



SUMMARY

1234 Main St.San Rafael California
94903

Buyer Name
02/26/2019 9:00AM

Dandy Buckley
DB Home Inspection Service
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2.3.1 Flashings

CORRODED - MINOR

Roof flashing showed signs of corrosion, but are still in working condition. Flashing should be monitored to prevent severe corrosion leading to moisture intrusion.

Recommendation

Contact a qualified roofing professional.

3.2.1 Foundation

FOUNDATION CRACKS - MINOR

Minor cracking was noted at the foundation meeting the stucco

Usually I would like to see a bottom screed on the stucco and separation from the concrete

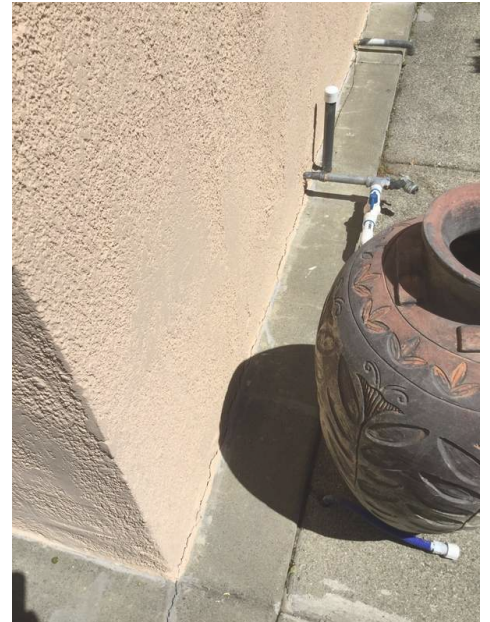
This should be monitored for water intrusion

This is common as concrete ages and shrinkage surface cracks are normal. Recommend monitoring for more serious shifting/displacement.

[Here is an informational article](#) on foundation cracks.

Recommendation

Recommend monitoring.



3.3.1 Siding, Flashing & Trim

CRACKING - MINOR

Siding showed cracking in one or more places. This is a result of temperature changes, and typical as homes with stucco age.

Recommend monitoring.

Recommendation

Recommended DIY Project



3.3.2 Siding, Flashing & Trim

DAMAGE TO TRIM BEHIND FIXTURE

The trim behind the exterior light fixture appeared to have some previous damage that was painted over, it is not possible to know the cause of that damage due to the paint coverage. Check with owner or replace with new piece of wood.

Recommendation

Contact a qualified professional.



3.4.1 Exterior Doors

DOOR SILL/TRIM

LIVING ROOM

Door sill and/or trim is loose, deteriorated or worn and repair or replacement should be considered.

Recommendation

Contact a qualified door repair/installation contractor.



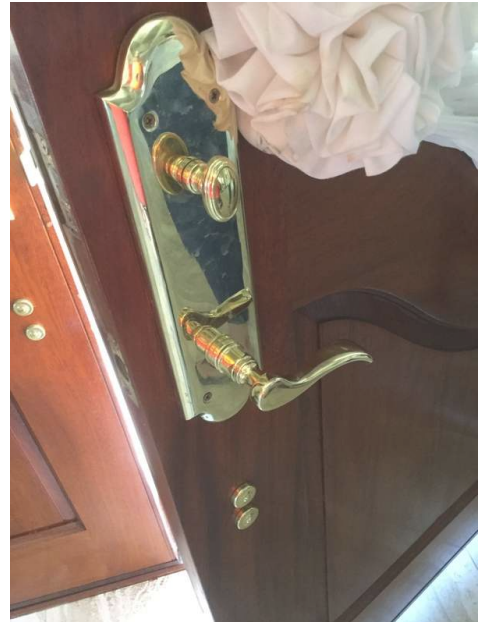
3.4.2 Exterior Doors

HARDWARE DAMAGED

One or more pieces of door hardware are damaged. Recommend repair or replace.

Recommendation

Recommended DIY Project



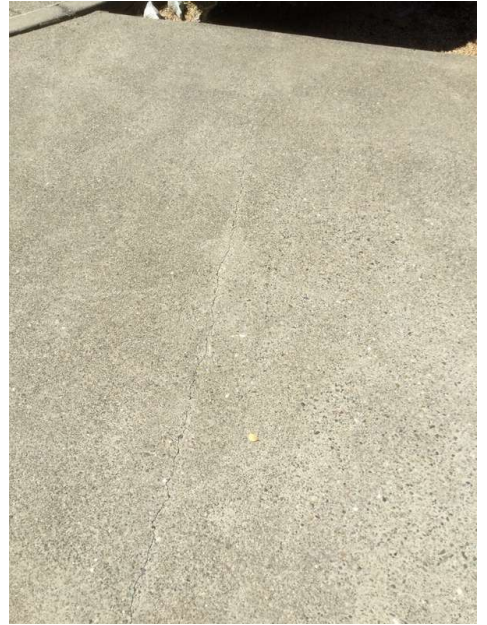
3.5.1 Walkways, Patios & Driveways

DRIVEWAY CRACKING - MINOR

Minor cosmetic cracks observed, which may indicate movement in the soil. Recommend monitor and/or have concrete contractor patch/seal.

