

Disclaimer:

- Be advised that this inspection is confined to visual and accessible areas only. Inspectors shall not inspect any area of the property considered dangerous or hazardous to their safety and health. The purpose of the inspection is to give the client an overview of the general condition of various systems in the property, both structurally and component-wise.
- Be advised that inspectors are not engineers and can only render a visual report on the functional conditions of the structure and components at time of inspection. The inspectors do not note cosmetic or aesthetic conditions. Be advised that warranties and guarantees are not given on any inspected components. The inspector's report is limited to the day and time of inspection and cannot be liable for future unforeseen malfunctions of any components.
- Some inspection components may or may not be covered by your Real Estate Contract. Consult your Realtor or attorney regarding your contractual conditions. Although some safety issues may be addressed in this inspection, this inspection is not a safety or code inspection. This inspection may not reveal all deficiencies but is intended to help reduce some of the risk involved in purchasing a property.
- The client has employed this inspection company to perform a visual inspection of all accessible areas and components at the time of inspection. The client was present, or had the opportunity to be present, and accompanied the inspector during the inspection and does not hold the inspection company and/or inspector liable for future malfunctions or replacements needed of structural systems or components of the property inspected.

Note: It is advisable for buyer to request a few water bill statements from seller to verify the amount of water consumption to determine if there's any water line leaks.

This inspection is confined to visual and accessible areas only. If mold is found during this inspection a mold remediation company should be called to perform an evaluation. To determine if there is mold within inside the wall cavities, an air quality test needs to be done by a mold remediation company.

2.1.1 Roof coverings

ROOF COVERING DEFICIENCY

UPPER REAR SIDE OF THE ROOF

The asphalt tiles are raised over the boot.

The tiles should be laid flat to prevent moisture intrusion.

Recommendation

Contact your builder



2.1.2 Roof coverings

ROOF COVERING DEFICIENCY

LEFT SIDE OF THE ROOF

Roof coverings showed a damaged asphalt shingle .

Recommendation

Contact your builder



3.3.1 Trim

TRIM DEFICIENCY

GARAGE DOOR

Trim is not complete around the garage door

Recommendation

Contact your builder



3.4.1 Siding

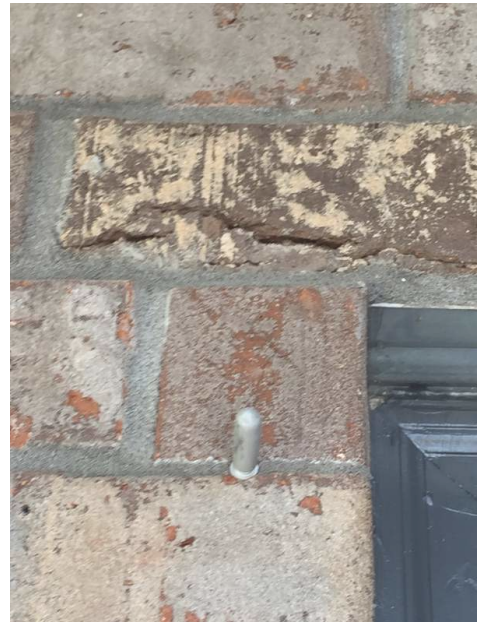
SIDING DEFICIENCY

ABOVE THE MAIN ENTRANCE DOOR

Cracked brick

Recommendation

Contact your builder



10.3.1 Floors

FLOOR DEFICIENCY

2ND FLOOR OUTSIDE COMMON BATHROOM

Stained carpet

Recommendation

Contact your builder



10.5.1 Electrical Receptacles / Lights / Misc

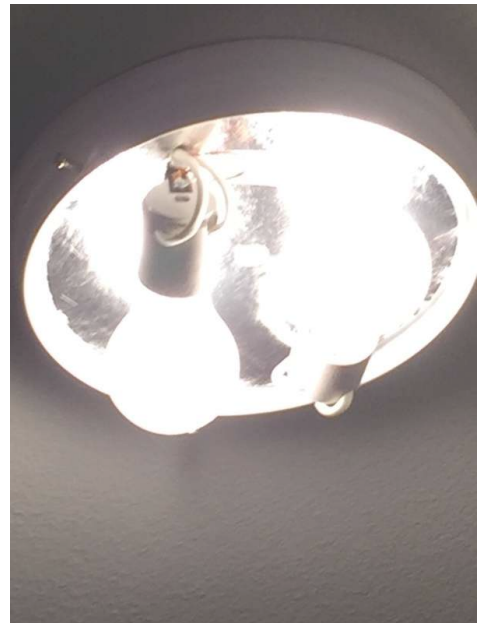
ELECTRICAL RECEPTACLE/ CEILING FIXTURE / SWITCHES

2ND FLOOR A/C CLOSET

Light missing cover

Recommendation

Contact your builder



10.5.2 Electrical Receptacles / Lights / Misc

ELECTRICAL RECEPTACLE/ CEILING FIXTURE / SWITCHES

UNDER THE KITCHEN SINK

Exposed wires

Recommendation

Contact your builder



11.1.1 Sinks, tubs, showers, toilets

SINKS, TUBS AND SHOWER DEFICIENCY

UPDTAIRS COMMON AREA BATHROOM

Faucet leaking under the sink

Recommendation

Contact your builder



11.1.2 Sinks, tubs, showers, toilets

SINKS, TUBS AND SHOWER DEFICIENCY

2ND FLOOR NORTH BATHROOM

No water from hot or cold side

Recommendation

Contact your builder

