



2.2.1 Roof Drainage Systems

DEBRIS

Debris has accumulated in the gutters. Recommend cleaning to facilitate water flow.

[Here is a DIY resource](#) for cleaning your gutters.

Recommendation

Contact a qualified roofing professional.



2.2.2 Roof Drainage Systems

DOWNSPOUTS DRAIN NEAR HOUSE

One or more downspout drains are too close to the home's foundation. This can result in excessive moisture in the soil at the foundation, which can lead to foundation/structural movement. Recommend a qualified contractor adjust downspout extensions to drain at least six feet from the foundation.

[Here is a helpful DIY link](#) and video on draining water flow away from your house.

Recommendation

Contact a qualified roofing professional.



2.3.1 Flashings

MISSING

Flashings were missing at time of inspection. Flashings provide protection against moisture intrusion. Recommend a qualified roofing contractor evaluate and remedy kick out flashings around the chimney.

Recommendation

Contact a qualified roofing professional.



2.4.1 Skylights, Chimneys & Other Roof Penetrations

CHIMNEY CAP MISSING

No chimney cap was observed. This is important to protect from moisture intrusion and protect the chimney. Recommend a qualified roofer or chimney expert install.

Recommendation

Contact a qualified roofing professional.



3.2.1 Exterior Doors

UNABLE TO OPEN AND OPERATE DEADBOLT

Recommendation
Contact a qualified professional.



3.2.2 Exterior Doors

DOOR KNOB IS LOOSE

Door knob is loose.

Recommendation
Contact a qualified professional.



3.3.1 Walkways, Patios & Driveways

DRIVEWAY CRACKING - MINOR

Minor cosmetic cracks observed, which may indicate movement in the soil. Recommend monitor and/or have concrete contractor patch/seal.

Recommendation
Contact a qualified concrete contractor.



5.1.1 Equipment

DAMAGED FLUE PIPE

Recommendation

Contact a qualified professional.

5.1.2 Equipment

FILTER DIRTY

The furnace filter is dirty and needs to be replaced every six months.

Here is a DIY video on changing your furnace filter:



Recommendation

Contact a qualified HVAC professional.

5.1.3 Equipment

NEEDS SERVICING/CLEANING

Furnace should be cleaned and serviced annually. Recommend a qualified HVAC contractor clean, service and certify furnace.

[Here is a resource](#) on the importance of furnace maintenance.

Recommendation

Contact a qualified HVAC professional.



5.4.1 Vents, Flues & Chimneys

DAMNEDEST FLU PIPE

 Safety Hazard

This pipe draws combustible air from the outside giving the appliance the needed oxygen to run correctly. In its current state, it has the potential to draw carbon monoxide into the room from other appliances such as the water heater. Recommend servicing by a qualified HVAC technician as soon as possible.

Recommendation

Contact a qualified professional.



7.4.1 Hot Water Systems, Controls, Flues & Vents

NO DRIP PAN

No drip pan was present. Recommend installation by a qualified plumber.

Recommendation

Contact a qualified plumbing contractor.



7.4.2 Hot Water Systems, Controls, Flues & Vents

NO EXPANSION TANK

No expansion tank was present. Expansion tanks allow for the thermal expansion of water in the pipes. These are required in certain areas for new installs. Recommend a qualified plumber evaluate and install.

Recommendation

Contact a qualified plumbing contractor.

