



**SUMMARY**  
1234 Main St. Jenison Michigan 49428  
Buyer Name  
11/08/2018 9:00AM

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2.1.1 Foundations, Basement and Crawlspace (Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components.)

Recommendation

### INTERIOR CRUMBLING/SPALLING

Some interior foundation walls are crumbling/spalling due to moisture intrusion. Some possible fixes are ensuring proper gutter drainage as well as ensuring landscaping near the home is sloped in such a way as to direct water away from the foundation will help prevent excessive water from penetrating into the bricks/blocks. The placement of one or more dehumidifiers to assist in removing moisture in the air is also recommended.

If the concrete continues to deteriorate further evaluation and/or repair by a foundation specialist is recommended.

Recommendation  
Recommend monitoring.



2.2.1 Walls (Structural)

### EXTERIOR SETTLING CRACK(S)

Recommendation

Settling cracks on the foundation exterior are present. Most settling cracks are common and do not pose a concern with the structural integrity of the foundation. However, cracks in the foundation wall can lead to leaks. Sealing and monitoring these areas is recommended.

Recommendation  
Recommended DIY Project



Rear

2.2.2 Walls (Structural)

**CRACKS/GAPS AT INTERIOR FOUNDATION**

 Recommendation

Settling cracks and/or gaps were observed on the interior foundation wall of the home. Proper sealing and monitoring is recommended to prevent future cracking and water intrusion into the basement/crawlspace. If cracking or gaps worsen, further evaluation by a foundation specialist is advised.

Recommendation  
Recommended DIY Project



2.2.3 Walls (Structural)

**FOUNDATION WALL-CRUMBLING/SPALLING**

 Recommendation

The foundation wall is crumbling/spalling in this area which is most likely caused by excessive moisture. Ensuring proper gutter drainage as well as ensuring landscaping near the home is sloped in such a way as to direct water away from the foundation will help prevent excessive water from penetrating into the bricks/blocks. Patching this area should be performed.

If this area continues to degrade, further evaluation and/or repair by a foundation specialist is recommended.

Recommendation  
Recommend monitoring.



Left Side



Right Side

2.3.1 Columns or Piers

**ADJUSTABLE JACKPOSTS PRESENT**

 Recommendation

Split-pinned or telescopic jack post(s) /column(s) are being utilized in a permanent use application. All split type jack posts or telescopic posts/columns are designed for temporary use only. I recommend the improperly used split-pinned or telescopic adjustable post(s) /column(s) being utilized as permanent supports, be replaced with proper cement filled lally columns or approved adjustable solid steel columns designed for permanent use.

Additionally it should be ensured that the new columns have appropriately sized footings under each column.

Recommendation  
Contact a qualified professional.



2.3.2 Columns or Piers

**DAMAGED FOUNDATION BLOCK**

 Recommendation

One or more foundation blocks are damaged and are in need of repair by a licensed foundation specialist.

Recommendation  
Contact a foundation contractor.



Crawlspace

2.3.3 Columns or Piers

**COLUMNS-POSITIVE CONNECTION NEEDED**

 Recommendation

Where posts and beam or girder construction is used to support floor framing, positive connections, such as bolts and nails for wood columns, or bolts or welds for metal columns, should be used to ensure against uplift & lateral displacement. Correction is recommended.

Recommendation  
Contact a qualified professional.



All





All



#### 2.4.1 Floors (Structural)

### IMPROPERLY NOTCHED FLOOR JOIST(S)

 Recommendation

One or more joists are improperly notched or bored which reduces the load-bearing capacity to support the floor above.

Adding additional support in this area by a licensed contractor is recommended.

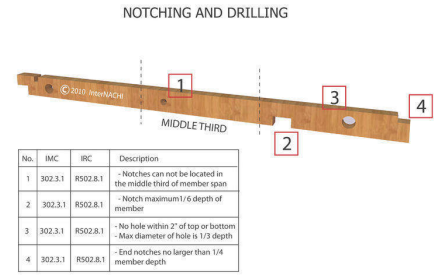
Recommendation

Contact a qualified professional.





Crawlspace



Notching reference

2.4.2 Floors (Structural)

**MISSING JOIST HANGER(S)**

Recommendation

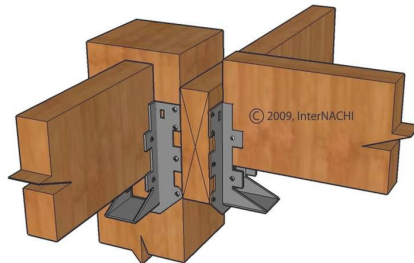
The floor joists should be secured to the band joist with appropriately sized joist hangers for proper support. Correction is recommended.

