



**SUMMARY**  
1234 Main St. Merrimack NH 03054  
Buyer Name  
03/13/2019 9:00AM

Chris Caisse  
InterNACHI Certified...  
Platinum Home Inspections  
603.897.5495



[chris@platinumhomeinspectionsnh.com](mailto:chris@platinumhomeinspectionsnh.com)

## YOUR REPORT:

Thank you for choosing Platinum Home Inspections (PHI) to inspect your new home! Please carefully read your entire Inspection Report. If you have any questions throughout the closing process don't hesitate to ask. **This report is based on an inspection of the visible portion of the structure at the time of the inspection with a focus on safety and function, not on current building or municipality codes.** Any and all evaluations or repairs made by PHI should be carried out prior to closing. We recommend that you and/or your representative carry out a final walk-through inspection immediately before closing to check the condition of the property.

## INSPECTION CATEGORIES

- 1) Maintenance Items** - Primarily comprised of small cosmetic items and simple handyman or do-it-yourself maintenance items. These observations are more informational in nature and represent more of a future homeowner to-do list.
- 2) Recommendations** - Most items typically fall into this category. These observations are typical defects but are not necessarily urgent or safety related. Some may require a qualified contractor to evaluate further and repair or replace but the cost is somewhat reasonable.
- 3) Observations/Concerns** - This category is composed of immediate safety concerns or items that could represent a significant expense to repair or replace.

## KEYS TO THE HOME INSPECTION

The home inspection was performed in accordance with the InterNACHI Standard of Practice and Code of Ethics. These standards are included in the report under each section summary. An earnest effort was made on your behalf to discover all visible defects, however, in the event of an oversight, maximum liability must be limited to three times the price of the home inspection. This inspection is an evaluation of the condition of the home. Any areas that are not safe, readily accessible and/or visible to the inspector will not be included in the home inspection report. The home inspection is not intended as a substitute for a Seller's Disclosure. This home inspection is not a compliance inspection or certification of any kind. It simply is an inspection of the condition of the home at the time of the inspection. This inspection does not cover items or conditions that may be only discovered by invasive methods. No removal of materials or dismantling of systems shall be performed under this inspection. This is not a technically exhaustive inspection. The inspection report lists the systems and components inspected by Platinum Home Inspections, LLC. Items not found in

this report are considered beyond the scope of the inspection and should not be considered inspected at this time. This report contains technical information that may not be readily understandable to the lay person. Therefore, a verbal consultation with the inspector is a mandatory part of this inspection. If you choose not to consult with the inspector, Platinum Home Inspections, LLC cannot be held liable for your understanding or misunderstanding of this report's contents. If you were not present during this inspection, please contact me at (603-897-5495) to arrange for your verbal consultation.

### 2.2.1 Roof Drainage Systems

#### **GUTTERS MISSING**

— Recommendation / Improvement

There are no gutters present on the structure. Gutters are recommended because they collect rain water from the roof and direct it away from the building.

Recommendation

Contact a qualified gutter contractor

### 2.4.1 Eaves, Soffits & Fascia

#### **GAP**

— Recommendation / Improvement

There is opening, gap or hole in fascia / soffit which should be repaired. This can allow water intrusion and rodent infestation as well as deterioration of the surrounding material.

Recommendation

Contact a qualified roofing professional.



### 3.2.1 Walkways, Patios & Driveways

#### **ASPHALT DRIVEWAY - TYPICAL CRACKING**

🔧 Maintenance Item

Asphalt driveway... this material has typical cracking which is normal for its age recommend seal coating as needed to prolong life expectancy.

Asphalt Seal Coating Information:

[Seal Coating Information](#)

Recommendation

Contact a qualified professional.



#### 4.2.1 Floor

### CRACKING / SPALLING

Recommendation / Improvement

Typical cracking/settlement observed in concrete. If trip hazards become present, recommend licensed contractor to repair to prevent injuries.

Recommendation

Contact a qualified concrete contractor.



#### 4.3.1 Walls & Firewalls

### REPAIRED STRUCTURE

Recommendation / Improvement

Garage shows history of movement, which has recently been repaired. Recommend monitoring for future movement and possible moisture intrusion.

Recommendation

Recommend monitoring.



