




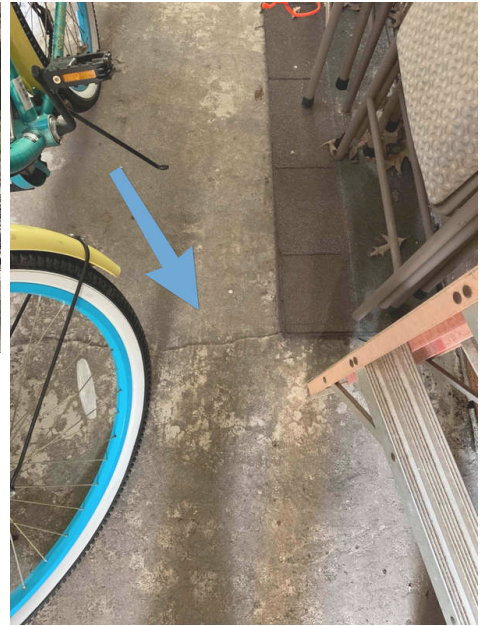
2.1.1 Driveway, Sidewalk, Patio

DRIVEWAY, SIDEWALK, PATIO CRACKING

 Maintenance/ Monitor/ Minor Items

One or more cracks observed, which may indicate movement in the soil (settlement) or expansion/contraction of the material. Recommend monitoring and/or have concrete contractor patch and seal.

Recommendation
Contact a qualified concrete contractor.



2.1.2 Driveway, Sidewalk, Patio

 Maintenance/ Monitor/ Minor Items

SUPPORT LOOSE AT BOTTOM

Front porch decorative support post is loose at the bottom and unattached from its bracket. Recommend a qualified professional reattached properly.

Recommendation
Contact a qualified professional.



2.3.1 Eaves, Soffits, Fascia

FASCIA - DAMAGED



Maintenance/ Monitor/ Minor Items

Minor fascia damage observed. No signs of wood rot currently however the damaged end is exposed to potential water intrusion. Recommend qualified professional repair or replace.

Recommendation

Contact a qualified professional.



Right side of home

2.5.1 Hose Bibs

RECOMMEND ANTI-SIPHON VALVE BE INSTALLED



Maintenance/ Monitor/ Minor Items

Anti-siphon valves allow water to only flow in one direction. For irrigation purposes, it prevents water from the system from being siphoned back into the water supply line. Essentially, it stops unsafe water from entering a clean water supply such as the water that comes from your faucets or shower heads. Recommend installing an anti-siphon valve.

Recommendation

Contact a handyman or DIY project



2.6.1 Vegetation, Grading, Drainage

TREE OVERHANG



Maintenance/ Monitor/ Minor Items

Trees observed overhanging the roof. This can cause damage to the roof and prevent proper drainage. Recommend a qualified tree service trim to allow for proper drainage.

Recommendation

Contact a qualified tree service company.



3.1.1 Roofing Material

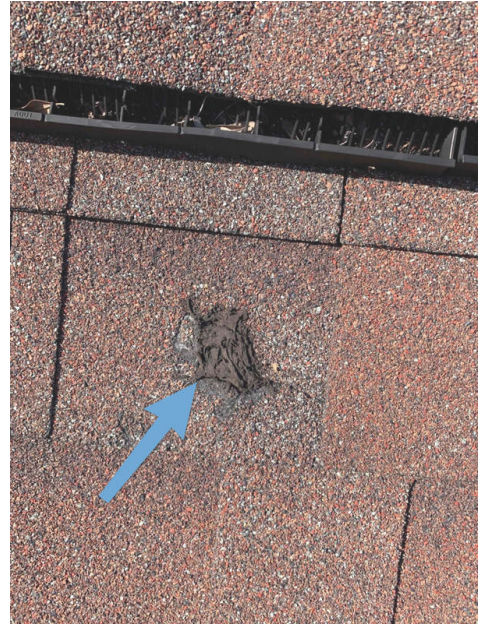
DAMAGED SHINGLE/ PREVIOUS REPAIR



Maintenance/ Monitor/ Minor Items

Damaged shingle was previous repaired with sealant. Recommend monitoring for potential future issues as the sealant deteriorated from UV exposure.