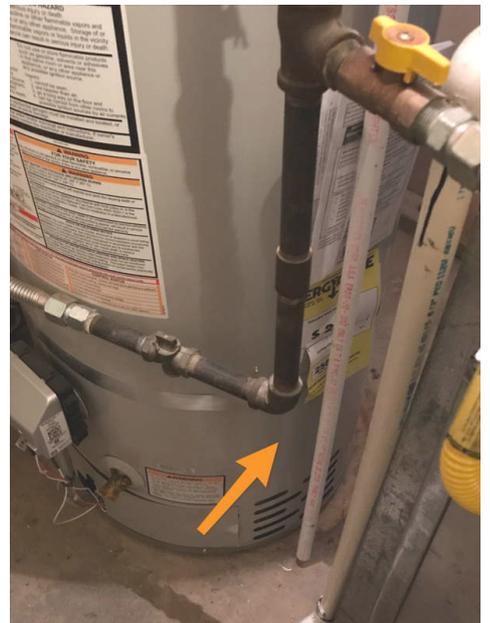


7.4.3 Hot Water Systems, Controls, Flues & Vents

GAS LINE DRIP LEG MISSING

Recommendation

Contact a qualified professional.



8.2.1 Main & Subpanels, Service & Grounding, Main Overcurrent Device

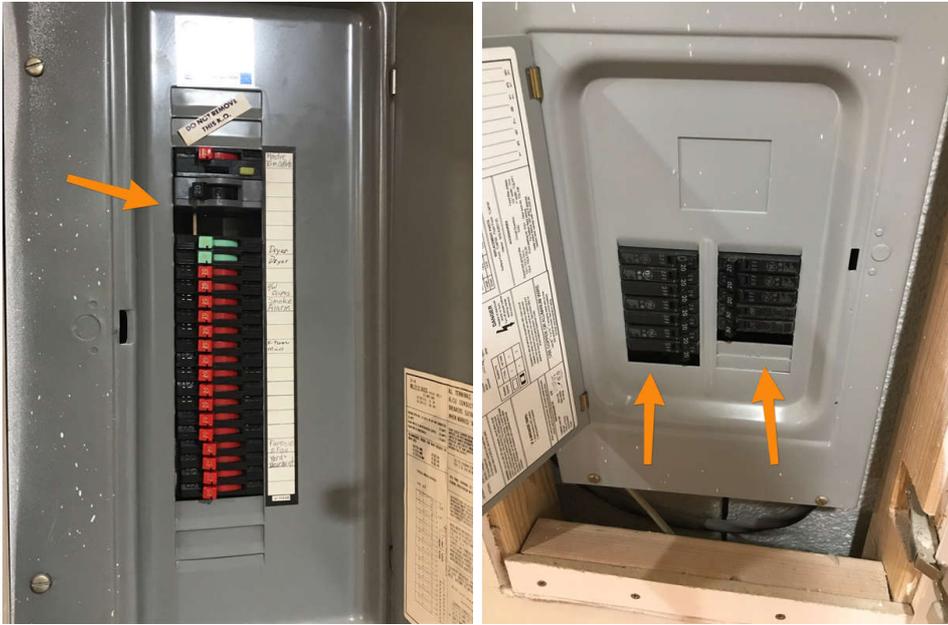
KNOCKOUTS MISSING

"Knockouts" are missing on the electric panel. This poses a safety hazard and it is recommended that the opening in the panel caused by the missing knockout(s) be properly sealed by a licensed electrician.

Recommendation

Contact a qualified electrical contractor.





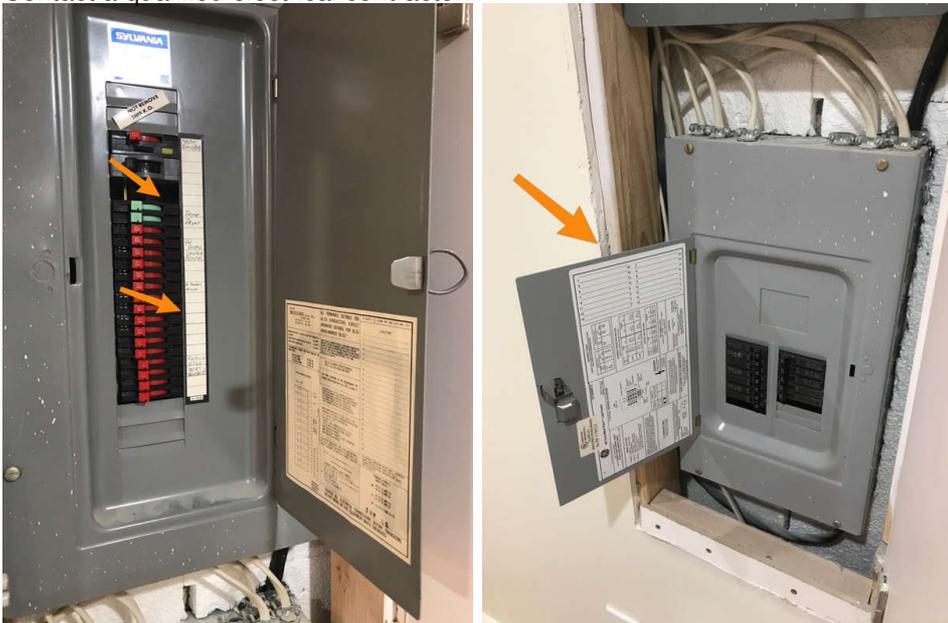
8.2.2 Main & Subpanels, Service & Grounding, Main Overcurrent Device