Recommendation

Contact a qualified carpenter.



Joist Hanger



Joist hanger example

2.6.1 Roof Structure and Attic

**SAGGING ROOF**

 Recommendation

Undersized rafters, inadequate internal bracing and other construction or design issues sometimes fail to provide adequate support.

Snow and ice loads can also cause weight issues for homes in northern climate zones, as well as prolonged stress over the years due to the age of the home may result in sagging. Additional bracing by a licensed roofing contractor may be needed if sagging continues.

Recommendation

Contact a qualified roofing professional.



2.6.2 Roof Structure and Attic

**SAGGING ROOF**

 Recommendation

This area of the roof is sagging. There are several reasons why a roof can sag over time to include the age of the home and seasonal snow load as examples. Additional bracing could be installed in these areas to prevent future sagging. Further evaluation by a licensed roofer is recommended.

Recommendation

Contact a qualified roofing professional.



4.1.1 Plumbing Drain, Waste and Vent Systems

**S-TRAP INSTALLED**

 Recommendation

An S-trap has been installed which is and should be changed to a P-trap and vented to the exterior.

S-traps have the potential to suck, or siphon, water out of the trap as the water flows down the drain which can allow sewer gasses and foul odors to enter the home. If an odor is noticed, correction by a licensed plumber is recommended.

Recommendation

Recommend monitoring.



Kitchen



Bathroom



2nd Floor Bathroom



### CORROSION ON PIPING

Water pipe corrosion is present at one or more connections and is in need of replacement by a licensed plumber.

Recommendation

Contact a qualified plumbing contractor.



Above Water Heater



Crawlspace

### BUSHINGS RECOMMENDED

Wiring that enters the panel should be solidly anchored and protected where it enters the panel by a bushing to prevent the sharp edges of the panel box from damaging the wiring and creating an equipment/safety hazard. Recommend installation of the proper connectors by a licensed electrical contractor.

Recommendation

Contact a qualified electrical contractor.



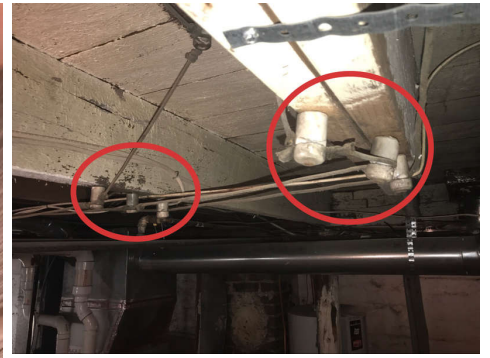
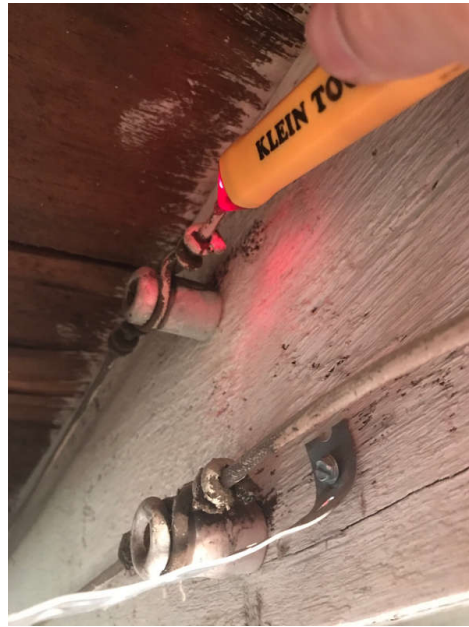
### KNOB & TUBE PRESENT

This property has knob and tube wiring which was commonly installed prior to 1950. It is ungrounded, and considered unsafe by today's standards. Over time, the wire's insulation becomes brittle and falls apart, resulting in exposed conductors and a risk of shock and/or fire. This wiring is also easily damaged by covering it with insulation (a common practice), and incorrectly tapping new wiring into it.

Some energized knob and tube wiring was found during the inspection. It is not within the scope of this inspection to determine what percentage of this property's wiring is of the knob and tube type or to determine what percentage of the knob and tube wiring is energized vs. abandoned. A qualified electrician should evaluate this wiring and make repairs or replace wiring as necessary.