Recommendation
Recommend monitoring.



Back side of roof

3.3.1 Flashings

DRIP EDGE LOOSE



Maintenance/ Monitor/ Minor Items

Drip edge on the front of the house is significantly bent up. Recommend resealing properly to help prevent possible unwanted pest from entering or losing the drip edge to high winds.

Recommendation
Contact a qualified professional.



Front side of home

3.4.1 Vents, Other Roof Protrusions

POSSIBLE WATER INTRUSION POINT



Maintenance/ Monitor/ Minor Items

Possible water intrusion point where nail heads are exposed. Recommend sealing properly to prevent possible water intrusion and evaluate the other visible sealant and repair as needed.

Recommendation
Contact a qualified professional.



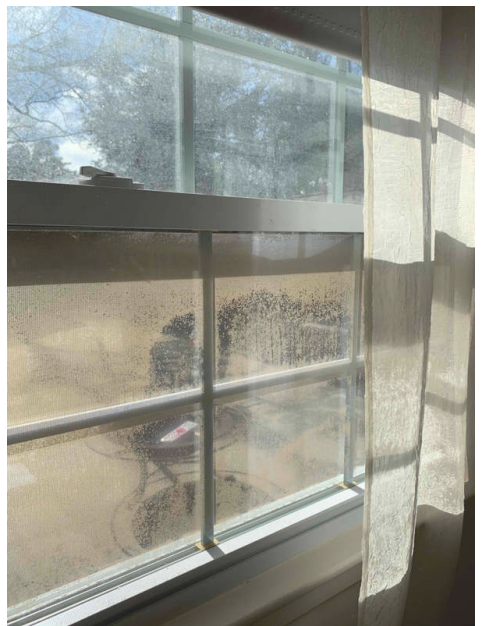
5.2.1 Windows
FAILED SEAL

 Moderate Deficiency

Observed evidence of condensation between the window panes, which indicates a failed seal. Recommend qualified window contractor evaluate & replace.

Recommendation

Contact a qualified window repair/installation contractor.



5.4.1 Ceiling/ Walls

MOISTURE DAMAGE

 Maintenance/ Monitor/ Minor Items

Visible moisture stains in one or more locations. No signs of active during time of inspection due to dry weather conditions and moisture readings were within normal range so these are likely old issues and/or as a result from sweating/ air leakage around the duct penetrations. Recommend monitoring and repairing or replacing stained materials as needed.

Recommendation
Contact a qualified professional.



Back storage room



Back storage room



First bed on right front of house

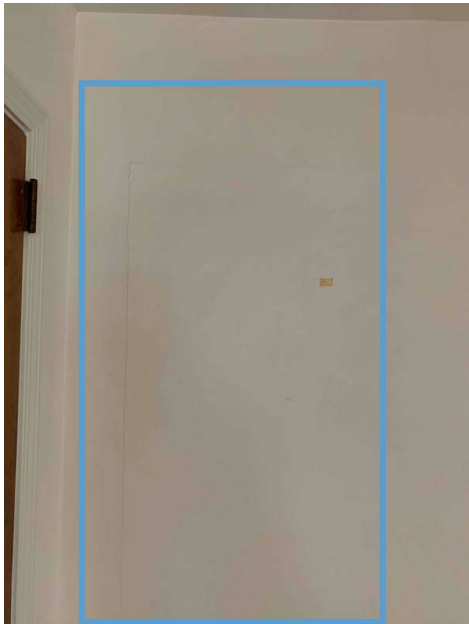
5.4.2 Ceiling/ Walls

DRYWALL CRACKING

 Maintenance/ Monitor/ Minor Items

Most likely due to expansion/ contraction of the material or initial settling of the home. No signs of active movement during time of inspection. Monitor for future movement and repair as needed.

Recommendation
Contact a qualified drywall contractor.



