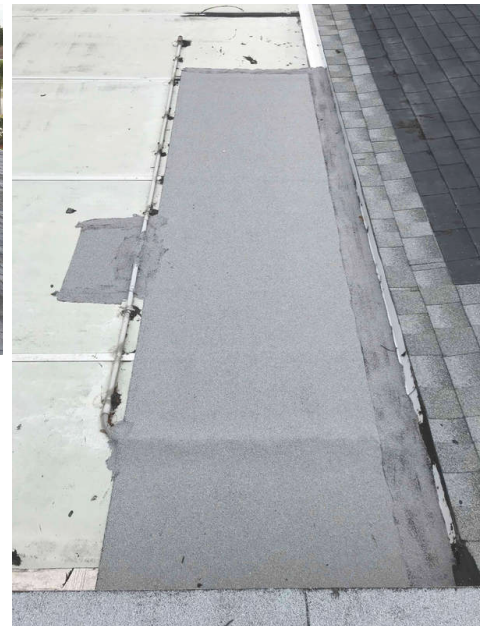
Roof is damaged and deteriorated; replacement recommended. Roof is 24 years old, shingles are deteriorating, leaks observed, improper patching, and flat roof seems to have been replaced without a permit.

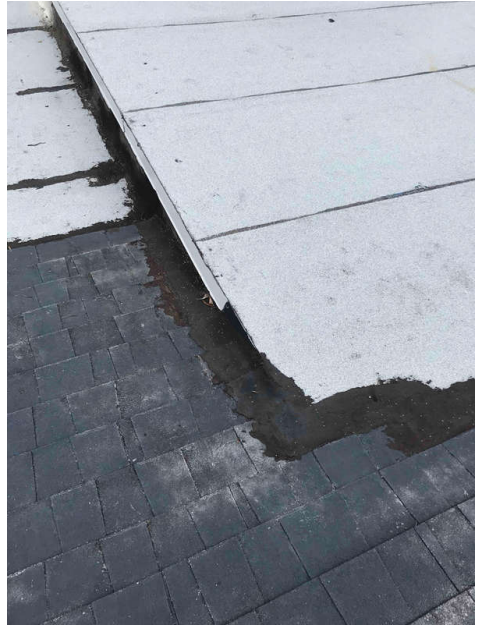
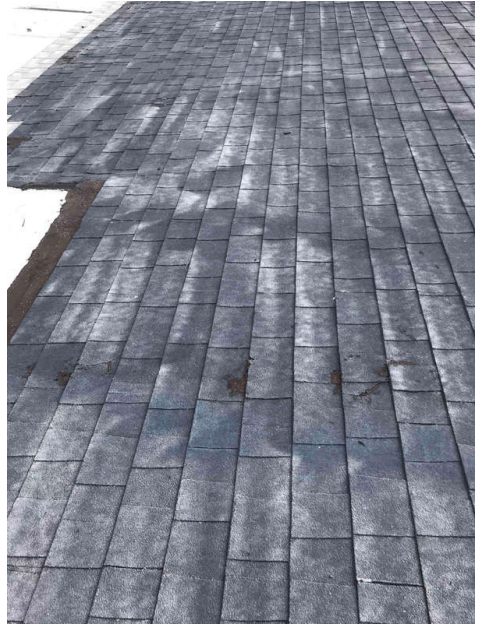
Recommendation

Contact a qualified roofing professional.

Estimated Cost

\$10,000





2.5.1 Eaves, Soffits & Fascia

EAVES - DAMAGED

 Recommendation

One or more sections of the eaves are damaged. Recommend qualified roofer evaluate & repair.

Recommendation

Contact a qualified general contractor.



2.5.2 Eaves, Soffits & Fascia

FASCIA - DAMAGED

 Recommendation

One or more sections of the fascia are damaged. Recommend qualified roofer evaluate & repair.

Recommendation

Contact a qualified general contractor.