Recommendation

Contact a qualified concrete contractor.



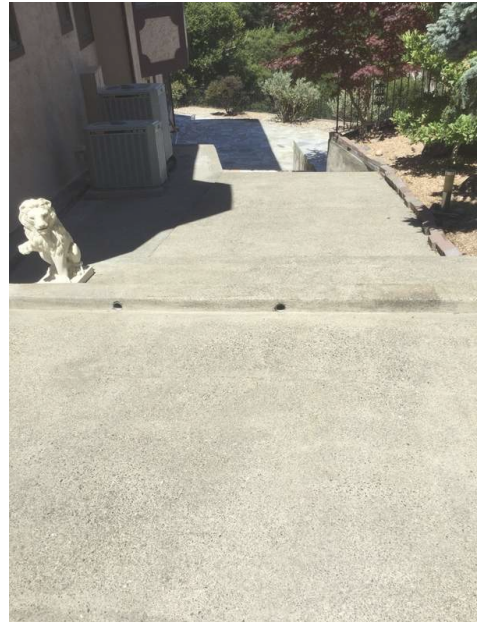
3.5.2 Walkways, Patios & Driveways

DRIVEWAY TRIP HAZARD

Trip hazards observed. This ridge is important in the role of drainage but may need to be marked in some way to prevent tripping

Recommendation

Recommended DIY Project



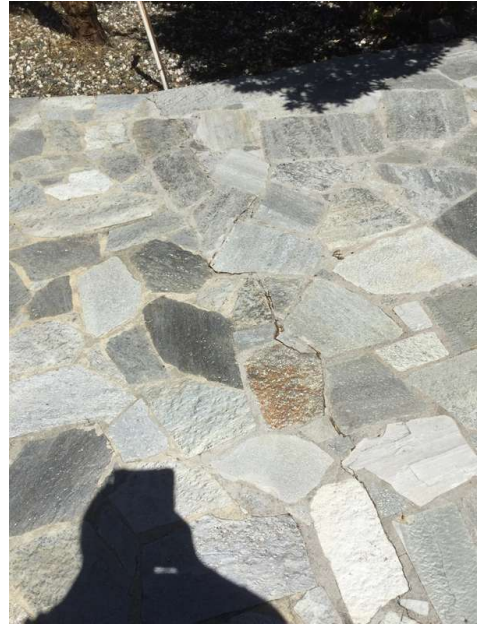
3.5.3 Walkways, Patios & Driveways

PATIO CRACKING - MINOR

Normal settling & cracking observed. Recommend monitor and/or patch/seal.

Recommendation

Recommended DIY Project



3.5.4 Walkways, Patios & Driveways

WALKWAY CRACKING - MINOR

Monitor for water intrusion

Minor cosmetic cracks observed. Recommend monitor and/or patch/seal.

Recommendation

Recommended DIY Project



3.5.5 Walkways, Patios & Driveways

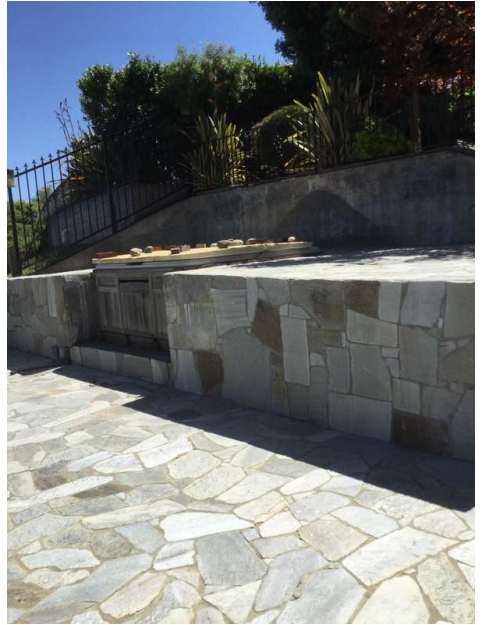
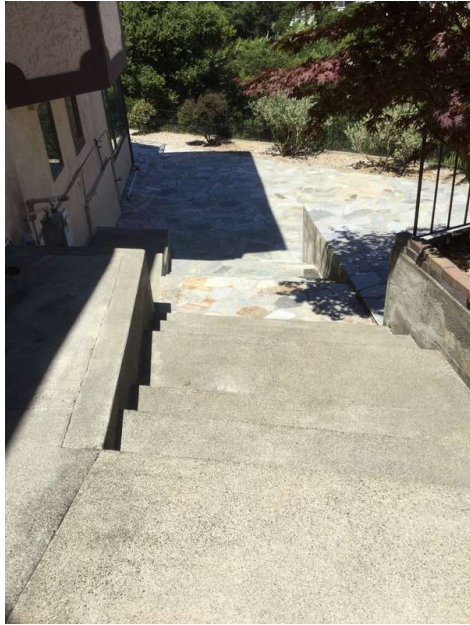
RAILINGS