Where old front door used to be



Living Room



Front hallway by attic access

5.4.3 Ceiling/ Walls

POSSIBLE ASBESTOS CEILING TILES

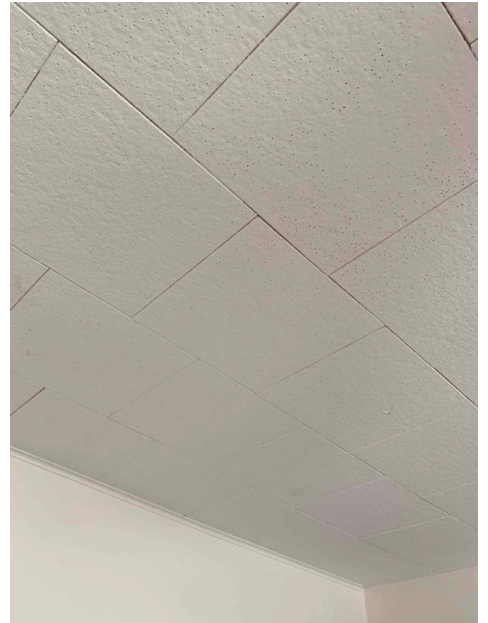


Moderate Deficiency

The original portion of the home has ceiling tiles throughout that may possibly contain asbestos materials because it was common practice at the time the home was built. Asbestos really only becomes a concern if the material is disturbed and the particles become airborne or breathable. Recommend sending a sample to the lab for testing to confirm.

Recommendation

Contact a qualified professional.



5.4.4 Ceiling/ Walls

POSSIBLE MOLD GROWTH



Moderate Deficiency

Observed possible mold growth inside the small access panel behind the shower in the mother-in-law bathroom. Likely a result from moisture intrusion over the years and lack of ventilation. Recommend testing and sending samples to the lab to confirm and have a mold remediation professional properly remove.

Recommendation

Contact a qualified mold inspection professional.



Access panel behind shower wall in MIL Bathroom

5.6.1 Ceiling Fans

DID NOT OPERATE

 Maintenance/ Monitor/ Minor Items

Fan did not operate during time of inspection. Recommend repair or replace by a qualified professional.

Recommendation
Contact a qualified professional.



Back right bedroom front portion of home

6.4.1 Range/Oven/Cooktop

MISSING ANTI-TIP BRACKET

 Significant Deficiency/ Safety Hazard

Recommend installing an anti-tip bracket to prevent the stove from potentially falling on a child and/or causing injury to someone.

Recommendation
Contact a handyman or DIY project

7.3.1 Exhaust Fans

BATHROOM VENTS INTO ATTIC

 Moderate Deficiency

Bathroom fan vents into the attic, which can cause moisture, increased humidity and possible mold growth Recommend a qualified professional properly terminate the exhaust to the exterior.

Recommendation
Contact a qualified professional.



Guest Bathroom Front part of home

9.2.1 Cooling Equipment

EXCEEDED LIFE EXPECTANCY

 Significant Deficiency/ Safety Hazard

The Heil HVAC system was manufactured in 1996 making it 23 years old, far exceeding the typical life expectancy for the system. Based on the overall condition of the unit and poor performance it is likely the unit is ready for replacement. Recommend a licensed HVAC contractor evaluate for replacement.

Recommendation

Contact a qualified HVAC professional.

9.2.2 Cooling Equipment

CONTAINS HCFC-22 OR R-22 REFRIGERANT

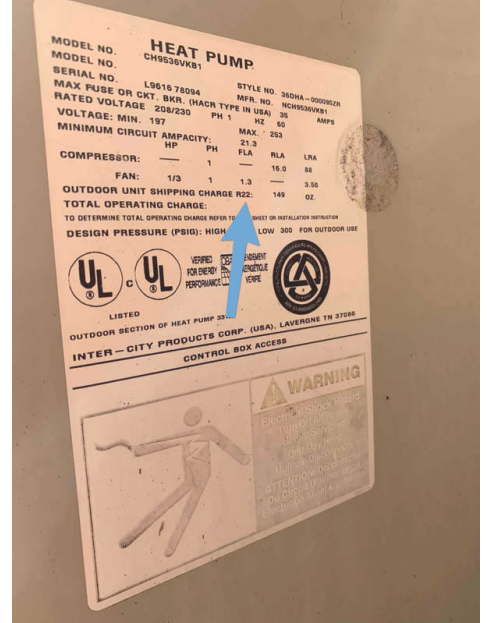


Maintenance/ Monitor/ Minor Items

The AC unit contains HCFC-22 (commonly referred to R-22) refrigerant. This refrigerant is being phased out and will no longer be produced or imported in order to help protect the stratospheric ozone layer. Existing units can continue to use and be serviced with HCFC-22 (R-22) until inventory is depleted, but it may be expensive and/or difficult to obtain.

