



SUMMARY
1234 Main St. Lansdale Pennsylvania
19446
Buyer Name
05/08/2019 9:00AM

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It is recommended that any noted deficiencies be evaluated and repaired by a certified contractor of trade.

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2.1.1 General

END OF LIFE EXPECTANCY



The roof surface was significantly deteriorated and appeared to be at or beyond its service life. It needs replacing now. This is a conducive condition for wood-destroying organisms. Consult with a qualified contractor to determine replacement options. Note that some structural repairs are often needed after old roof surfaces are removed and the structure becomes fully visible. Related roofing components such as flashings and vents should be replaced or installed as needed and per standard building practices.

Recommendation

Contact a qualified professional.

2.1.2 General

LEAKING FROM UNDERSIDE OF ROOF



There was elevated moisture content on the underside of the roof covering. We recommend a licensed roofer further evaluate and make necessary repairs

* See attic section

Recommendation

Contact a qualified professional.

2.3.1 Shingles

MOSS ON SHINGLES



Moss was growing on the roof. As a result, shingles can lift or be damaged. Leaks can result and/or the roof surface can fail prematurely. Efforts should be made to kill the moss during its growing season (wet months). Typically, zinc or phosphate-based chemicals are used for this and must be applied periodically.

Recommendation

Contact a qualified professional.



2.3.2 Shingles **NAIL POPS**



One or more roofing nails weren't fully seated and shingles were lifting or nail heads were protruding through shingle surfaces. The nails may have loosened, or were not pounded in fully when installed. Shingles are likely to be wind damaged, and leaks can occur as a result. Recommend that a qualified contractor repair as necessary. For example, by replacing shingles.

Recommendation

Contact a qualified roofing professional.



2.3.3 Shingles **SHINGLE CRACKING**



Several shingles are cracking. Cracking can occur from shingle age and/or ventilation issues. Roof leaks may occur. A certified roofing contractor should evaluate as the shingles may be at the end of life expectancy.

Recommendation
Contact a qualified roofing professional.



2.3.4 Shingles

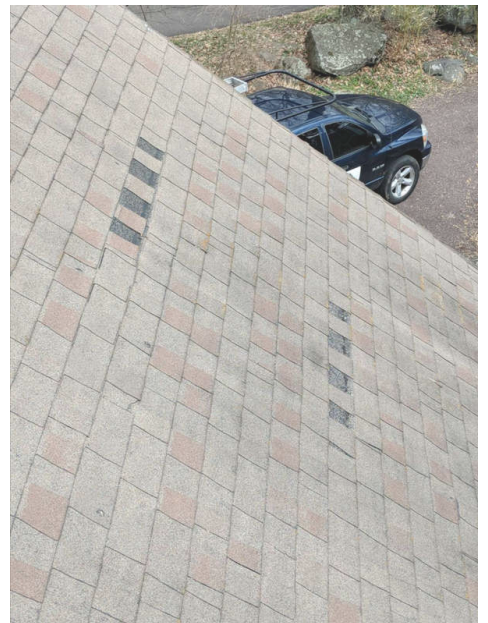
SHINGLES MISSING



Safety/Immediate Attention

Roofing shingles were missing. This can cause deterioration and moisture intrusion. Leaks can occur as a result. This is a conducive condition for wood-destroying organisms, e.g. wood fungi. Recommend that a qualified contractor repair as necessary. For example, by replacing shingles.

Recommendation
Contact a qualified roofing professional.



2.3.5 Shingles

GRANULE LOSS



Deficiencies

There is granule loss on the shingles. Based on the age of this roof the granule loss is considered normal. It is recommended to have the roof evaluated by a certified roofing contractor.

Recommendation
Contact a qualified roofing professional.