This is a steep step with no railing

Recommend installing handrails in places where needed for safety

Recommendation

Contact a qualified professional.



3.6.1 Decks, Balconies, Porches & Steps

GUTTERS DRAINING ONTO DECK

even though this part of the deck drains into the gutter on the edge of the deck, i would like to see the downspout itself returned into that lower gutter rather than allowing gravity alone to take care of it

Recommendation

Contact a qualified professional.



3.6.2 Decks, Balconies, Porches & Steps

NEEDS REGROUTING

Tiled deck needs regrouting soon could lead to water intrusion

Recommendation

Contact a qualified professional.

3.8.1 Vegetation, Grading, Drainage & Retaining Walls

TREE OVERHANG

Trees observed overhanging onto the siding and or roof .This can cause damage over time

Recommendation
Contact a qualified tree service company.



6.2.1 Refrigerator

NO LIGHT

the light is not working in the fridge

Recommendation
Contact a qualified professional.



6.3.1 Range/Oven/Cooktop

NO GAS SHUT-OFF VALVE

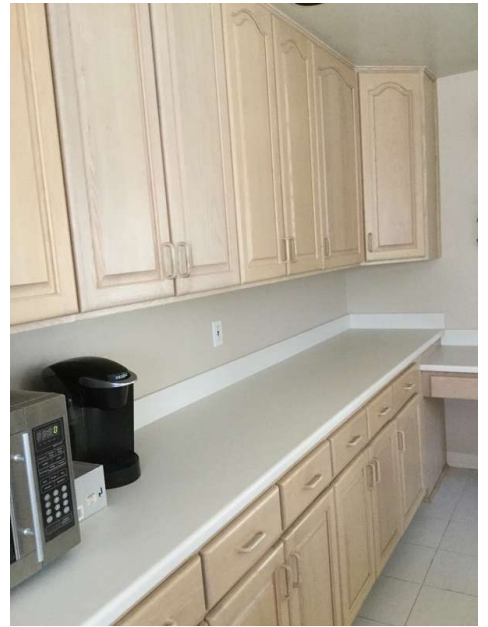
No gas shut-off valve was observed at the supply pipe. Recommend a qualified plumber evaluate and remedy.

Recommendation
Contact a qualified plumbing contractor.

6.5.1 Cabinets

LITTLE WORN IN PLACES

Recommendation
Contact a qualified professional.



6.7.1 GFCI

TODAYS STANDARDS CALL FOR MORE OUTLETS IN THE KITCHEN AREA

Recommendation

Contact a qualified professional.



6.10.1 Windows

MORE THAN ONE WINDOW WAS INOPERABLE DUE TO HARDWARE

The kitchen windows were some of the first windows i checked for operability.

These windows opened stiffly , but then came off their hardware and had to be manually closed from the outside and pushed back into place.

As i started to look at other windows around the house i noticed that several of the hardware handle pieces were cracked. I therefore deemed it necessary to stop checking the windows for operability in case they also came off their tracks or snapped off the handles. The windows should be all checked by an Anderson dealer and assessed for replacement hardware as the plastic hardware appears to be having issues.

Recommendation

Contact a qualified professional.



7.2.1 Windows

INOPERABLE

not able to easily open , do not wish to break handle

see general comment about the windows in the house

Recommendation

Contact a qualified professional.



8.2.1 Windows

GIVEN DIFFICULTY WITH OTHER WINDOWS NOT OPERATING CRANKS

Recommendation

Contact a qualified professional.

8.7.1 Lighting Fixtures, Switches & Receptacles

COVER PLATES DAMAGED

Unsure what this plate has behind it and whether or not it is open to the great room which appears to have the same type of plate in the same place, check with owner

Recommendation

Contact a qualified electrical contractor.