Recommendation

Contact a qualified HVAC professional.



9.2.3 Cooling Equipment

INSULATION DETERIORATING/ MISSING



Maintenance/ Monitor/ Minor Items

Deteriorating/ missing insulation on refrigerant line can cause energy loss and condensation. Recommend replacing.

Recommendation

Contact a qualified HVAC professional.



9.2.4 Cooling Equipment

FINS DAMAGED

 Significant Deficiency/ Safety Hazard

Bent/ Damaged fins can lead to reduced air flow hindering the efficiency of the unit. Recommend evaluation from a licensed HVAC contractor for replacement.

Recommendation

Contact a qualified HVAC professional.



9.2.5 Cooling Equipment

LOW TEMPERATURE DIFFERENTIAL

 Moderate Deficiency

Lower than desired temperature differentials in both units. Recommend a licensed HVAC contractor service the units and repair as needed.

Recommendation

Contact a qualified HVAC professional.

9.4.1 Distribution System

DUCTS INSULATION DETERIORATED

 Moderate Deficiency

Deteriorated duct insulation was observed in one or more areas which could lead to duct leakage and reduced efficiency. Recommend licensed HVAC contractor repair or replace.

Recommendation

Contact a qualified HVAC professional.



9.4.2 Distribution System

RESEAL DUCT



Maintenance/ Monitor/ Minor Items

Tape and mastic coming undone resulting in possible air leakage. Recommend a licensed HVAC contractor evaluate and reseal.

Recommendation

Contact a qualified HVAC professional.



HEIL unit front right corner

9.6.1 Chimneys, Flues

CHIMNEY FLUE CRACKED



Moderate Deficiency

The chimney flue had one or more cracks, which can lead to further damage to the chimney structure. Recommend a qualified contractor repair.

Recommendation

Contact a qualified roofing professional.



9.6.2 Chimneys, Flues

CHIMNEY CAP CRACKED

 Maintenance/ Monitor/ Minor Items

Chimney cap was cracked in multiple locations. This could allow water to seep through and leak down between the chase and flue causing interior damage. Recommend a licensed chimney contractor evaluate and repair or replace as needed.

Recommendation
Contact a qualified chimney contractor.



10.3.1 Water Heater

RECOMMEND REDUCING TEMP SETTING

 Moderate Deficiency

Registered 134 degree water temperature coming from the kitchen sink. It is recommended the water heater temperature be set to 120 degrees F to reduce the risk of scalding.

Recommendation
Contact a handyman or DIY project



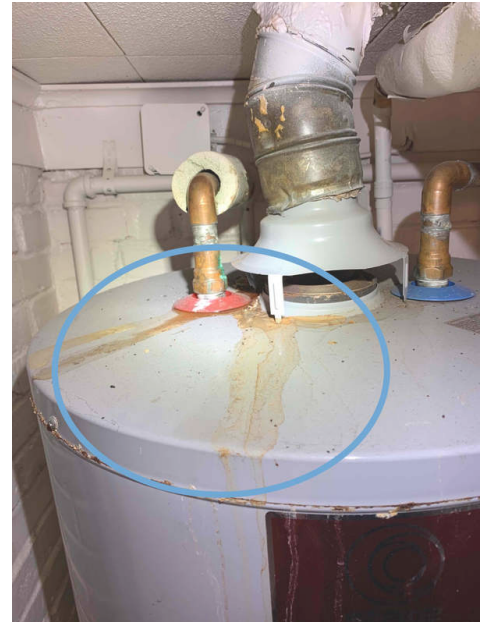
10.3.2 Water Heater
**BACKDRAFTING
PRESENT**



Maintenance/ Monitor/ Minor Items

Backdrafting is when exhaust gases spill out into the room and around the water heater rather than safely leaving the house or outdoor structure. Recommend a qualified plumber evaluate the flue and repair as needed to ensure proper drafting takes place.