MISSING LABELS ON PANEL

At the time of inspection, panel was missing labeling. Recommend a qualified electrician or person identify and map out locations.

Recommendation

Contact a qualified electrical contractor.



8.4.1 Lighting Fixtures, Switches & Receptacles

BATHROOM FAN IS IN OPERABLE

Recommendation

Contact a qualified professional.



8.4.2 Lighting Fixtures, Switches & Receptacles

LIGHT SWITCH IS RUNNING HOT

Recommend replacement by a competent licensed electrician.

Recommendation
Contact a qualified professional.



8.4.3 Lighting Fixtures, Switches & Receptacles

NO POWER TO RECEPTACLES

Recommendation
Contact a qualified professional.



8.4.4 Lighting Fixtures, Switches & Receptacles

COVER PLATES DAMAGED

One or more receptacles have a damaged cover plate. Recommend replacement.

Recommendation

Contact a qualified electrical contractor.



8.4.5 Lighting Fixtures, Switches & Receptacles

COVER PLATES MISSING

One or more receptacles are missing a cover plate. This causes short and shock risk. Recommend installation of plates.

Recommendation
Contact a qualified electrical contractor.



8.4.6 Lighting Fixtures, Switches & Receptacles

LIGHT INOPERABLE

One or more lights are not operating. New light bulb possibly needed.

Recommendation
Contact a qualified electrical contractor.





8.4.7 Lighting Fixtures, Switches & Receptacles

COVER PLATE MISSING SCREWS

Recommendation

Contact a qualified professional.