9.2.1 Windows

CRACKED SHANKS

Recommendation

Contact a qualified professional.

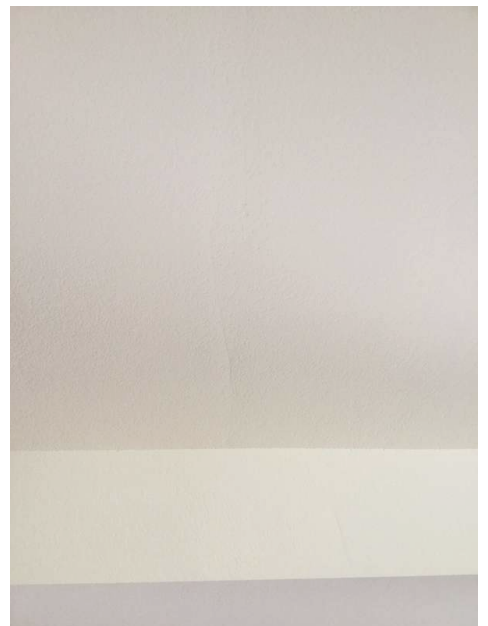
9.5.1 Ceilings

MINOR DAMAGE

Minor damage or deterioration to the ceiling was visible at the time of the inspection.

Recommendation

Contact a qualified professional.



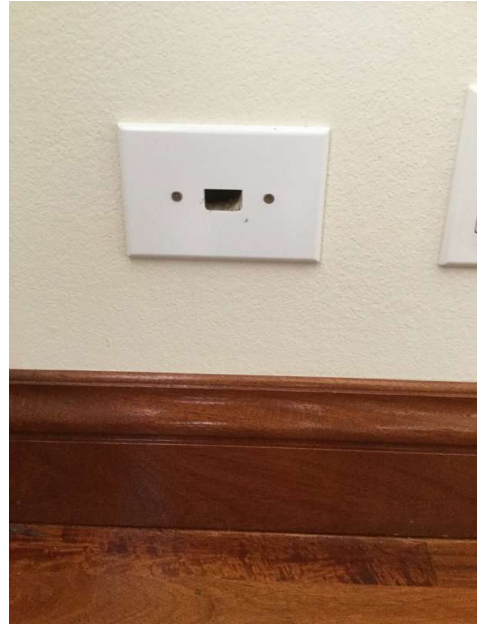
9.7.1 Lighting Fixtures, Switches & Receptacles

COVER PLATES DAMAGED

One or more receptacles have a damaged cover plate. Recommend replacement.

Recommendation

Contact a qualified electrical contractor.



10.1.1 Doors

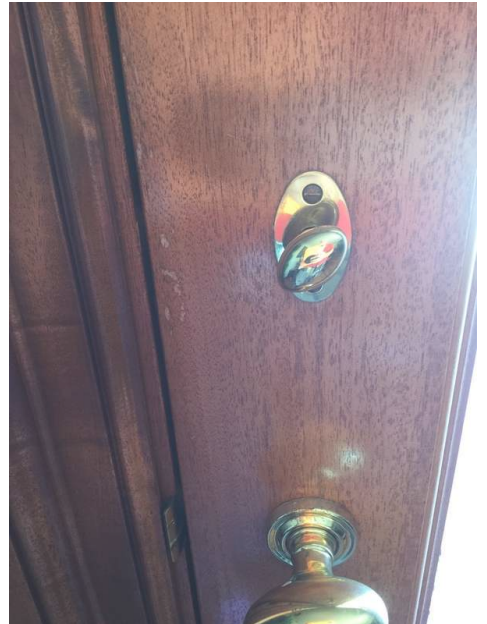
DOOR LATCH ALIGNMENT

Does not lock

Door latch and/or strike plate is out of alignment. Recommend a handyman repair.

Recommendation

Contact a qualified door repair/installation contractor.



10.2.1 Windows

CRACKED CRANK

Recommendation

Contact a qualified professional.



11.2.1 Doors

DOOR LATCH ALIGNMENT

Door latch and/or strike plate is out of alignment. Recommend a handyman repair.

Recommendation

Contact a qualified door repair/installation contractor.

11.2.2 Doors

MINOR ROT ON EXTERIOR

Recommendation

Contact a qualified professional.



11.4.1 Floors

CARPET STAINS

Carpet had areas of staining or discoloration. Recommend a thorough steam clean by a qualified carpet cleaning company

Recommendation
Contact a qualified cleaning service.