Estimated Cost

\$400 - \$900



3.2.1 Siding, Flashing & Trim

CRACKING - MINOR

 Recommendation

Siding showed cracking in one or more places. This is a result of temperature changes, and typical as homes with stucco age.

Recommend monitoring.

Recommendation

Contact a qualified general contractor.



3.4.1 Decks, Balconies, Porches & Steps

SCREEN ENCLOSURE

Screen enclosure is damaged; repairs/replacement recommended.

Recommendation

Contact a qualified professional.

Estimated Cost

\$10 - \$200



4.4.1 Wall Structure

IMPROPER CONSTRUCTION

Exterior door on right elevation was closed using wood frame and not concrete. Also, patchwork observed was sub-par.

Recommendation

Contact a qualified general contractor.





4.5.1 Wood Destroying Organisms

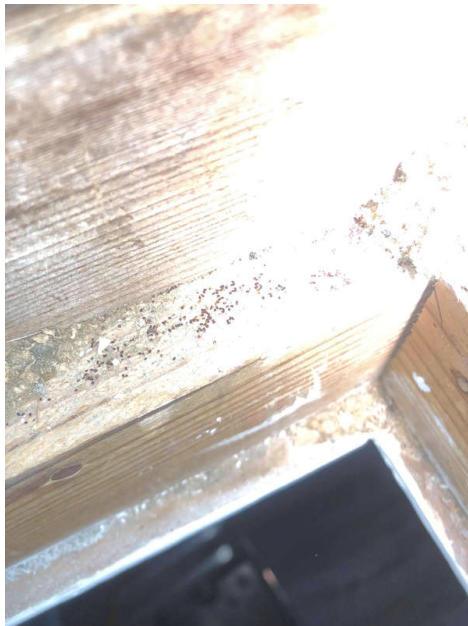
VISIBLE EVIDENCE

 Recommendation

Wood destroying organisms evidence observed at the property. Treatment is recommended.

Recommendation

Contact a qualified pest control specialist.



6.1.1 Cooling Equipment

INSULATION MISSING OR DAMAGED

 Recommendation

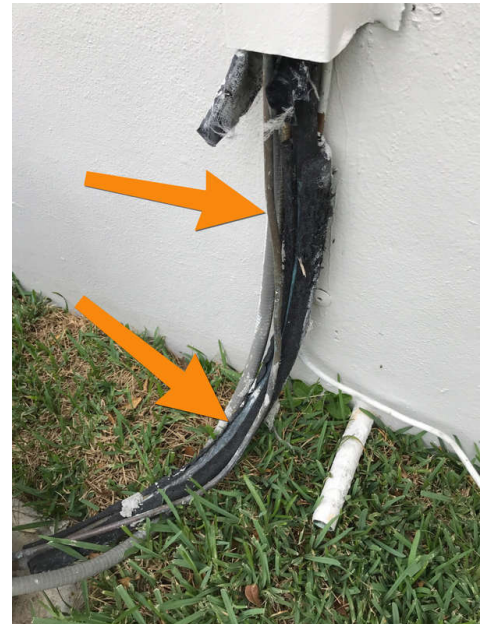
Missing or damaged insulation on refrigerant line can cause energy loss and condensation.

Recommendation

Contact a qualified heating and cooling contractor

Estimated Cost

\$10 - \$200



6.1.2 Cooling Equipment

UNIT PAST LIFE EXPECTANCY; REPLACEMENT ANTICIPATED

 Recommendation

Unit has exceeded it's life expectancy and replacement should be anticipated.

Recommendation

Contact a qualified heating and cooling contractor

Estimated Cost

\$2,000 - \$2,500



7.2.1 Drain, Waste, & Vent Systems

REPLACEMENT RECOMMENDED

 Recommendation

Upon using sewer camera to inspect drain lines, the inspector observed damaged pipes; replacement recommended. Please see video attached separately to this report.