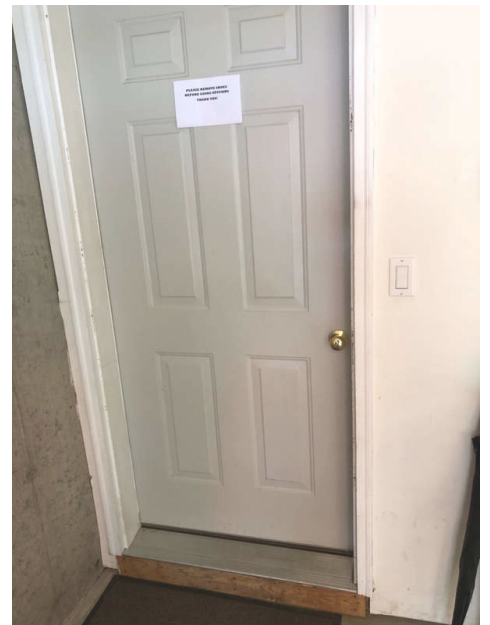
4.5.1 Occupant Door (From garage to inside of home)  
**NOT SELF-CLOSING**

 Recommendation / Improvement

Door from garage to home should have self-closing hinges to help prevent spread of a fire to living space. Recommend a qualified contractor install self-closing hinges.

[DIY Resource Link.](#)

Recommendation  
Contact a qualified door repair/installation contractor.



5.1.1 Siding, Flashing & Trim  
**SIDING FLASHING & TRIM STATUS**

 Maintenance Item

Siding, flashing and trim were observed to be good condition at time of inspection. Normal maintenance may be necessary to prevent damage from occurring.

Recommendation  
Recommend monitoring.

5.1.2 Siding, Flashing & Trim  
**GAPS IN SIDING MATERIAL**

 Recommendation / Improvement

A Gap in siding/trim was observed at the chimney side of the home. This shouldn't be an issue as the proper flashing is present underneath.

Recommendation  
Contact a qualified siding specialist.



### 5.3.1 Exterior Doors

#### **PAINT/REFINISH NEEDED**

 Recommendation / Improvement

Door finish is worn. Recommend refinish and/or paint to maximize service life.

[Here is a DIY article](#) on refinishing a wood door.

Recommendation  
Contact a qualified door repair/installation contractor.





5.5.1 Exterior foundation  
**TYPICAL CRACKING**

Recommendation / Improvement

Exterior foundation contains typical cracks due to shrinkage and normal freeze thaw cycle. Recommend patching as needed to prevent moisture intrusion.

Recommendation  
Contact a foundation contractor.



Under Deck



Garage Exterior

6.2.1 Foundation  
**EFFLORESCENCE**

Recommendation / Improvement

Evidence of efflorescence was observed on foundation walls/floor. This is an indication of moisture intrusion. Recommend maintaining proper grading, clean (or add) gutters to prevent moisture intrusion. Seal or repair as needed.

Recommendation  
Contact a foundation contractor.



### 6.2.2 Foundation

## FOUNDATION REPAIR

 Recommendation / Improvement

Foundation shows evidence of a previous repair. This may have been a repair of typical shrinkage cracks. No structural damage was observed.

Recommendation  
Recommend monitoring.



### 6.3.1 Floor & Ceiling Structure

## EVIDENCE OF PRIOR WATER / MOISTURE

 Recommendation / Improvement

There were signs of past water intrusion in the underlying floor structure. This area was dry at the time of inspection. Recommend monitoring and identifying source of moisture and repairing if continues.



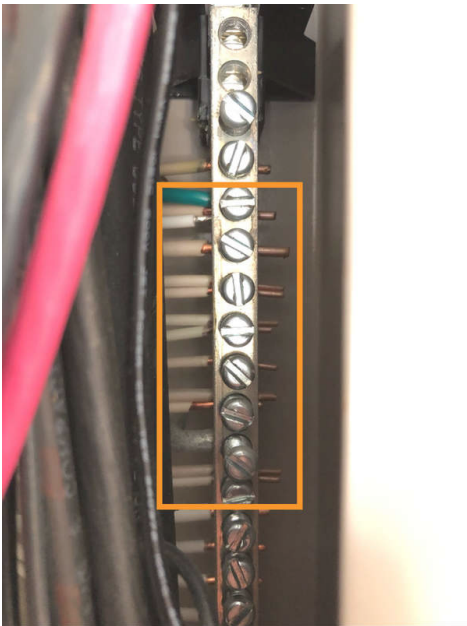
7.1.1 Main & Subpanels, Service & Grounding, Main Overcurrent Device

Recommendation / Improvement

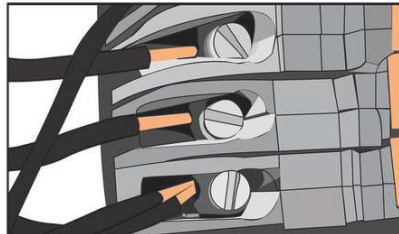
**DOUBLE TAPS**

Double tapped neutrals at the electrical panel should be repaired by a licensed electrician.