2.5.1 Gutters/drains

CLOGGED GUTTERS/DOWNSPOUTS

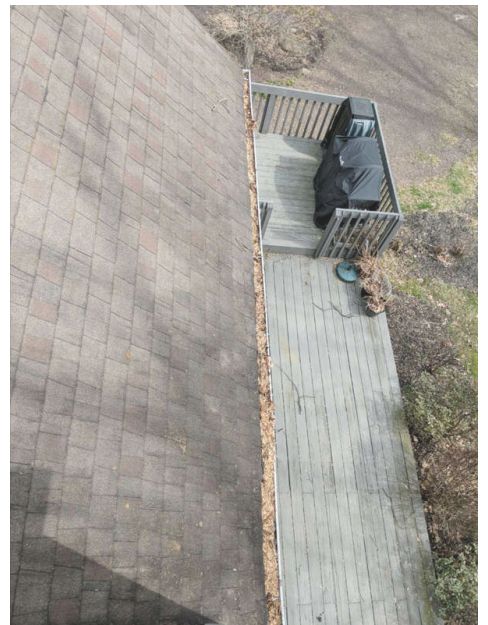


Maintenance/Monitor

Significant amounts of debris have accumulated in one or more gutters or downspouts. Gutters can overflow and cause water to come in contact with the building exterior, or water can accumulate around the foundation. This is a conducive condition for wood-destroying organisms. Recommend cleaning gutters and downspouts now and as necessary in the future.

Recommendation

Recommended DIY Project



2.6.1 Flashing/Vents

DRIP EDGE MISSING



Maintenance/Monitor

No "drip edge" flashing was visible at roof eaves (lower edges) or rakes (gable end edges). Drip edge helps prevent water from soaking into the edges of the roof sheathing material (typically plywood or oriented strand board). This reduces the chance of fungal rot or deterioration from water damage in the roof sheathing. Recommend that a qualified contractor install drip edge flashings where missing and per standard building practices

Recommendation

Contact a qualified roofing professional.

2.6.2 Flashing/Vents

RIDGE VENTS LIFTED



Deficiencies

The ridge vents we're lifted or loose. A licensed roofer should repair the ridge vents

Recommendation

Contact a qualified roofing professional.



3.3.1 Exterior issues

FAUCET HANDLE ISSUE



Maintenance/Monitor

One or more hose faucet handles were *missing / loose / broken*. Recommend that a qualified person replace handles or make repairs as necessary.

Recommendation

Contact a qualified professional.



3.3.2 Exterior issues

PAINT FAILING

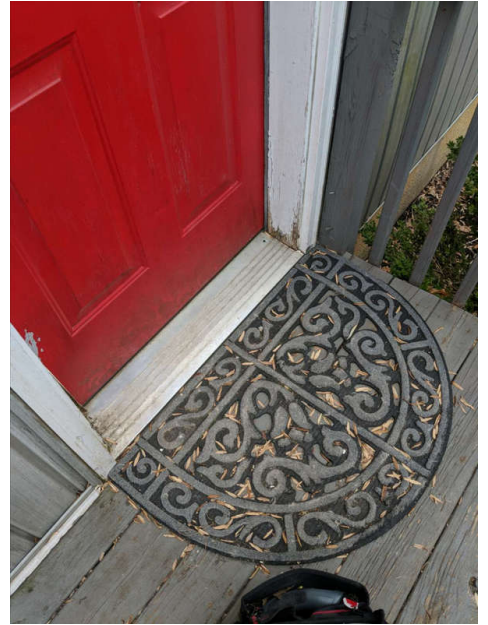


Maintenance/Monitor

The paint or stain finish in some areas was failing (e.g. peeling, faded, worn, thinning). Siding and trim with a failing finish can be damaged by moisture. Recommend that a qualified contractor prep (e.g. clean, scrape, sand, prime, caulk) and repaint or restain the building exterior where necessary and per standard building practices.

Recommendation

Contact a qualified painting contractor.



3.3.3 Exterior issues

SEALANT DETERIORATED AROUND EXTERIOR FIXTURES



Maintenance/Monitor

Sealant is deteriorated around exterior fixtures where they exit the wall (i.e. Hose faucets, conduit, lights, wires). These areas should be properly sealed to help prevent moisture intrusion.