Recommendation

Contact a qualified plumbing contractor.

7.3.1 Water Supply, Distribution Systems & Fixtures

IMPROPER INSTALLATION

 Recommendation

Distribution pipes were installed in a sub-standard way. Recommend a qualified plumber evaluate and properly fit and install pipes.

Recommendation

Contact a qualified plumbing contractor.

Estimated Cost

\$400 - \$800



7.3.2 Water Supply, Distribution Systems & Fixtures

POOR WATER PRESSURE

 Recommendation

Property has poor water pressure. A licensed plumber is recommended for further evaluation.

Recommendation

Contact a qualified plumbing contractor.



7.3.3 Water Supply, Distribution Systems & Fixtures

NO WATER PRESSURE

 Recommendation

Faucet located on front elevation has no water pressure.

Recommendation
Contact a qualified plumbing contractor.



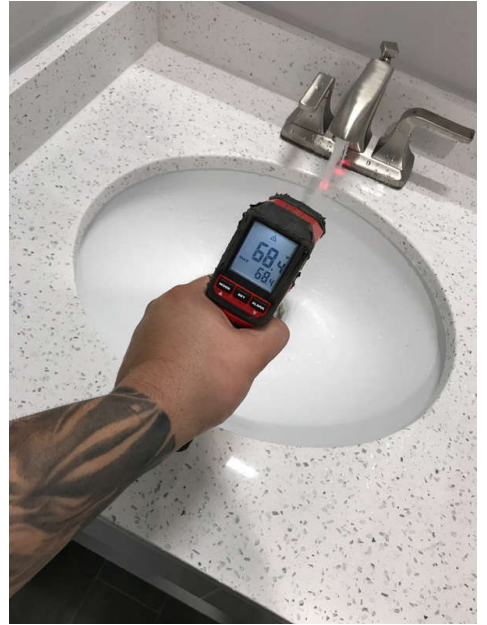
7.4.1 Hot Water Systems, Controls, Flues & Vents

 Recommendation

NO HOT WATER

There was no hot water at the time of inspection. Water heater must be evaluated by a licensed plumber.

Recommendation
Contact a qualified plumbing contractor.



8.3.1 Branch Wiring Circuits, Breakers & Fuses

IMPROPER WIRING

 Recommendation

Wires not installed up to code. A licensed electrician needs to be hired in order to make proper repairs.

Recommendation

Contact a qualified electrical contractor.

Estimated Cost

\$100 - \$200



8.6.1 Smoke Detectors

NOT PRESENT

 Recommendation

Smoke detectors are not present.

Recommendation

Contact a qualified fire suppression contractor.

Estimated Cost

\$10 - \$200



10.5.1 Ceilings

RECENT ROOF LEAK DAMAGE

 Recommendation

Stains on the ceiling appear to be the result of roof leaks. The source of leakage should be identified and corrected, and the ceiling re-painted.

Recommendation

Contact a qualified roofing professional.



12.6.1 Dryer

VENT IS DAMAGED

 Recommendation

Observed damaged dryer vent. Dryer must properly vent in order to avoid a fire.

Recommendation

Contact a qualified appliance repair professional.

Estimated Cost

\$10 - \$100



16.1.1 Installed Equipment
IMPROPER ELECTRICAL CONNECTIONS

 Recommendation

Pool equipment electrical connections are not up to code and must be brought up to standard.

Recommendation
Contact a qualified professional.
Estimated Cost
\$100 - \$200



16.1.2 Installed Equipment
NOT BONDED

 Safety Hazard

Pool is not bonded.

Recommendation
Contact a qualified Swimming Pool Contractor



16.1.3 Installed Equipment
DAMAGED TIMER

 Recommendation

Pool equipment timer box is damaged and replacement is recommended.

Recommendation
Contact a qualified electrical contractor.
Estimated Cost
\$100 - \$200