11.5.1 Walls

SCUFF MARKS

Recommendation
Contact a qualified professional.



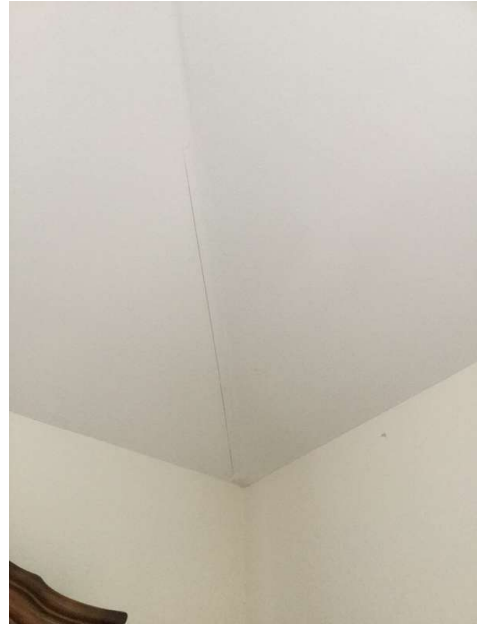
11.6.1 Ceilings

MINOR DAMAGE

Minor damage or deterioration to the ceiling was visible at the time of the inspection.

Monitor in case it is caused by water intrusion

Recommendation
Contact a qualified professional.



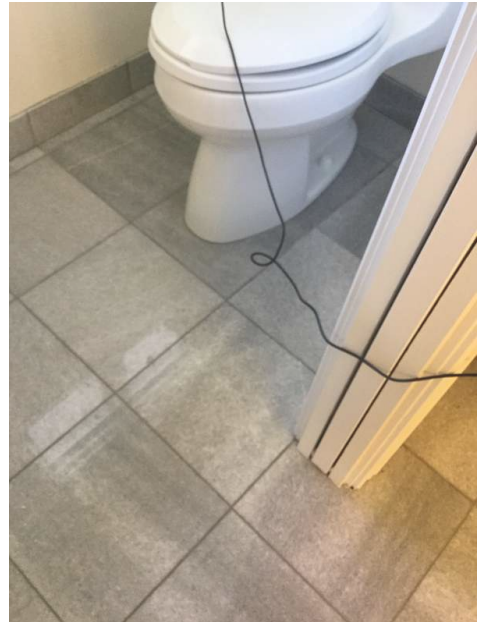
12.1.1 Toilet

NEEDS CAULKING

The toilet needs caulking to ensure seal

Recommendation

Contact a qualified professional.



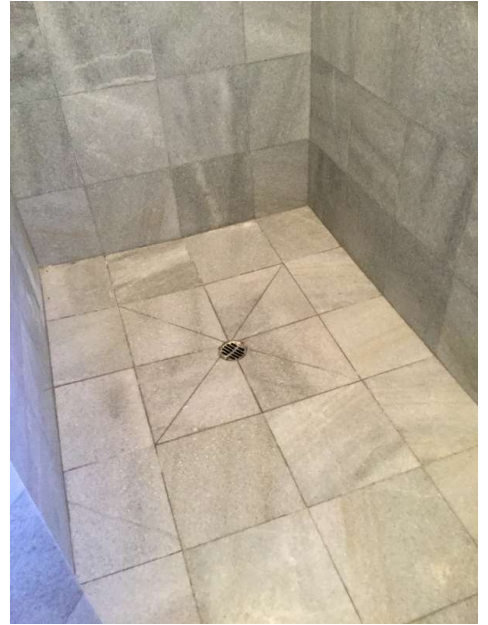
12.2.1 Shower

GAPS IN CAULK SEAL

Both grout and caulk should be reapplied to ensure water tightness

Recommendation

Contact a qualified professional.



12.5.1 Lighting Fixtures, Switches & Receptacles

COVER PLATES DAMAGED

The glass cover plates are not flush to the mirror
this creates a safety hazard and needs to be fixed



Recommendation

Contact a qualified electrical contractor.



12.6.1 Sink

SINK COUNTERTOPS

Both countertops should be caulked and regouted to ensure water seal

Recommendation

Contact a qualified professional.