Recommendation

Contact a handyman or DIY project



3.5.1 Windows and Door

SCREEN TORN

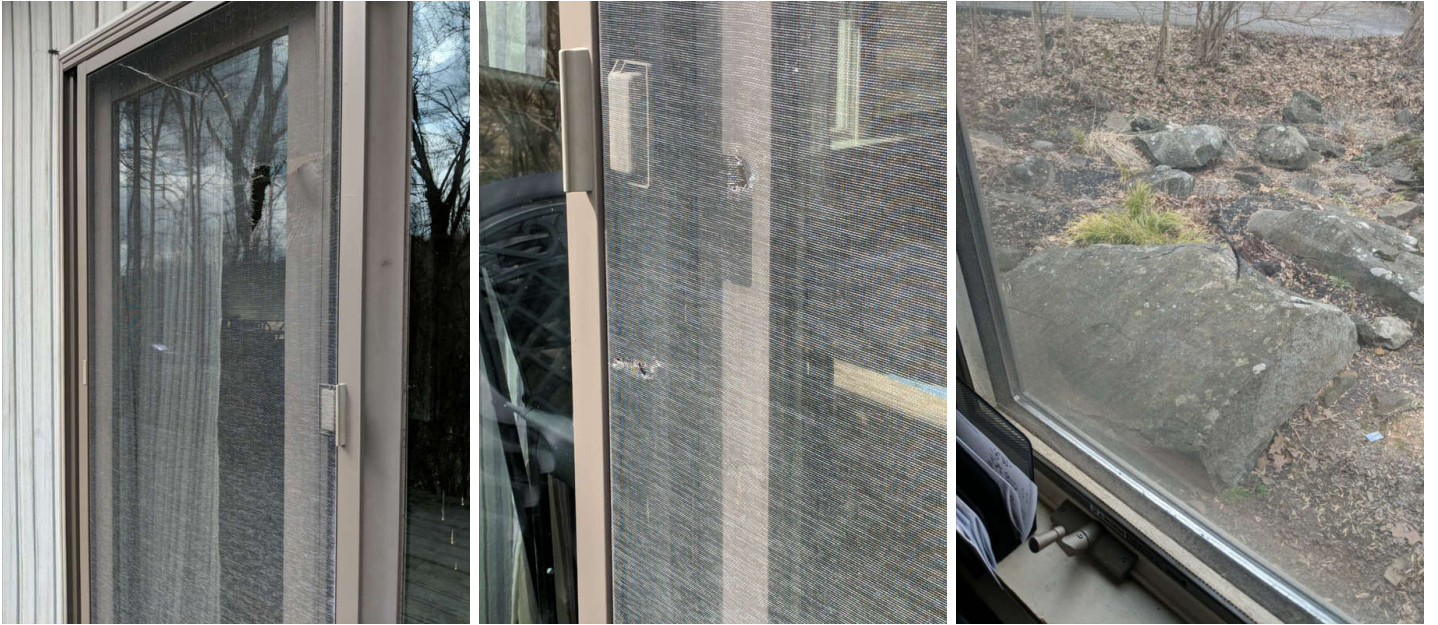
One or more screens are torn in the frame(s).

Recommendation

Contact a qualified professional.



Maintenance/Monitor



3.5.2 Windows and Door

WINDOW TRIM DAMAGED

The window trim is damaged. We recommend it be repaired or replaced

Recommendation

Contact a qualified professional.



Deficiencies



3.7.1 Gutters and Flashing

DOWNSPOUT DISCHARGE

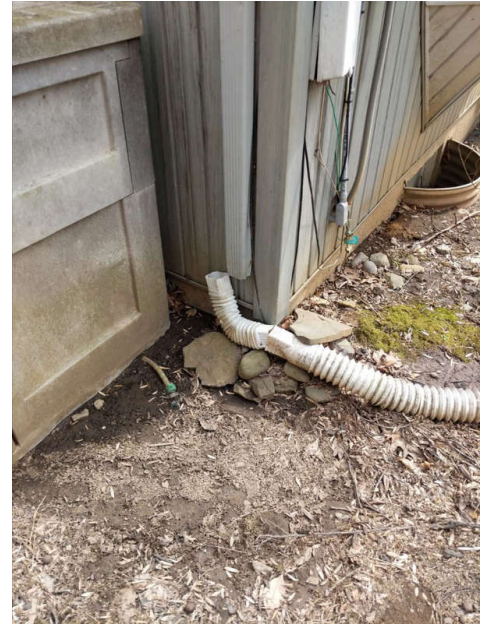
One or more of the downspouts terminate next to the house. We recommend extending the downspout is charge away from the home to prevent water pooling at the foundation

Recommendation

Contact a qualified professional.