Recommendation
Contact a qualified plumbing contractor.



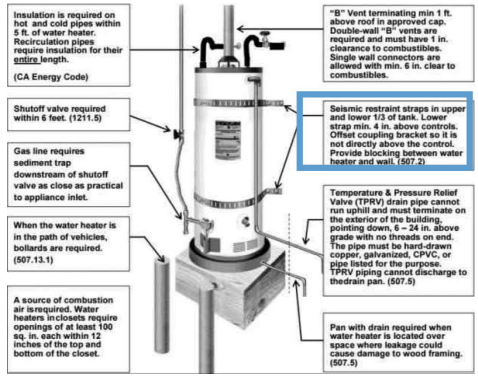
10.3.3 Water Heater
SEISMIC STRAPS MISSING



Maintenance/ Monitor/ Minor Items

Water heater is missing seismic straps which are recommended for the area. Recommend a qualified professional install on the top and bottom third of the tank.

Recommendation
Contact a qualified professional.



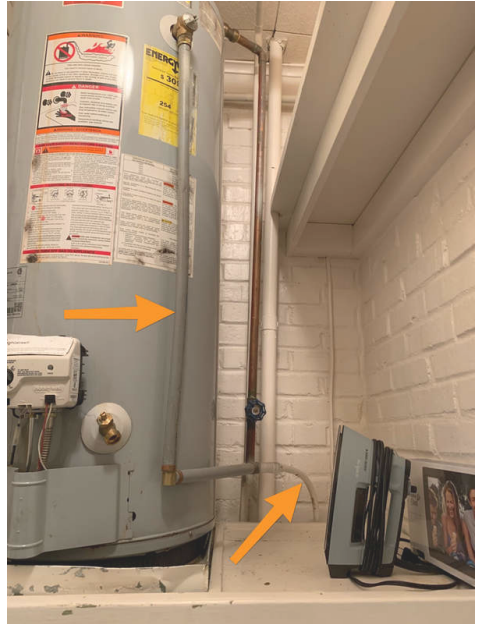
10.3.4 Water Heater

IMPROPER TPRV DISCHARGE PIPE SETUP

Moderate Deficiency

The Temperature Pressure Relief Valve (TPRV) connects directly to a drain line which is not proper. There is also a reduction in the diameter of the discharge line. The discharge pipe should remain the same diameter throughout. It should also discharge to the pan, then the pan terminate to the exterior or the discharge line should terminate to the exterior in a readily observable location in a manner that does not cause personal injury or structural damage. Recommend a licensed plumbing contractor evaluate and make the necessary repairs.

Recommendation
Contact a qualified plumbing contractor.



10.4.1 Fuel Shut Off

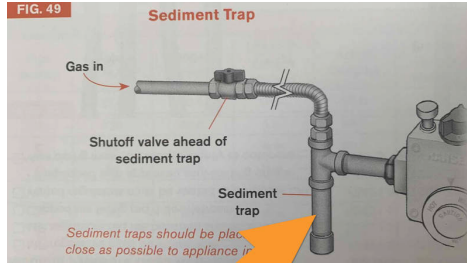
NO SEDIMENT TRAP

Moderate Deficiency

There is not a proper sediment trap located behind the shut off valve. They should be placed as close as possible to the unit. These help catch and prevent sediment in the gas from entering the unit potentially causing damage. Recommend a licensed plumbing professional repair.

Recommendation

Contact a qualified plumbing contractor.