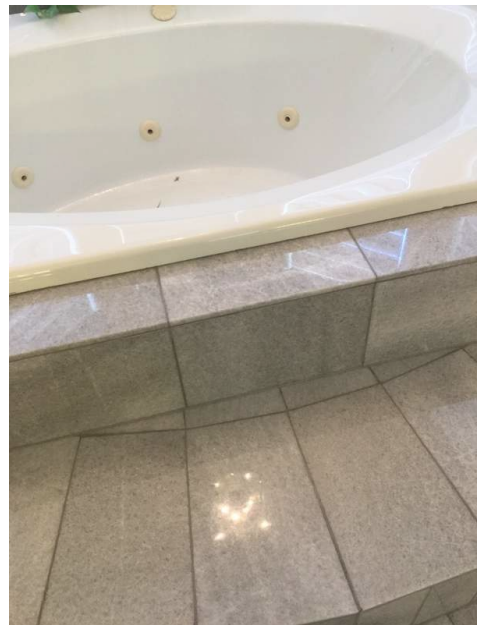
12.7.1 Tub

NEEDS CAULKING

to ensure water does not start to intrude under the tub , this should have a caulk seal in place

Recommendation

Contact a qualified professional.



13.2.1 Doors

DOOR DOESN'T CLOSE

Door in dressing room doesn't close properly. Recommend handyman repair

Recommendation

Contact a qualified handyman.

13.2.2 Doors

WORN ON THE EXTERIOR

Recommendation

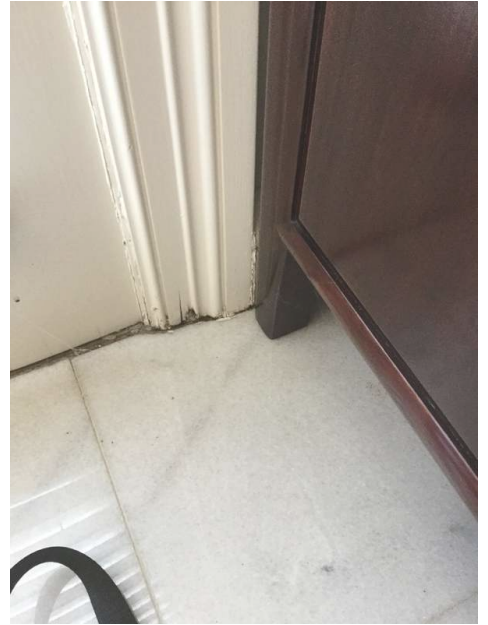
Contact a qualified professional.

13.2.3 Doors

ROT

Recommendation

Contact a qualified professional.



13.3.1 Windows

DAMAGED

One or more windows appears to have general damage, but are operational. Recommend a window professional clean, lubricate & adjust as necessary.

Recommendation

Contact a qualified window repair/installation contractor.



13.5.1 Walls

SCUFFS

Recommendation

Contact a qualified professional.



13.6.1 Ceilings

MINOR DAMAGE

Minor damage or deterioration to the ceiling was visible at the time of the inspection.

This should be monitored for change or deterioration

Recommendation

Contact a qualified professional.



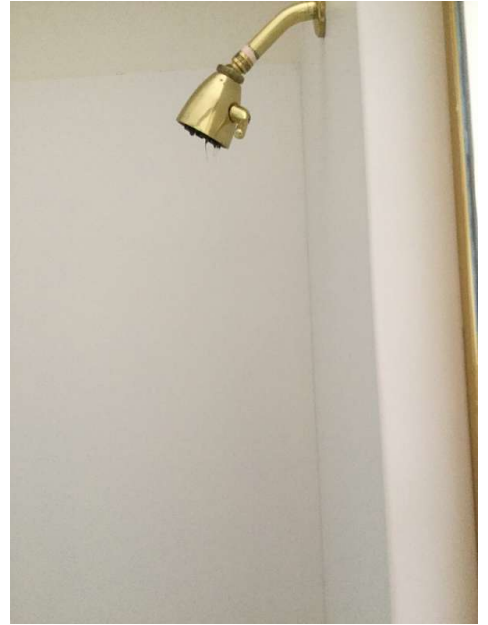
14.5.1 Shower

SHOWER KEEPS DRIBBING WATER

Shower dribbles water for about 25 seconds after shut off

Recommendation

Contact a qualified professional.



14.6.1 Toilet

NOISY FLUSH

there is an issue with the internal mechanics of the tank, this should be fixed.

Recommendation

Contact a qualified professional.



15.2.1 Doors

ROT OR WATER INTRUSION

on the door to the outside there appeared to be damage.

Recommendation

Contact a qualified professional.