Recommendation

Contact a qualified electrical contractor.



5.3.2 Branch Circuit Conductors, Overcurrent Devices and Compatibility of their Amperage and Voltage

 Recommendation

### OLD NON-METALLIC WIRING PRESENT

Old non metallic (NM) wiring is present in the home. Common concerns with older NM wires are that the cloth sheathing and the wire insulation deteriorates and becomes brittle with age. The other concern, shared by most old wiring methods, is lack of a grounding conductor. Upgrading to current standards by a licensed electrician is recommended.

Recommendation  
Contact a qualified electrical contractor.



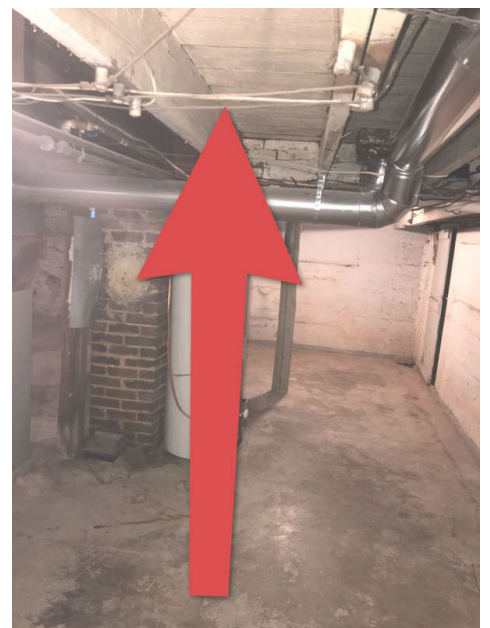
5.3.3 Branch Circuit Conductors, Overcurrent Devices and Compatibility of their Amperage and Voltage

 Safety Concern

### WIRES-LOW CLEARANCE-SAFETY CONCERN

Current standards require all electrical wiring to be placed through floor joists if run perpendicular to the joists. Additionally, the low clearance of the floor structure places these wires in a position to be snagged or walked into/touched and is a safety hazard. Correction by a licensed electrician is recommended.

Recommendation  
Contact a qualified electrical contractor.





5.4.1 Connected Devices and Fixtures  
(Observed from a representative number  
operation of ceiling fans, lighting fixtures,  
switches and receptacles located inside the house, garage, and on the  
dwelling's exterior walls)

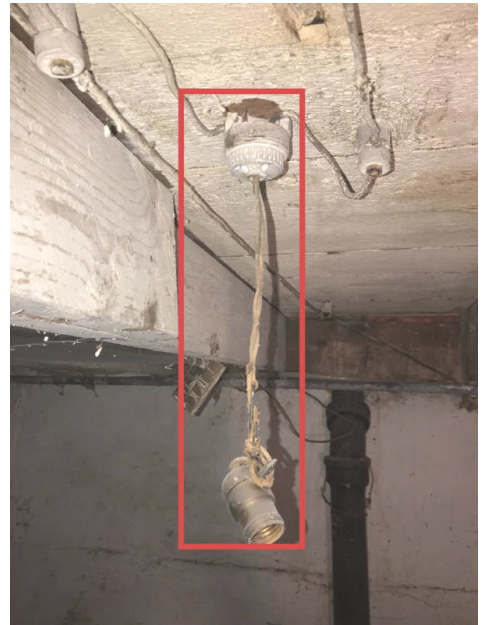
 Recommendation

### OUTDATED LIGHT FIXTURE

The home has an antiquated knob & tube light fixture. This should be upgraded to a modern light fixture by a licensed electrician.

Recommendation

Contact a qualified electrical contractor.



Basement

5.4.2 Connected Devices and Fixtures  
(Observed from a representative number  
operation of ceiling fans, lighting fixtures,  
switches and receptacles located inside the house, garage, and on the  
dwelling's exterior walls)

