



2.2.1 B. Grading and Drainage

SOIL ELEVATIONS:

Recommendation

Deficient: Soil elevations are too high on right side of garage. Industry standards call for a minimum of 4-6' inches of the foundation be visible on all elevations.

Recommendation
Contact a qualified landscaping contractor



Should be 4-6' inches of foundation visible.

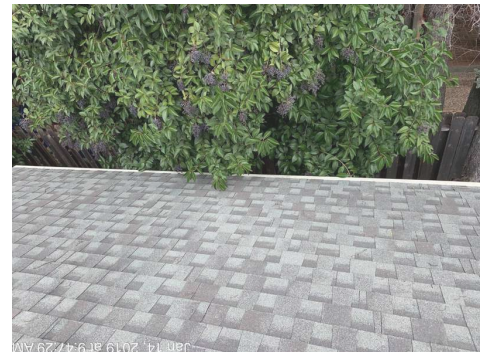
2.3.1 C. Roof Covering Materials

TREE LIMBS:

Recommendation

Deficient: All tree limbs should be cut back away from roof covering a minimum of three feet to prevent damage from occurring during storm events.

Recommendation
Contact a qualified tree service company.



Cut tree limbs back a minimum of three feet from roof covering.

2.4.1 D. Roof Structure & Attic

ATTIC ACCESS: NOT-INSULATED

Recommendation

Deficient: Attic access is not insulated and is allowing conditioned air to escape into attic space resulting in higher utility expenses. Recommend having a handyman insulate and seal access opening.

Recommendation
Contact a qualified handyman.

2.4.2 D. Roof Structure & Attic

ATTIC INSULATION- MISSING

Recommendation

Deficient: Attic insulation is missing in several locations. Have a insulation specialist provide needed repairs.

Recommendation
Contact a qualified insulation contractor.



Missing attic insulation.

2.4.3 D. Roof Structure & Attic **INCOMPLETE DRAFT STOP**

 Recommendation

Deficient: Party wall in between units in attic space is required to be sealed to prevent fire from easily moving from one unit to the next. Pipe penetrations and incomplete sheet-rock was observed. Have a drywall specialist perform needed repairs.

Recommendation
Contact a qualified drywall contractor.



Opening in draft stop

2.5.1 E. Walls (Interior and Exterior) **CRACKS - MINOR**

 Recommendation

Minor cracking was observed in wall structure. This is common in homes this age. Recommend monitoring.

Recommendation
Recommended DIY Project



Minor cracking in brick veneer. Recommend monitoring to determine if any additional movement is occurring.

2.5.2 E. Walls (Interior and Exterior)

EXTERIOR OPENINGS:



Deficient: Seal all dissimilar materials such as wood to brick and light fixtures to brick to prevent water penetration.

Recommend using urethane based sealant such as NP-1. here is a link:

<https://www.master-builders-solutions.basf.us/en-us/products/sealants-caulks/masterseal-np-1>

Recommendation

Contact a qualified painter.



Seal to prevent water intrusion.



Seal to prevent water intrusion.

2.5.3 E. Walls (Interior and Exterior)

ROTTED WOOD:

 Recommendation

Deficient: Rotted wood was observed at the base board in the hallway bathroom. Have a carpentry specialist perform needed repairs.

Recommendation
Contact a qualified carpenter.



Rotted wood.



Rotted wood.

2.5.4 E. Walls (Interior and Exterior)

SUPPORT BEAM FOR PATIO:

 Recommendation

Deficient: First support beam for patio is showing evidence of rot and deterioration. Recommend installing post base to prevent additional damage. Have a carpentry specialist inspect all support beams and perform needed repairs.

Recommendation
Contact a qualified carpenter.



2.5.5 E. Walls (Interior and Exterior)

BRICK COLUMN AT ENTRY NOT SEALED

 Recommendation

Deficient: Brick column at front entry does not have a cap on the top to prevent moisture entry. Have a carpentry provide needed repairs.

Recommendation
Contact a qualified carpenter.



No cap for brick column.

2.7.1 G. Doors (Interior and Exterior)

DOOR INTO GARAGE

 Recommendation

Deficient: Door into garage is part of a fire rated assembly that requires a solid core fire rated door to be installed with weatherstripping on all sides. It is recommended that door have self-closing hinges installed to complete the fire rating.

Recommendation
Contact a qualified carpenter.