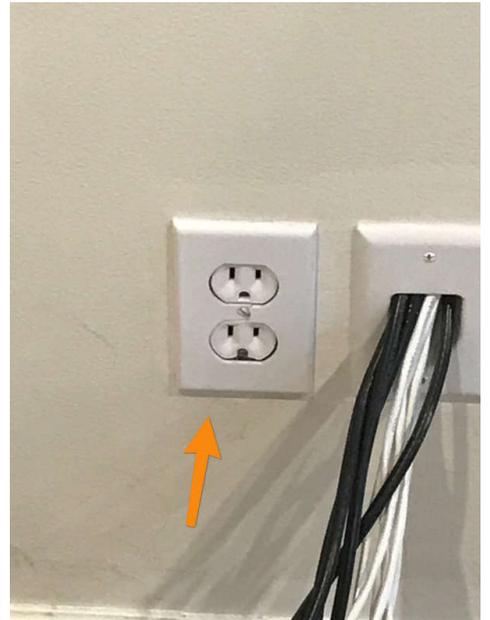
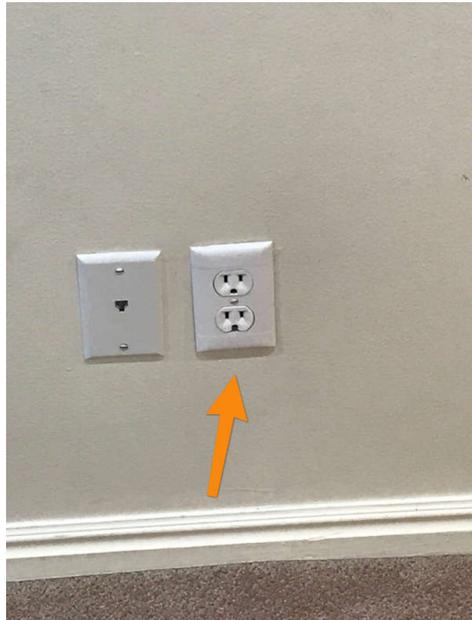
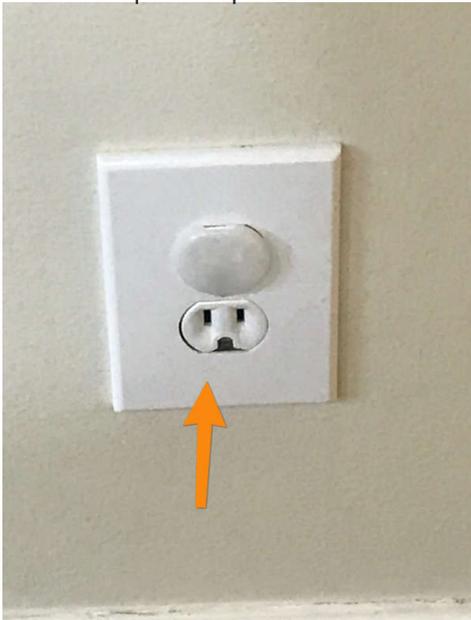


8.4.8 Lighting Fixtures, Switches & Receptacles

RECEPTACLE DAMAGED

This receptacle is slightly broken as discussed.

Recommendation
Contact a qualified professional.





8.6.1 Smoke Detectors

MISSING SMOKE DETECTOR

Recommendation

Contact a qualified professional.





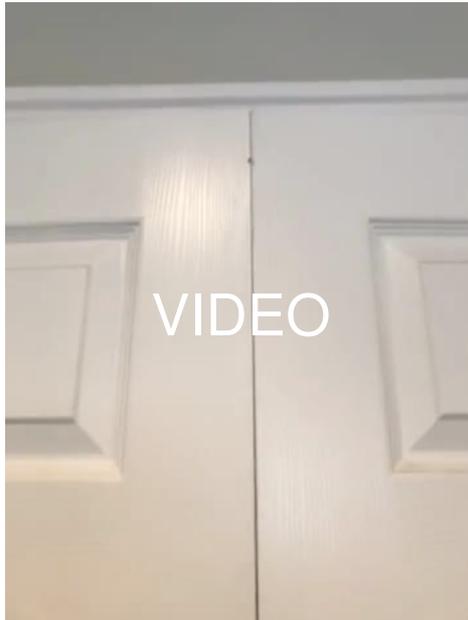
10.1.1 Doors

CLOSET DOORS OUT OF ALIGNMENT

Out of alignment resulting in doors rubbing on one another.

Recommendation

Contact a qualified professional.



10.1.2 Doors

DOOR DOESN'T LATCH

Door doesn't latch properly. Recommend handyman repair latch and/or strike plate.

Recommendation

Contact a qualified handyman.



10.2.1 Windows

NEEDS TO BE CAULKED

Needs to be caulked. Recommend that windows are sealed and caulked to prevent moisture intrusion.

Recommendation

Contact a qualified professional.





10.3.1 Floors

CARPET STAINS

Carpet had areas of staining or discoloration. Recommend a thorough steam clean by a qualified carpet cleaning company.

Recommendation

Contact a qualified cleaning service.