 Recommendation

### UNGROUND 3-PRONG OUTLET(S)

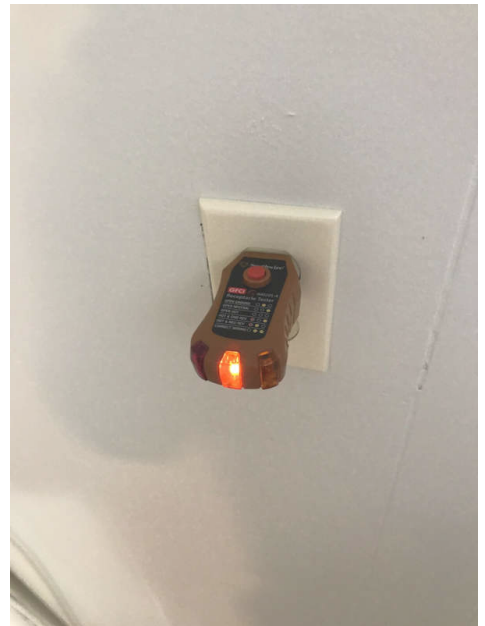
One or more 3-prong outlets were determined to be ungrounded when tested. This can be corrected by installing a grounded GFCI receptacle or upgrading to a grounded 3-prong receptacle by a licensed electrician.

The attached pictures are representative of the overall condition of the home's electrical outlets.

**Performing any type of electrical repair to include installation of receptacle or junction box covers has inherent safety risks. It is extremely important to ensure all electric power is disconnected and proper protective equipment is worn if you choose to perform this task yourself. If you are uncomfortable with performing this task yourself, a licensed electrician is recommended.**

Recommendation

Contact a qualified electrical contractor.



Kitchen-all

5.5.1 Polarity and Grounding of Receptacles  
within 6 feet of interior plumbing fixtures, all  
receptacles in garage, carport and exterior  
walls of inspected structure

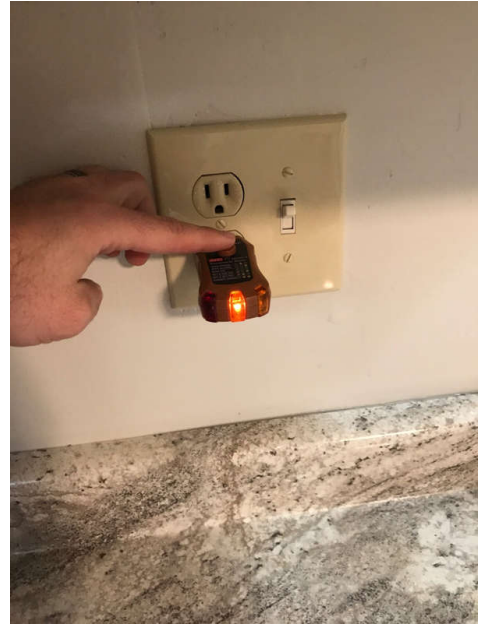
 Recommendation

### KITCHEN OUTLET(S) - NOT GFCI PROTECTED

All outlets within 6' of a water or moisture source should be GFCI protected in accordance with today's standards. Updating to current standards by a licensed electrician is recommended.

Recommendation

Contact a qualified electrical contractor.



All

#### 5.9.1 Carbon Monoxide Detector(s)

### **CARBON MONOXIDE DETECTOR NOT PRESENT**



I was unable to locate a carbon monoxide detector in the home. Carbon monoxide detectors are an important safety component of a home and should be installed for safety.

Recommendation  
Recommended DIY Project

#### 6.2.1 Ceilings

### **SAGGING CEILING-MOISTURE**



The ceiling is sagging in this area. Water leaks, moisture, poor installation, and even the age of a home can cause a ceiling to sag over time. Monitoring this area is recommended. If sagging worsens a qualified professional should be consulted.

Recommendation  
Recommend monitoring.



#### 6.5.1 Steps, Stairways, Balconies and Railings

### **STAIRWAY NEEDS CONTINUOUS, GRASPABLE RAILING**



The stairs are in need of a continuous graspable railing spanning the full length of the staircase to prevent a falling injury.

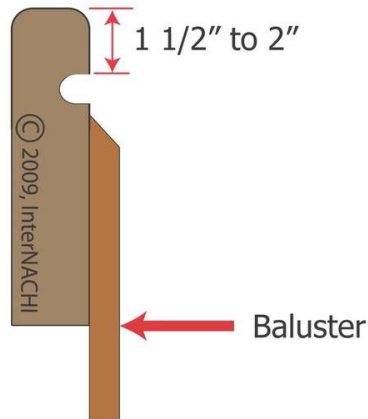
Recommendation  
Recommended DIY Project