11.2.1 Main & Subpanels, Service & Grounding, Main Overcurrent Device

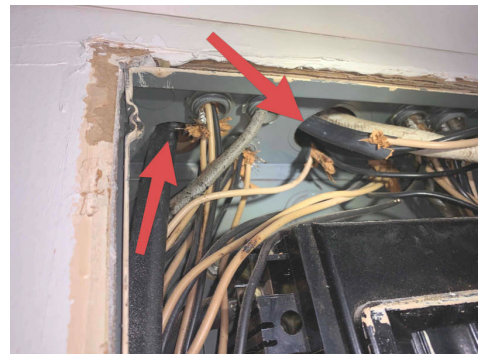
⚠ Significant Deficiency/ Safety Hazard

MISSING BUSHINGS

Wire bushings help protect the wire at the point where it enters the panel box. The edges around this area over time can cut into the wiring potentially causing a short or arc creating a potential fire hazard. Recommend a licensed electrician install.

Recommendation

Contact a qualified electrical contractor.



11.2.2 Main & Subpanels, Service & Grounding, Main Overcurrent Device

⚠ Significant Deficiency/ Safety Hazard

FEDERAL PACIFIC PANEL

Federal Pacific service panels are reputed to have a high rate of circuit breaker failure which can result in a fire or shock. Recommend a licensed electrician thoroughly and fully inspect the panel and providing further evaluation on possible panel replacement.

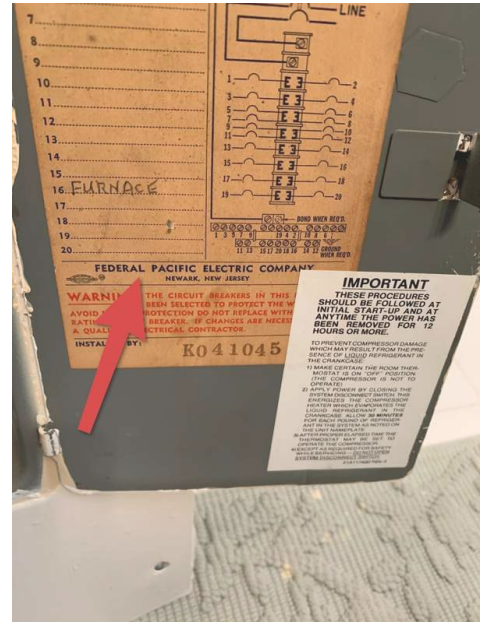
Below are a couple websites that further discuss the issues with Federal Pacific panels.

[Link 1](#)

[Link 2](#)

Recommendation

Contact a qualified electrical contractor.



Servicing the original home

11.3.1 Branch Wiring Circuits, Breakers & Fuses

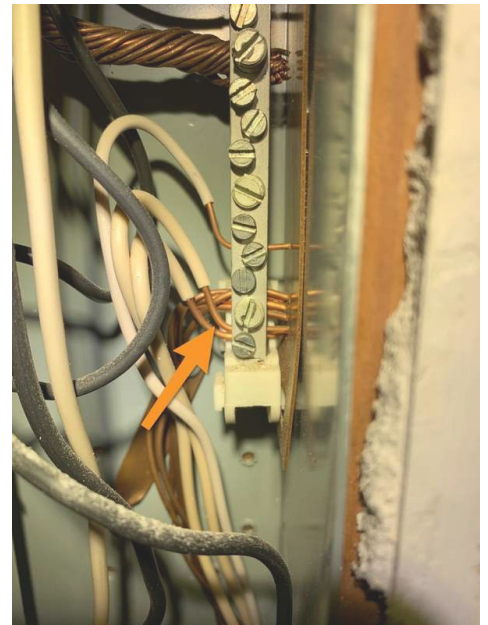
 Moderate Deficiency

DOUBLE LUGGED NEUTRALS

Should not have more than one neutral under the same screw on the bus bar. This creates an issue if one of the circuits needs to be isolated. Neutral conductors can be current-carrying and can become loose over time producing heat and a potential fire hazard. Recommend qualified electrician evaluate and repair.

Recommendation

Contact a qualified electrical contractor.



Panel Servicing Mother-In-Law suite

11.3.2 Branch Wiring Circuits, Breakers & Fuses

 Moderate Deficiency

CLOTH WIRING FOUND

Cloth wiring was found throughout the home feeding branch circuits. Cloth wiring was commonly used in homes of this age. Cloth wiring can become brittle overtime and crack exposing the bare wire beneath. Many times cloth wiring only contains two conductors resulting in an ungrounded circuit. Recommend a licensed electrician evaluate the condition of the cloth wiring.