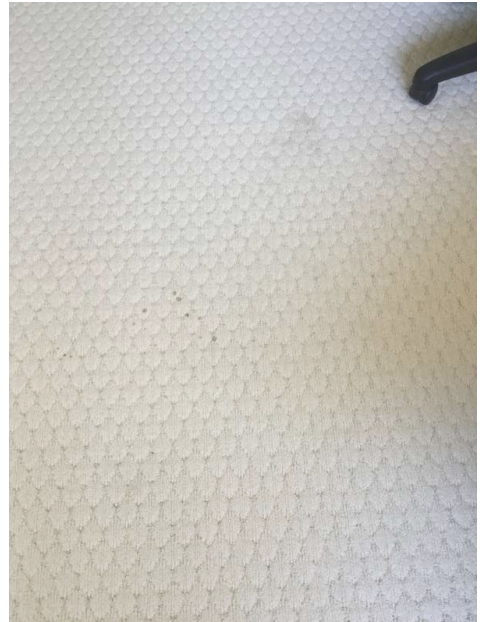
15.4.1 Floors

CARPET STAINS

Carpet had areas of staining or discoloration. Recommend a thorough steam clean by a qualified carpet cleaning company

Recommendation

Contact a qualified cleaning service.



16.5.1 Shower

SHOWER DIVERTOR LOOSE

This causes the change from tub to shower some difficulty

Recommendation

Contact a qualified professional.



18.6.1 Toilet

COVER LOOSE

the toilet seat is loose

Recommendation

Contact a qualified professional.

18.7.1 Bidet

NOT SECURE

not secured to the floor

Recommendation

Contact a qualified professional.

18.8.1 Sink

FAUCET NOT WORKING IN ONE OF TWO SINKS

no water coming out of faucet, supply may have been shut off because of leak. Ask owner

Recommendation

Contact a qualified professional.



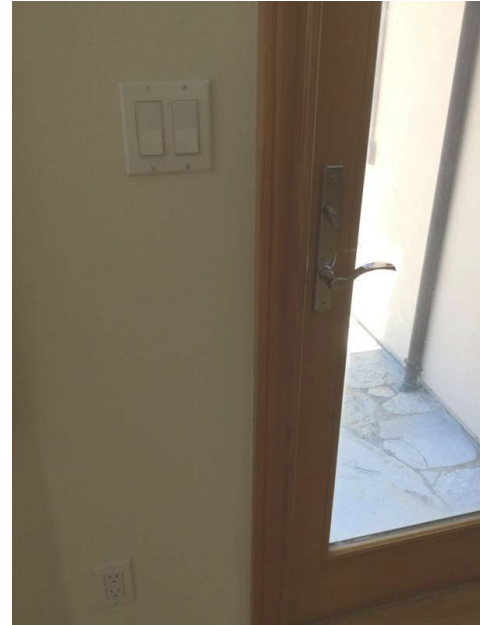
19.2.1 Doors

DOOR DOESN'T LATCH

Door doesn't latch properly. Recommend handyman repair latch and/or strike plate.

Recommendation

Contact a qualified handyman.



19.3.1 Windows

DUE TO DAMAGE ON OTHER WINDOWS NOT OPERATING CRANKS

Recommendation

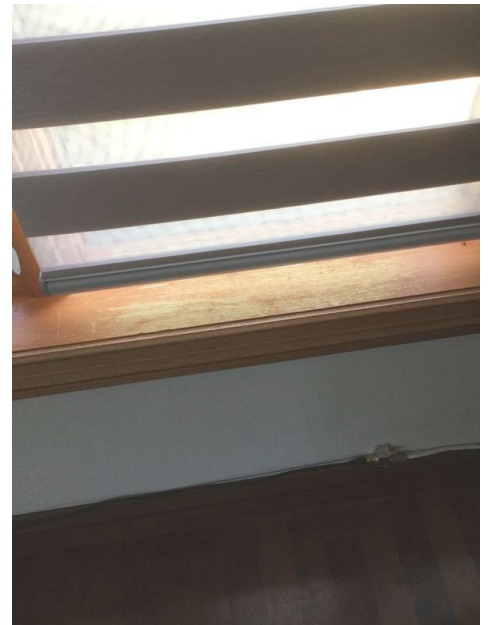
Contact a qualified professional.

19.3.2 Windows

WINDOW SILL WORN

Recommendation

Contact a qualified professional.



20.2.1 Water Supply, Distribution Systems & Fixtures

WATER DISCOLORED OUT OF FAUCET

Recommendation

Contact a qualified professional.



20.2.2 Water Supply, Distribution Systems & Fixtures

WATER SPLASHES OUT OF SINK

Recommendation

Contact a qualified professional.



20.7.1 Bidet

LOOSE

Recommendation

Contact a qualified professional.

23.1.1 Floors

CUPPING

Recommendation

Contact a qualified professional.