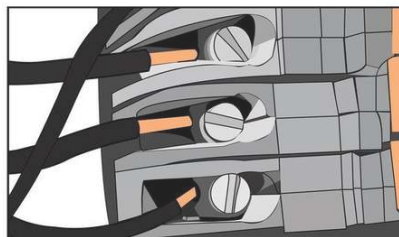
Recommendation  
Contact a qualified professional.



**Double-Tapped Breakers**



Don't 



Do 

© InterNACHI

7.1.2 Main & Subpanels, Service & Grounding, Main Overcurrent Device

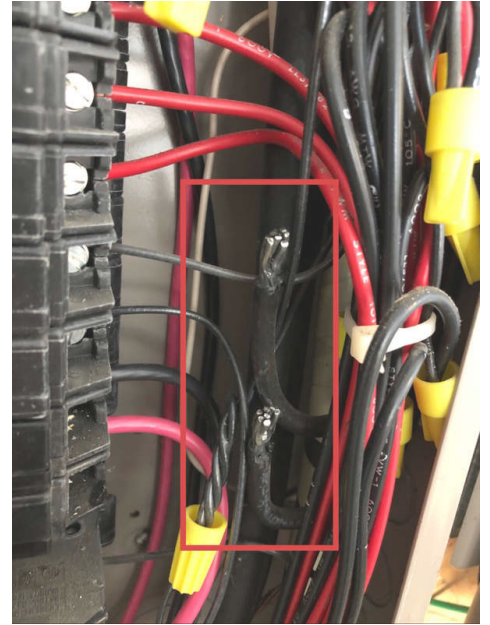
Observation/Concerns

**UNSAFE ELECTRICAL WIRING OBSERVED**



Evidence of a live disconnected electrical conductor was observed this is a safety hazard recommend licensed electrician to repair to prevent possible injury

Recommendation  
Contact a qualified electrical contractor.



7.3.1 Electrical Fixtures,  
Switches and Receptacles  
**LOOSE RECEPTACLE**

 Recommendation / Improvement

receptacle is not secured to the electrical box.

Recommendation  
Contact a qualified professional.

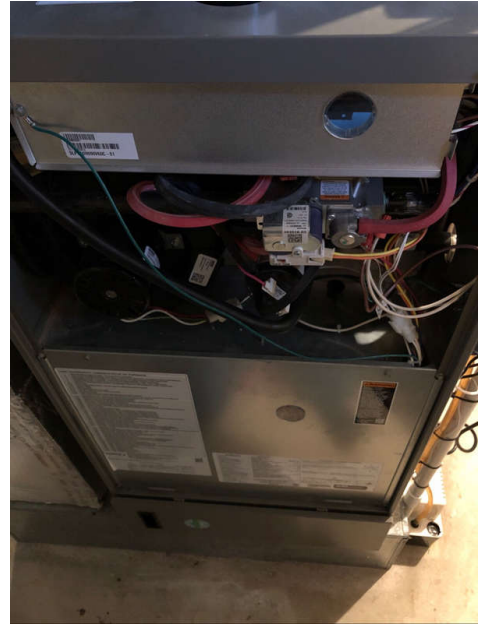


8.1.1 Heating Equipment  
**SEALED CHAMBER**

 Maintenance Item

The furnace was a high-efficiency system and had a sealed combustion chamber which would require invasive measures which lie beyond the scope of the General Home Inspection to inspect. The Inspector recommends that an evaluation be performed by a qualified heating, ventilation and air-conditioning (HVAC) contractor.

Recommendation  
Contact a qualified HVAC professional.



### 8.2.1 Cooling Equipment **INSULATION MISSING OR DAMAGED**

 Recommendation / Improvement

Missing or damaged insulation on refrigerant line can cause energy loss and condensation.

Recommendation  
Contact a qualified HVAC professional.

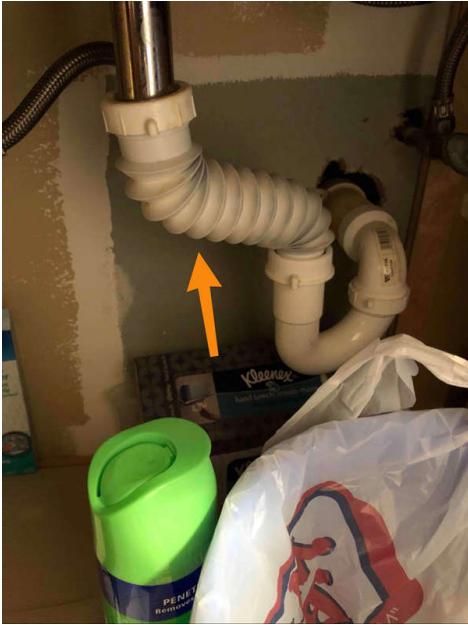


### 9.4.1 Drain, Waste, & Vent Systems (DWV) **ACCORDIAN DRAIN PIPE**

 Recommendation / Improvement

Bathroom drains have accordion style drain pipe present. This style of pipe is not recommend as the zig zag style of pipe can trap hair and gunk as well as slow down the flow of water.