Recommendation

Contact a qualified electrical contractor.

11.3.3 Branch Wiring Circuits, Breakers & Fuses

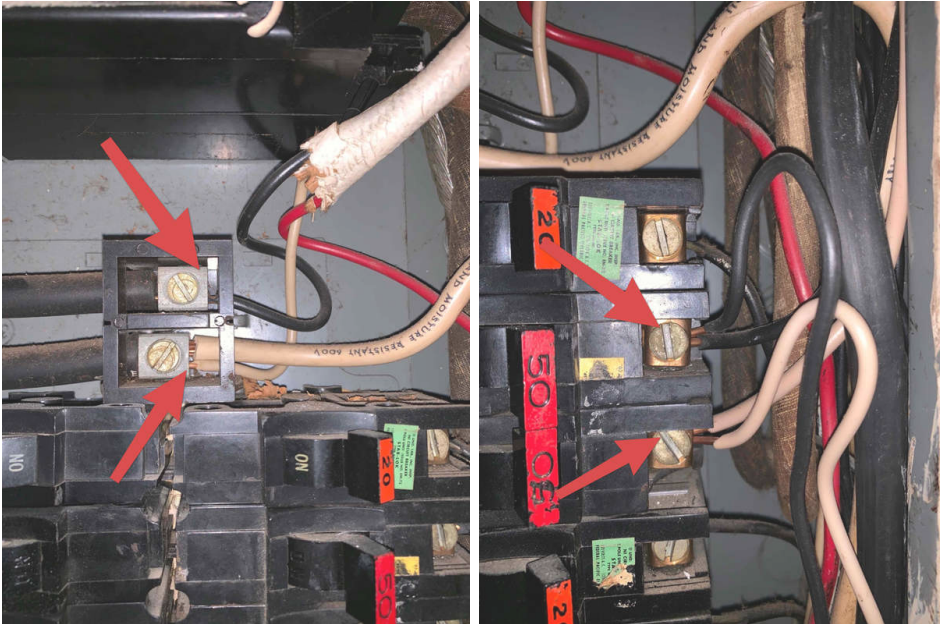
DOUBLE TAPPING/ DOUBLE/TRIPLE LUGGING

 Significant Deficiency/ Safety Hazard

The circuit breaker and/or lug isn't designed to hold this many conductors. The conductors could come loose at some point in the future, even if they feel very tight today. Loose conductors can lead to overheating, arcing, and possibly a fire. Recommend a qualified electrician repair or replace.

Recommendation

Contact a qualified electrical contractor.



11.3.4 Branch Wiring Circuits, Breakers & Fuses

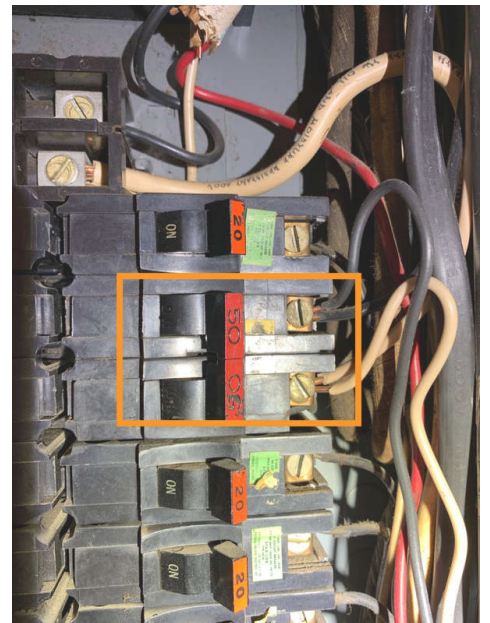
 Moderate Deficiency

IMPROPERLY SIZED BREAKER

Per the manufacturer data plate the AC UNIT is allowed to have a maximum 35 amp breaker installed as over current protection. There is a 50 amp breaker currently installed. This breaker may have been properly size with the old AC unit. Recommend a licensed electrician replace.