Deficiencies



3.8.1 Vegetation and Grading

VEGETATION



Maintenance/Monitor

Vegetation such as trees, shrubs and/or vines was in contact with or close to the building exterior. Vegetation can serve as a pathway for wood-destroying insects and can retain moisture against the exterior after it rains. This is a conducive condition for wood-destroying organisms. Recommend pruning, moving or removing vegetation as necessary to maintain at least 6 inches of space between it and the building exterior. A 1-foot clearance is better.

Recommendation

Contact a qualified landscaping contractor



3.8.2 Vegetation and Grading

EROSION

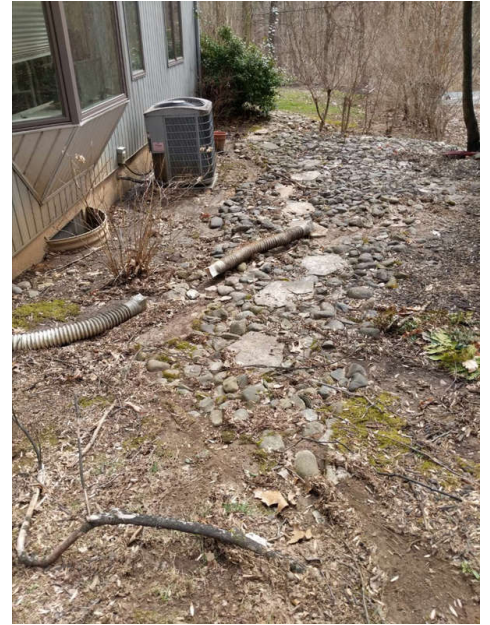


Maintenance/Monitor

Significant erosion was found in one or more areas. Recommend having a qualified person evaluate and make repairs as necessary to repair erosion, and to prevent erosion in the future.

Recommendation

Contact a qualified landscaping contractor



3.8.3 Vegetation and Grading

SURFACE TOWARD BUILDING



Surfaces sloped down towards building perimeters in one or more areas. This may result in water accumulating around building foundations or underneath buildings. Monitor these areas in the future, especially during and after periods of rain. If significant amounts of water are found to accumulate, then recommend that a qualified contractor evaluate and repair as necessary. For example, by installing drain(s) or removing old pavement and installing new.

Recommendation

Contact a qualified professional.



3.10.1 Deck

DECK BOARD ROT



Fungal rot was found in decking boards at one or more decks or porches. The boards were generally in serviceable condition during the inspection, but it's likely that the fungal rot will spread and require all boards to be replaced. Boards with significant rot should be replaced now and in the future until the deck or porch is rebuilt. Recommend budgeting for replacement decking in the near future. Note that when decking boards are replaced, other structural repairs may be needed.

Recommendation
Contact a qualified professional.



3.10.2 Deck

FASTENERS-SUPPORTS

 Deficiencies

Fasteners for the deck, porch or balcony *joist hangers / support post brackets / tie plates* were *missing / substandard*. Approved fasteners such as Teco nails should be installed in every nail hole in such hardware. Recommend that a qualified person install approved fasteners where necessary.

Recommendation
Contact a qualified professional.