Recommendation  
Contact a qualified plumbing contractor.



9.5.1 Water Heater System,  
Controls, Flues & Vents  
**NEAR END OF LIFE**

 Recommendation / Improvement

Water heaters have an average life span of 10 years. While operating as it should at the time of inspection, this water heater is approaching normal life expectancy. Recommend budgeting for replacement.

Recommendation  
Contact a qualified plumbing contractor.



9.5.2 Water Heater System, Controls, Flues & Vents

 Maintenance Item

**HOT/COLD BALL VALVES REVERSED**

The hot and cold ball valves are reversed. The red valve is on the cold water side and the blue on the hot water pipe.

Recommendation  
Contact a qualified professional.



10.4.1 Fixtures, Toilets, Tubs & Showers

 Recommendation / Improvement

### **SHOWER HEAD LOOSE**

Master Bathroom shower piping is loose. Recommend filling the back with spray foam which will insulate and keep the shower head pipe in place.

Recommendation

Contact a qualified professional.



11.5.1 Walls and Ceilings

 Recommendation / Improvement

### **MINOR CORNER CRACKS**

Minor cracks in walls appeared to be the result of long-term settling. Some settling is not unusual in a home of this age and these cracks are not a structural concern.

Recommendation

Contact a qualified professional.



Master Bedroom

11.5.2 Walls and Ceilings

 Recommendation / Improvement

### **UNFINISHED**

Observed section of drywall in the family room to have been patched but has not been sanded and painted.

Recommendation

Contact a handyman or DIY project



### 12.1.1 Washer/Dryer **RIBBED FOIL VENT**

 Recommendation / Improvement

The dryer was vented using a flexible, ribbed, foil-like vent that is not approved by the Underwriter's Laboratory (UL). This type of dryer exhaust vent is more likely to accumulate lint than a smooth metal vent, creating a potential fire hazard. Excessive lint accumulation can also increase drying time and shorten the dryer's lifespan. The Inspector recommends replacing this plastic vent with a properly-installed, UL-approved dryer vent. All work should be performed by a qualified contractor.

Recommendation  
Contact a handyman or DIY project



### 15.1.1 Fireplaces, Stoves & Inserts **GAS FIREPLACE (OK)**

 Maintenance Item

At the time of the inspection, the Inspector observed no deficiencies in the condition of the gas-fueled fireplace in the family room. Full inspection of gas-burning fireplaces lies beyond the scope of the General Home Inspection. For a full inspection to more accurately determine the condition of the fireplace and to ensure that safe conditions exist, the Inspector recommends that you have the fireplace inspected by an inspector certified by the Chimney Safety Institute of America (CSIA). Find a CSIA-certified inspector near you at <http://www.csia.org/search>

Recommendation  
Contact a qualified fireplace contractor.



### 16.2.1 Attic Insulation

#### PEST

Recommendation / Improvement

Evidence of pest and or rodent nesting was observed in attic area, recommend licensed pest control contractor to evaluate and repair as needed.

#### Recommendation

Contact a qualified pest control specialist.



### 16.3.1 Ventilation

#### EXHAUST DUCTS TO SOFFIT

Recommendation / Improvement

One or more exhaust fan ducts terminated at a soffit vent rather than at a dedicated hood or cap. Soffit vents are designed to allow cool air to be drawn into the attic, and to prevent excess moisture from accumulating in the attic. When such ducts are routed to terminate at soffit vents, the moist exhaust air may flow back into the attic and the soffit venting will be reduced. Recommend that a qualified contractor repair per standard building practices. For example, by installing approved hoods or caps at the roof surface or exterior wall(s), and permanently securing exhaust ducts to them.

#### Recommendation

Contact a qualified professional.



16.3.2 Ventilation

**PAN PRESENT UNDER EXHAUST**

 Recommendation / Improvement

Observed a foil pan present underneath the exhaust for the kitchen sink. The pan is dry and no moisture is present. Recommend asking the home owner what this may have been for??