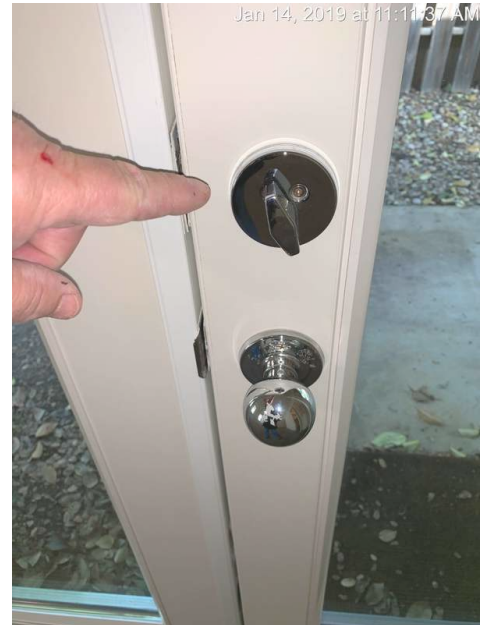
2.7.2 G. Doors (Interior and Exterior)

DOOR LOCKS:

 Recommendation

Deficient: **Deadbolt on exterior double door is not performing and will need to be replaced. have a handyman perform needed repairs.**

Recommendation
Contact a qualified handyman.



2.7.3 G. Doors (Interior and Exterior)

MISSING DOOR STOPS:

 Recommendation

Deficient: **Several doors are missing door stops. These are important to protect your wall finishes from damage from the door hardware. Have a handyman provide needed repairs.**

Recommendation
Contact a handyman or DIY project

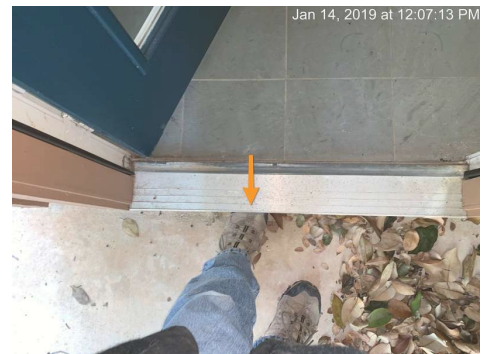
2.7.4 G. Doors (Interior and Exterior)

TRIP HAZARD

 Recommendation

Deficient: **Overhang on back entry door is a trip hazard . Have builder provide needed repairs.**

Recommendation
Contact your builder.



Threshold overhang is a trip hazard.

2.8.1 H. Windows

FAILED SEAL

 Recommendation

Deficient: **Observed condensation between the window panes on the master bathroom window which indicates a possible failed seal. Recommend qualified window contractor evaluate & replace.**

Recommendation
Contact a qualified window repair/installation contractor.

SAFETY GLASS NOT IN PLACE



Deficient: Window above master bedroom tub is required to be tempered safety glass . Have a glass specialist perform needed repairs.

Recommendation
Contact a qualified window repair/installation contractor.

WINDOW ISSUES:



Deficient: The following issues were discovered concerning windows:

1.) Back corner window in master bedroom is not opening.

Note: Several windows have "storm windows," this is a second window installed over the original window.

Recommendation
Contact a qualified window repair/installation contractor.



PANEL NOT LABELED:



Deficient: Sub-panel circuits are not labeled as required. All circuits are required to be properly labeled indicating what area the circuit is servicing. Recommend having a licensed electrician perform needed repairs.

Recommendation
Contact a qualified electrical contractor.



SUB-PANEL ISSUES: SHARP SCREWS USED



Deficient: Sub-panel front has been installed with sharp pointed screws. This is prohibited, sharp screws could pierce a wire and cause a shock and possible fire. Have an electrical specialist perform needed repairs.

Recommendation

Contact a qualified electrical contractor.



Sharp screws used to install panel cover.

3.2.1 B. Branch Circuits, Connected Devices, and Fixtures

 Safety Hazard

CARBON MONOXIDE DETECTOR MISSING

Deficient: Carbon monoxide detector is not present at time of inspection. Recommend installation one near kitchen before closing.

Recommendation

Contact a qualified electrical contractor.



3.2.2 B. Branch Circuits, Connected Devices, and Fixtures

 Safety Hazard

CARBON MONOXIDE DETECTORS REQUIRED

Deficient: All smoke detectors must now be a combination smoke/carbon monoxide detector. Please have an electrical specialist replace all existing units to meet current requirements.

Recommendation

Contact a qualified electrical contractor.



3.2.3 B. Branch Circuits, Connected Devices, and Fixtures

Recommendation

LIGHT FIXTURE MISSING

Deficient: Light fixture is missing in dining room leaving exposed wiring. Have an electrical specialist perform needed repairs.