3.10.3 Deck

NO GAPS-DECK BOARDS

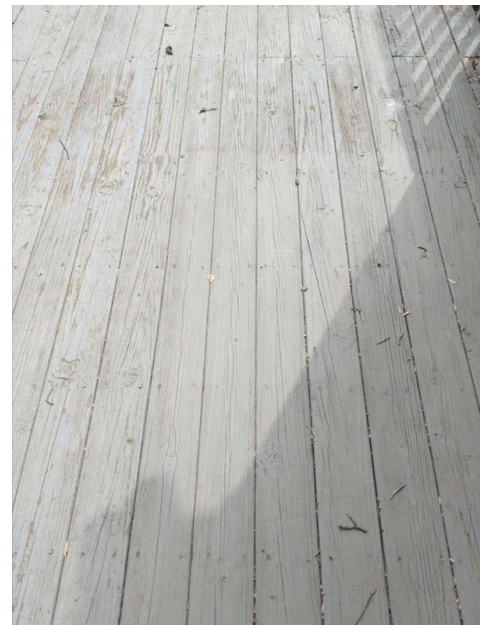


Maintenance/Monitor

Decking boards were installed with little or no gap between them. Organic debris such as leaves or evergreen needles may accumulate in between the boards will likely cause rot or deterioration. This is a conducive condition for wood-destroying organisms. At a minimum, keep decking boards clean in the future. Ideally boards should be reinstalled with a 3/8 inch gap between them.

Recommendation

Contact a qualified professional.



3.10.4 Deck

PAINT FAILING



Maintenance/Monitor

Resurfacing paint on one or more decks, porches or balconies was peeling and failing. This type of coating is similar to extremely thick paint and is designed to mask wood and fill large cracks or voids. Such products include Behr Deckover, Olympic Rescue-It, Rust-Oleum Deck Restore, Cabot Deck Correct and Pittsburgh Revitalize. Peeling can be an issue for any film-forming coating, but many reports of peeling have been made regarding these thick resurfacing paints. Once this type of coating begins to fail, repairing the coating may be difficult, or not work. Removal of this coating in order to apply a different finish can be very difficult. Recommend consulting with a qualified.

Recommendation

Contact a qualified painting contractor.

3.10.5 Deck

SUPPORTS INADEQUATE

Deficiencies

The deck supports are not standard. There is a slight bow in the deck due to over spanning of the joist and inadequate supports. We recommend additional supports be installed

Recommendation

Contact a qualified deck contractor.



3.12.1 Siding

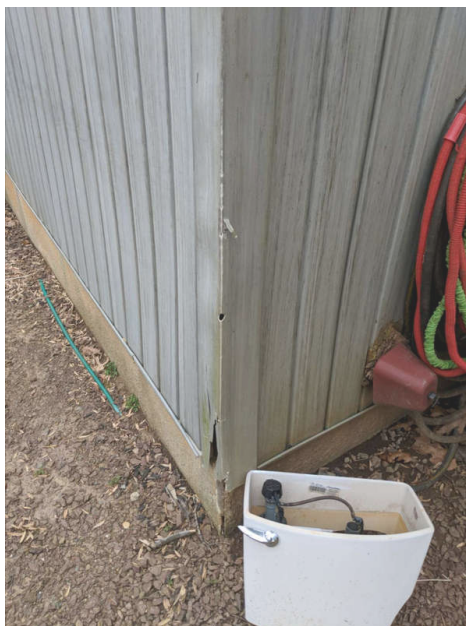
PUNCTURES

Deficiencies

There were several puncture marks in the exterior siding. Repair is recommended

Recommendation

Contact a qualified professional.



4.2.1 Foundation

CONCRETE BULDGING



Maintenance/Monitor

The concrete wall is bowed. This appears to have been a defect when assembled. The area should be monitored for water entry or future movement. If movement is noted, the wall should be repaired

Recommendation
Recommend monitoring.



4.2.2 Foundation

WATER ENTRY



Daylight was seen at the sill. Water stains and organic growth were seen at the corner by the electrical panel. This area should be sealed up from the exterior to prevent water entry. Organic growth should be treated and or removed

Recommendation
Contact a qualified professional.



4.2.3 Foundation

WATER ENTRY WALL PENETRATIONS



Water stains seen at foundation wall penetrations. We recommend sealing wall penetrations to prevent water entry

Recommendation
Contact a qualified professional.