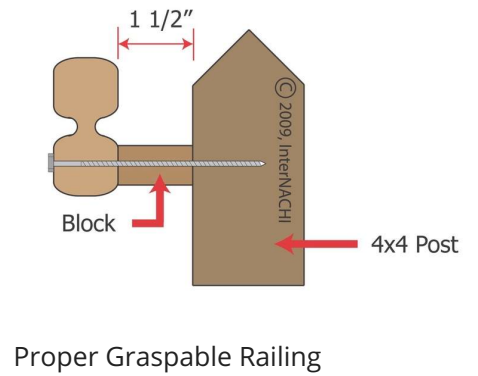
Basement

### Handrail Grip

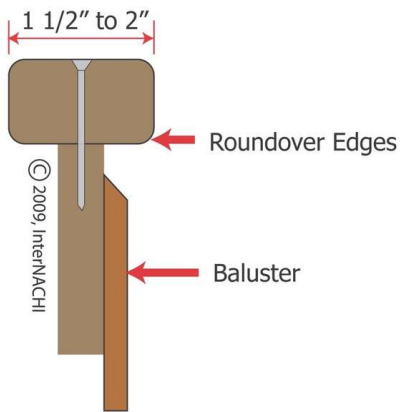


Proper Graspable Railing

### Handrail Grip



### Handrail Grip



Proper Graspable Railing

## 6.7.2 Windows (representative number)

### DOES NOT OPEN



Recommendation

One or more windows do not open, or are difficult to open. This can be due to the expansion of the wood frame due to humidity or can be sealed shut by paint. Replacement may be needed.

#### Recommendation

Contact a qualified window repair/installation contractor.



### 9.1.1 Roof Coverings

#### **DAMAGED SHINGLE(S)**

One or more shingles are damaged and in need of replacement to prevent water penetration into the attic structure.

Recommendation

Contact a qualified roofing professional.



Recommendation



### 9.2.1 Flashings

#### **MISSING FLASHING**

It does not appear flashing was installed at the roof and wall juncture. Flashing is critical in preventing water from entering the roof structure which can cause rot and leaks. Correction by a licensed roofing contractor is recommended.

Recommendation

Contact a qualified roofing professional.



Recommendation





9.3.1 Skylights, Chimneys and Roof Penetrations

 Recommendation

**FAILING CAULK/PATCHING**

The patching around this roof penetration has shrunk or cracked creating gaps for water to penetrate. Sealant will eventually dry, shrink and crack. Replacement with proper flashing, or annual inspection and re-application of an appropriate sealant as necessary is recommended

Recommendation

Contact a handyman or DIY project



Antennae

9.3.2 Skylights, Chimneys and Roof Penetrations

 Recommendation

**CHIMNEY - DETERIORATED MORTAR**

Chimney mortar has deteriorated in areas to prevent water intrusion which can cause future brick spalling and cracking. Repair is recommended by a licensed chimney contractor.

Recommendation

Contact a qualified chimney contractor.



9.3.4 Skylights, Chimneys and Roof Penetrations

 Recommendation

**SPALLING/DAMAGED BRICKS**

Chimney bricks are damaged/spalling due to moisture and are in need of repair by a licensed chimney repair contractor.

Recommendation

Contact a qualified chimney contractor.



9.3.5 Skylights, Chimneys and Roof Penetrations

Recommendation

**HEAVILY PATCHED CHIMNEY FLASHING**

The chimney flashing has been heavily patched. The patching will fail over time and should not be relied upon to prevent water intrusion. Re-flashing the chimney is recommended.

Recommendation  
Contact a qualified roofing professional.



9.3.6 Skylights, Chimneys and Roof Penetrations

Recommendation

**CHIMNEY-IMPROPER SHINGLE PLACEMENT**

Shingles have been installed on top of the chimney flashing which can channel water under the shingles. Correction by a licensed roofing contractor is recommended.

Recommendation  
Contact a qualified roofing professional.



Proper Chimney Flashing Example

9.3.7 Skylights, Chimneys and Roof Penetrations

Recommendation

**IMPROPER FLASHING**

The flashing in this area is improper and risks water intrusion. Correction by a licensed roofing contractor is recommended.

Recommendation  
Contact a qualified roofing professional.

9.3.8 Skylights, Chimneys and Roof Penetrations

Recommendation

**MISSING FLASHING**

Flashing does not appear to have been installed for this roof penetration risking water intrusion. Correction by a licensed roofing contractor is recommended.

Recommendation  
Contact a qualified professional.