Recommendation

Contact a qualified electrical contractor.



Fixture missing leaving exposed wiring.

3.2.4 B. Branch Circuits, Connected Devices, and Fixtures

Recommendation

OVERHEATED RECEPTACLE

Deficient: One receptacle located in master bedroom appears to have overheated. Have an electrician provide needed repairs.

Recommendation

Contact a qualified electrical contractor.



Overheated Receptacle.

3.2.5 B. Branch Circuits, Connected Devices, and Fixtures

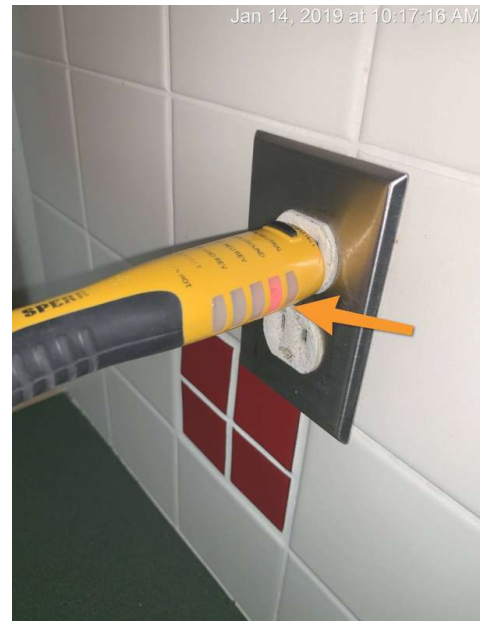
Recommendation

RECEPTACLE ISSUES:

Deficient: Wall receptacles in master bedroom and one receptacle in kitchen are showing "open ground" when tested. Have a licensed electrician perform needed repairs.

Recommendation

Contact a qualified electrical contractor.



Receptacle showing "open ground"

RECESS LIGHTING ABOVE TUB/SHOWER NOT RATED

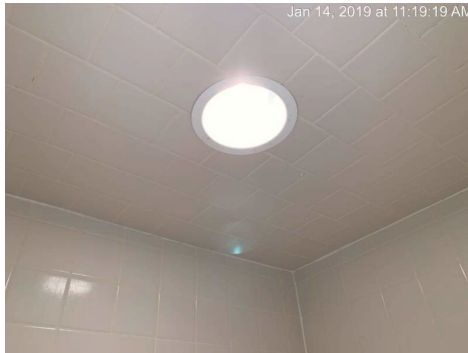
Deficient: Recess lighting above tub/shower are not rated for use in a wet location . Have an electrician provide needed repairs.

Recommendation

Contact a qualified electrical contractor.



Recess lighting not rated for use in a wet location.



Recess lighting not rated for use in a wet location.

OVERFLOW HVAC PAN:

 Recommendation

Deficient: Overflow pan located below attic condenser unit has trash, debris, and loose insulation in the pan. This can cause the overflow drain line to clog resulting in water damage to interior finishes. Recommend having a handyman provide needed repairs.

Recommendation

Contact a handyman or DIY project



Debris in condensate pan should be cleaned.

BATHROOM FIXTURES LOOSE

 Recommendation

Deficient: Several towel bars, toilet paper holders, and towel bars are not properly secured. Have a handyman provide needed repairs.

Recommendation

Contact a qualified handyman.



5.1.2 A. Plumbing Supply, Distribution Systems, and Fixtures
EXTERIOR FAUCET LACKS ANTI-SIPHON DEVICE

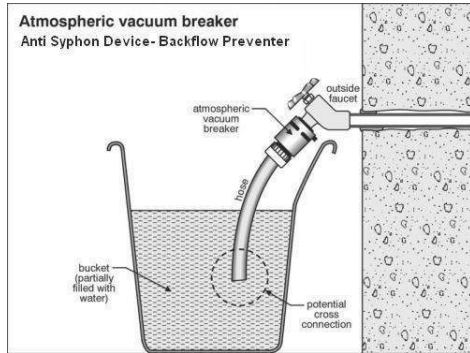
Recommendation

Deficient: All exterior faucets are required to have an anti-siphon device installed . Have a handyman provide needed repairs.

Recommendation
Contact a qualified handyman.



Jan 14, 2019 at 9:42:08 AM



No anti-siphon device in place as required.

5.1.3 A. Plumbing Supply, Distribution Systems, and Fixtures

Recommendation

KITCHEN BACK SPLASH NOT SEALED:

Deficient: Kitchen back-splash will need to be sealed to prevent water intrusion into area behind counters. Moisture in this area could develop into mildew or mold. have a handyman perform needed repairs.