4.7.1 Basement

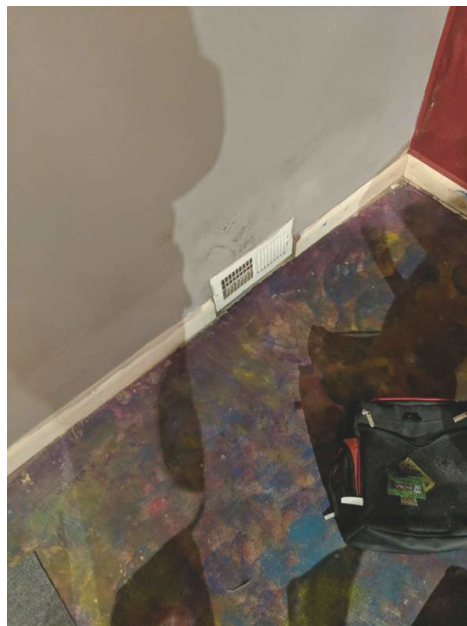
MOLD/MILDEW

 Deficiencies

Mold or mildew was noted in the basement. Mold testing is not part of a home inspection. Samples would need to be collected and sent to the lab for testing.

Recommendation

Contact a qualified mold inspection professional.



4.7.2 Basement

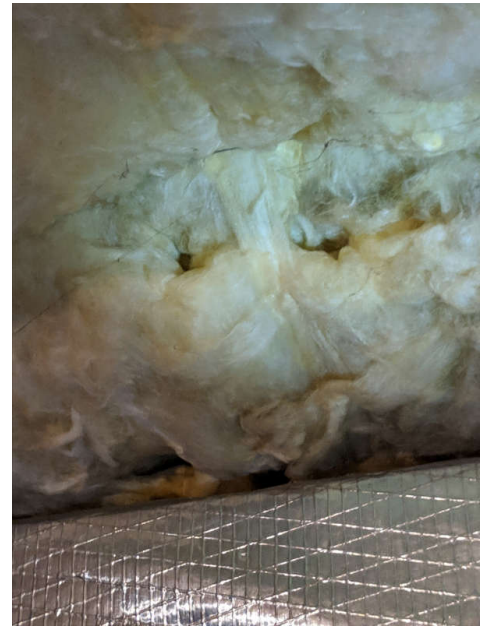
PEST EVIDENCE

 Deficiencies

Pest evidence such as burroughs were observed in the insulation in the basement. Rodents have been active in the past and can possibly still be present. We recommend traps be set

Recommendation

Contact a qualified professional.



4.7.3 Basement

DRY STAINS

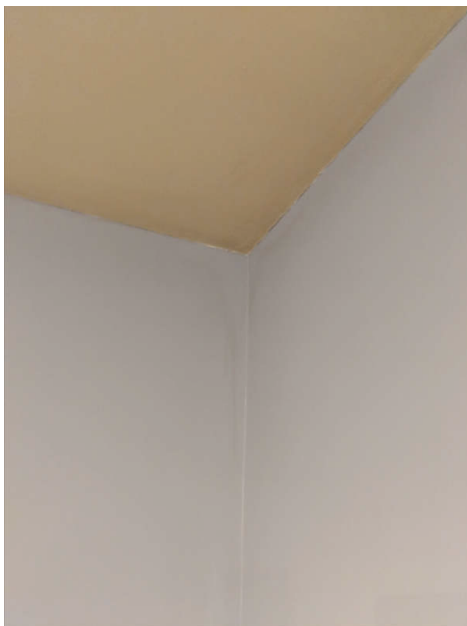


Maintenance/Monitor

Stains were found in one or more ceiling areas. However, no elevated levels of moisture were found. If elevated moisture is found in the future, a qualified contractor should evaluate and repair as necessary.

Recommendation

Recommend monitoring.



Basement



Basement



Basement

4.8.1 Attic Structure & Sheathing

ACTIVE LEAK



Safety/Immediate Attention

One or more active roof leaks were found. Recommend further evaluate and repair any roof leaks. Recommend obtaining estimate(s) prior to closing.