Recommendation

Contact a qualified electrical contractor.



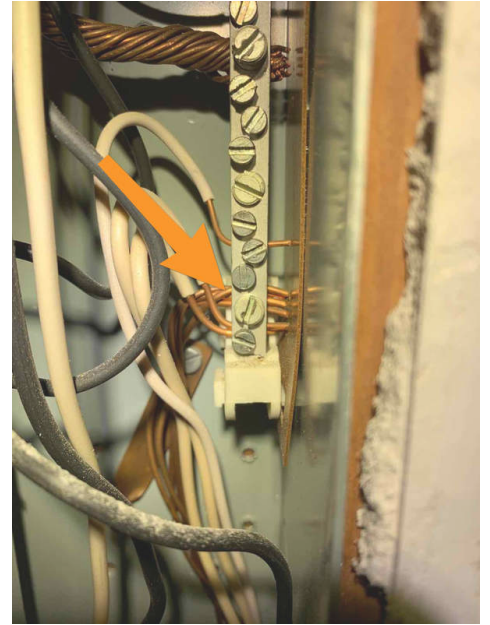
11.3.5 Branch Wiring Circuits, Breakers & Fuses

 Moderate Deficiency

TOO MANY GROUNDS UNDER SAME SCREW

Typically a maximum of 2-3 grounds are allowed to be under the same screw on the grounding bus bar depending on wire size. Data label does not specify the maximum number allowed under one screw. Recommend a licensed electrician evaluate and repair as needed.

Recommendation
Contact a qualified electrical contractor.



Back panel

11.4.1 Receptacles & Switches

OPEN GROUND

Significant Deficiency/ Safety Hazard

Appears that the original portion of the home and a couple other receptacles do not have grounded receptacles. Original cloth wiring installed during this time period typically only had a hot and neutral conductor. With the upgraded 3 prong receptacles this is deceiving making the occupant believe that a ground is present and protecting the circuit when there is not. Recommend a licensed electrician evaluate and repair to help prevent possible shock, injury or damage to equipment.

Here are a couple articles on ways to correct this issue without having to rewire the whole house.

<https://www.thisoldhouse.com/ideas/replacing-two-prong-receptacles>

<https://www.hunker.com/13414348/how-to-ground-an-electrical-outlet-with-no-grounding-wire>

Recommendation
Contact a qualified electrical contractor.



Back patio left of right door



Fron left bedroom under window to side of home



Front left bedroom next to door



MIL Bathroom

11.5.1 GFCI & AFCI

NO GFCI PROTECTION INSTALLED

 Moderate Deficiency

No GFCI protection present in all locations where the receptacle could come in contact with water or other liquid. Potential safety hazard.

Recommend licensed electrician upgrade by installing ground fault receptacles or breakers for locations specified: **OUTSIDE, BATHROOM, KITCHEN receptacles.**

[Here is a link](#) to read about how GFCI receptacles keep you safe.

Recommendation

Contact a qualified electrical contractor.



Back patio left of right door



12.2.1 Crawlspace

EFFLORESCENCE/ MOISTURE INTRUSION

Moderate Deficiency

Efflorescence noted on the crawlspace surface in one or more locations. This a white, powdery deposit that is consistent with long term moisture intrusion. This can compromise the soil's ability to support the home structure and/or lead to mold growth. No other signs of inadequate drainage or grading issues present on the day of inspection. Recommend a qualified foundation contractor evaluate and provide a solution to reduce the moisture entering the crawlspace.

Recommendation

Contact a qualified professional.



12.3.1 Floor Structure

MOISTURE INTRUSION/ WOOD ROT

Significant Deficiency/ Safety Hazard

Observed one or more areas where there were signs of moisture intrusion and rotting on the subfloor and neighboring joists. Did not see any signs of active leaking at time of inspection. Moisture readings were moderately high, around 15-17%. Recommend a qualified contractor evaluate further and identifying the moisture intrusion point, repairing and replace the damaged/ rotted subfloor and joist.

Recommendation

Contact a qualified general contractor.