23.2.1 Second kitchen

FLOORS

The floors in this downstairs area are showing signs of cupping

This can be caused by a number of things, most commonly the flooring taking in moisture especially if the bamboo is laid onto a concrete slab and has insufficient or no vapor barrier underneath.

Recommendation

Contact a qualified professional.

23.2.2 Second kitchen

FLOORS

Recommendation

Contact a qualified professional.

24.4.1 Garage Door

AUTO REVERSE SENSOR NOT WORKING



The auto reverse sensor was not in place. This is a safety hazard to children and pets. Recommend a qualified garage door contractor evaluate and repair/replace.

Recommendation

Contact a qualified garage door contractor.

24.6.1 Occupant Door (From garage to inside of home)

ROOM BETWEEN THE GARAGE AND UTILITY ROOM HAS A MISSING SWITCH PLATE



Recommendation

Contact a qualified professional.

24.6.2 Occupant Door (From garage to inside of home)

NOT SELF-CLOSING

Due to latch**

New latch should be installed so that the self closing hinges will close the door



[DIY Resource Link.](#)

Recommendation

Contact a qualified door repair/installation contractor.

25.3.1 Sink

ONLY COLD FAUCET OPERABLE

Recommendation

Contact a qualified professional.

26.1.1 Heating Equipment

CORROSION

Furnace was corroded in one or more areas. This could be the result of improper venting, which the source would need to be identified. Recommend a HVAC contractor evaluate and repair.

Recommendation

Contact a qualified HVAC professional.



26.1.2 Heating Equipment

RECOMMEND FURNACE INSPECTION

There are two furnaces located in the utility room, one each side of the water heater.

The Furnace on the right side is a Day and Night furnace, the model and serial number does not pull up any information about the furnace so maybe the model and serial number for a part, rather than the whole furnace. The sticker that has the age and size of the furnace was not in view. it is likely that it is a 90% efficiency unit

It would be my assumption that the furnace is original to the house, it has substantial corrosion on the outside of the unit and some on the inside indicating that water has intruded into the unit.

I would highly recommend a full furnace inspection.

The second unit to the left of the water heater is a Trane XE 90,

The Trane XE90 is a single-stage gas furnace that was marketed as a high-efficiency heating unit. Each model of the XE90 range boasts a 90+ AFUE (annual fuel utilization efficiency) percentage.

It appears to be in much better shape on the outside of the unit with less corrosion. however it does appear to have some sort of pump attached to it which may be to expel the condensate, but the reason it would need this is unclear.

It is my recommendation that there should be a furnace inspection for this furnace too. They are both possibly original to the house and could be heading towards the end of their working lives. More efficient furnaces are available and it is possible that a combined heating and cooling unit could be appropriate.

At the very minimum they should be assessed and serviced

Recommendation

Contact a qualified professional.

26.3.1 Distribution System

LOOSE CONNECTION

There are several loosely connected ducts in the utility room. Also an intake that does not appear to be connected to anything. There are loose connections on ducts, resulting in energy loss.

Recommend licensed HVAC contractor evaluate furnace system.

Recommendation

Contact a qualified HVAC professional.

26.4.1 Hot Water Systems, Controls, Flues & Vents

INSUFFICIENT STRAPPING

Recommendation

Contact a qualified professional.

26.4.2 Hot Water Systems, Controls, Flues & Vents

NOT BONDED

Recommendation

Contact a qualified professional.

26.4.3 Hot Water Systems, Controls, Flues & Vents

CORROSION



Safety Hazard

Corrosion was noted at the pipe serving the water heater, and on several pipes around and above it.

Recommend a qualified plumber evaluate for repair/replacement.

Recommendation

Contact a qualified plumbing contractor.



26.4.4 Hot Water Systems, Controls, Flues & Vents

NEAR END OF LIFE

Water heater showed normal signs of wear and tear. Recommend monitoring it's effectiveness and replacing in the near future.

Recommendation

Contact a qualified plumbing contractor.

26.4.5 Hot Water Systems, Controls, Flues & Vents

WATER STAINS - LEAKAGE

Water stains were observed beneath water heater, indicating a past or present leak. Recommend further evaluation and repair by a qualified plumber.

Recommendation

Contact a qualified plumbing contractor.

26.4.6 Hot Water Systems, Controls, Flues & Vents

GAS LEAK

 Safety Hazard

There were gas fumes building in the utility room once the water heater kicked into use.

I made a judgement, along with the real estate agent on site that the gas to that appliance should be turned off.

It is my opinion that there are several issues with this water heater and that it should be serviced and possibly replaced.

Recommendation

Contact a qualified professional.