5.4.1 Circuit Breakers

CORROSION

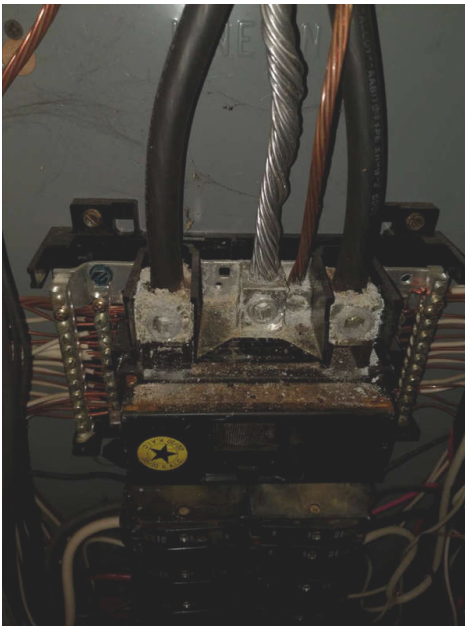


Deficiencies

There is corrosion on one or more of the main breakers. We recommend the breaker be cleaned and secured to ensure a solid connection.

Recommendation

Contact a qualified electrical contractor.



5.4.2 Circuit Breakers

OVER FUSED

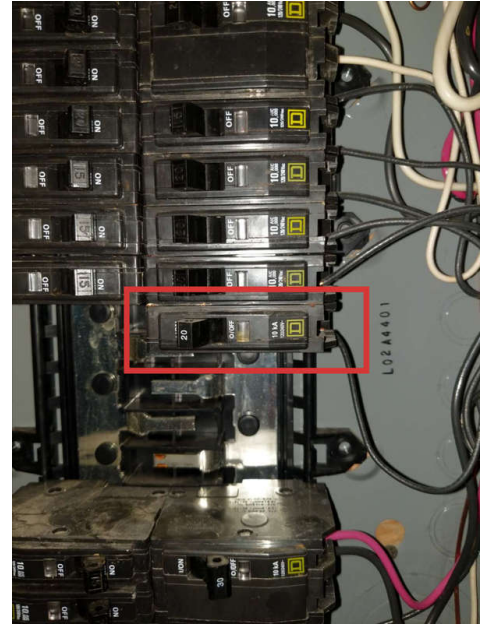


Deficiencies

We found over-fusing in the main service panel, meaning the fuse or breaker is not rated for the connected wire. This is a potential fire hazard. We recommend the circuit be equipped with an properly rated overcurrent protection device.

Recommendation

Contact a qualified electrical contractor.



6.1.1 Cabinets

LOOSE HARDWARE

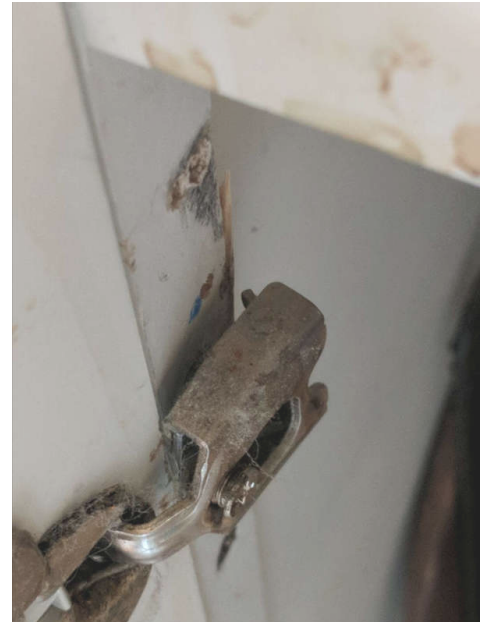


Maintenance/Monitor

Hardware such as hinges, latches or pulls are loose and/or missing on one or more cabinets. Repairs should be made and/or hardware should be replaced as necessary, and by a qualified contractor if necessary.

Recommendation

Contact a qualified cabinet contractor.