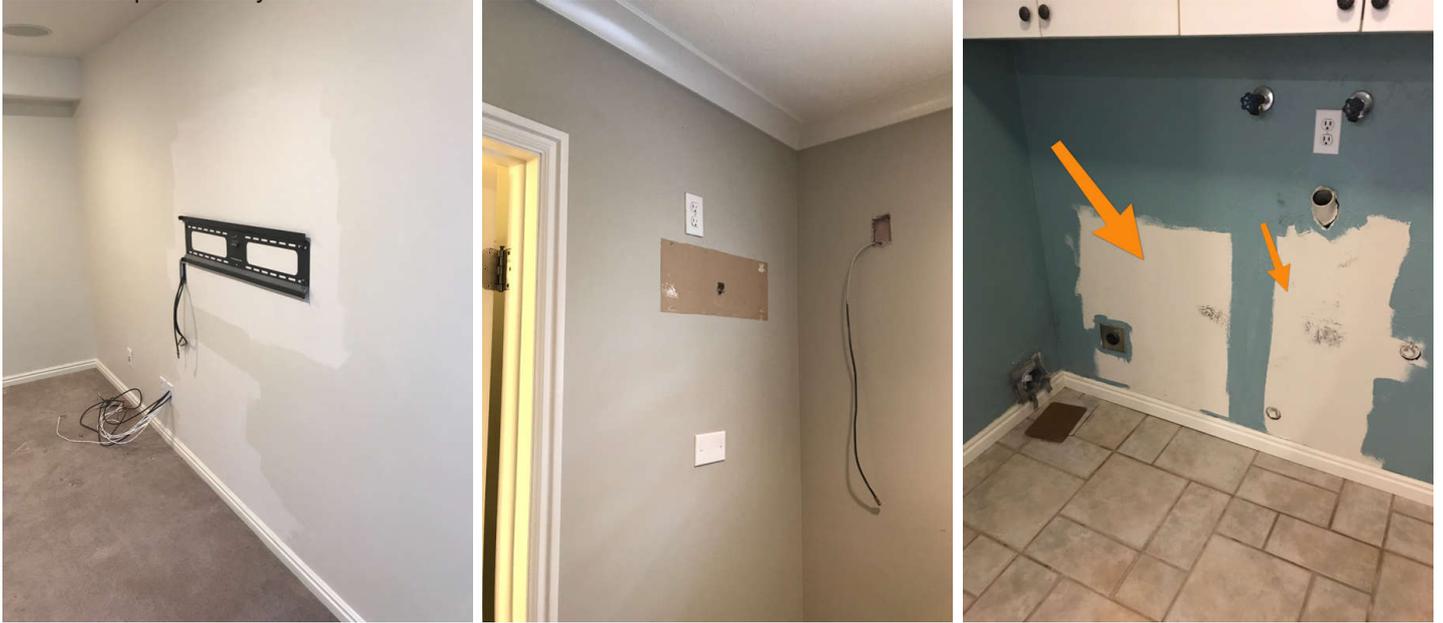
10.4.1 Walls

POOR PATCHING

Sub-standard drywall patching observed at time of inspection. Recommend re-patching.

Recommendation

Contact a qualified drywall contractor.



10.4.2 Walls

CRACKS HOLES AND DAMAGE

Cracks, holes and damage found in various parts of the drywall throughout the home. Recommend a competent drywall contractor to make repairs as needed.

Recommendation

Contact a qualified professional.



10.5.1 Ceilings

MINOR DAMAGE

Minor damage or deterioration to the ceiling was visible at the time of the inspection.

Recommendation

Contact a qualified professional.



10.5.2 Ceilings

STAIN(S) ON CEILING

There is a stain on ceiling/wall that requires repair and paint. Source of staining should be determined.

Recommendation

Contact a qualified professional.



10.5.3 Ceilings

MINOR CRACKING

Cracks in the ceiling were visible at time of inspection.

Recommendation

Contact a qualified professional.



11.3.1 Range/Oven/Cooktop
OVEN NOT HEATING UP

Gas oven wasn't heating up at time of inspection. Recommend a qualified appliance contractor evaluate and repair.

[Here is a DIY troubleshooting tip.](#)

Recommendation
Contact a qualified professional.