Recommendation
Contact a qualified handyman.



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Seal kitchen back splash to prevent moisture intrusion.

5.1.4 A. Plumbing Supply, Distribution Systems, and Fixtures
SHOWER BENCH

Recommendation

Deficient: Shower bench in master bathroom needs to be sealed along the back side with approved sealant. Have a handyman provide needed repairs.

Recommendation
Contact a qualified handyman.



Seal master bathroom bench.



Seal master bathroom bench.

5.1.5 A. Plumbing Supply, Distribution Systems, and Fixtures

SINK STOPPERS NOT FUNCTIONING:

 Recommendation

Deficient: Sink stopper in master bathroom left side sink is not functioning as required. Recommend having a plumbing specialist perform needed repairs.

Recommendation
Contact a qualified plumbing contractor.

5.2.1 B. Drains, Wastes, & Vents

LEAKING DRAIN:

 Recommendation

Deficient: Drain line under hallway bathroom sink and bar sink is leaking. Recommend a plumbing specialist perform needed repairs.

Recommendation
Contact a qualified plumbing contractor.



Bar sink leaking.

5.3.1 C. Water Heating Equipment

WATER HEATER DRAIN LINE TERMINATIONS

 Recommendation

Deficient: Termination points for water heater drain lines could not be verified . Have a plumber or a handyman provide needed information.

Recommendation
Contact a qualified handyman.

6.2.1 B. Food Waste Disposers

INOPERABLE

 Recommendation

Deficient: Garbage disposal was inoperable at the time of inspection. Recommend qualified plumber repair.

Recommendation

Contact a qualified plumbing contractor.



6.3.1 C. Range Hood and Exhaust Systems

TERMINATION POINT FOR STOVE TOP VENT COULD NOT BE DETERMINED

 Recommendation

Deficient: Termination point for stove top vent could not be determined . Have handyman provide needed information.

Recommendation

Contact a qualified handyman.

6.6.1 F. Mechanical Exhaust Vents and Bathroom Heaters

IMPROPER VENTING

 Recommendation

Deficient: Improper venting practices were noted, bathroom exhaust fans are terminating into attic space. Exhaust fans are required to terminate to the exterior of the home. Recommend a qualified plumber evaluate and remedy.

Recommendation

Contact a qualified plumbing contractor.

6.7.1 G. Garage Door Operators

AUTO REVERSE SENSOR NOT WORKING

 Safety Hazard

Deficient: The emergency auto reverse sensor was not responding at time of inspection. This is a safety hazard to children and pets. Recommend a qualified garage door contractor evaluate and repair/replace.

Recommendation

Contact a qualified garage door contractor.

6.7.2 G. Garage Door Operators

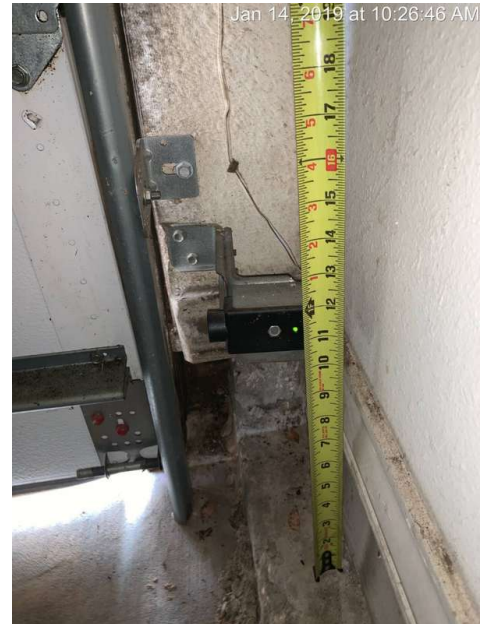
FLOOR SENSORS MORE THAN SIX INCHES FROM FLOOR

 Safety Hazard

Deficient: Floor sensors are at 11" inches and are required to be installed at six inches from the floor. Have a garage door specialist perform needed repairs.

Recommendation

Contact a qualified garage door contractor.



Garage door sensors are installed higher than six inches.

6.8.1 H. Dryer Exhaust Systems

DRYER VENT FLAPPER NOT CLOSING

 Recommendation

Deficient: Flapper not closing on dryer vent. Recommend having a handyman replace.

Recommendation
Contact a qualified handyman.



Flapper on dryer vent not closing. Recommend replacement.