6.1.2 Cabinets

WATER DAMAGE MINOR

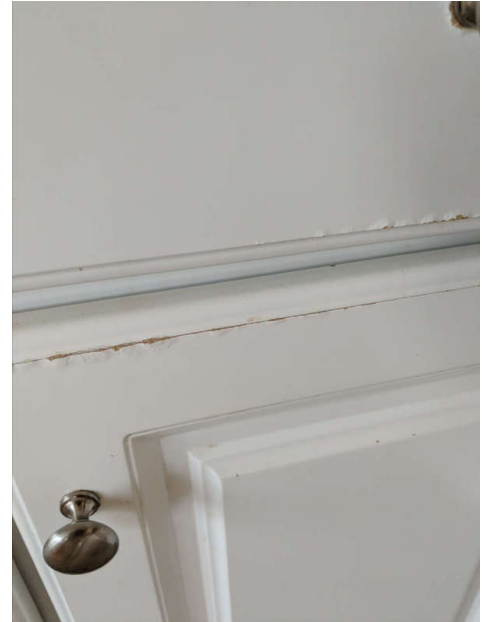


Deficiencies

Water stains and/or minor water damage was found in the shelving or cabinet components below the sink. The client(s) should evaluate and consider having repairs made.

Recommendation

Contact a qualified cabinet contractor.



8.1.1 General comments

SERVICE HEATING / COOLING SYSTEM



The last service date of the forced air heating / cooling system appeared to be more than 1 year ago, or the inspector was unable to determine the last service date. Ask the property owner when it was last serviced. If unable to determine the last service date, or if this system was serviced more than 1 year ago, recommend that a qualified HVAC contractor service this system and make repairs if necessary. Because this system has a compressor and refrigerant system, this servicing should be performed annually in the future. Any needed repairs noted in this report should be brought to the attention of the contractor when it's serviced.

Recommendation

Contact a qualified HVAC professional.

8.4.1 Air Conditioner

A/C NOT TESTED / TEMPERATURE UNDER 60 F*



The outdoor air temperature was below 60 degrees Fahrenheit during the inspection. Air conditioning systems can be damaged if operated during such low temperatures. It is also impossible to determine if the HVAC system is cooling properly as even if no or low refrigerant is in the system, the air will still register at ambient exterior temperature. Client should be aware of this limitation when inspecting in cooler temperatures.

Recommendation

Contact a qualified HVAC professional.

8.4.2 Air Conditioner

LIFESPAN (10-15 YEARS)



The estimated useful life for most heat pumps and air conditioning condensing units is 10-15 years. This unit appeared to be near, at or beyond this age and/or its useful lifespan and may need replacing or significant repairs at any time. Recommend budgeting for a replacement in the near future.

Recommendation

Recommend monitoring.

8.5.1 Ducts and Registers

REGISTERS LOOSE / DAMAGED / MISSING

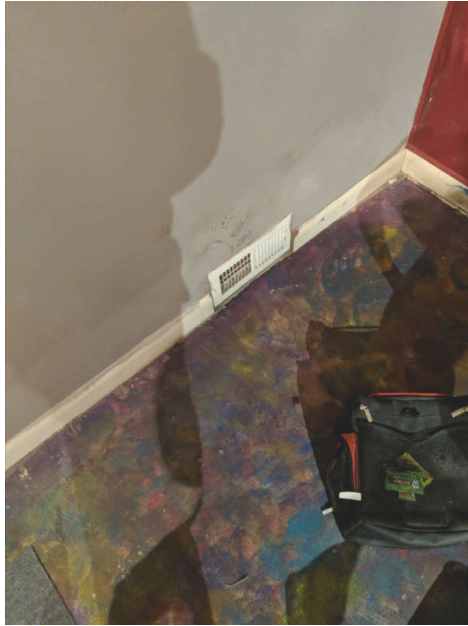


Deficiencies

The ducting to the registers has been removed. We recommend following up with the home owner as to why it was removed and installing new duct work as needed

Recommendation

Contact a qualified HVAC professional.



8.6.1 Filter & Thermostat

FILTER DIRTY



Maintenance/Monitor

Air filters for the heating and/or cooling system were dirty at one or more locations. Indoor air quality will be reduced as a result. Recommend installing good quality filters at intended locations (e.g. in or at the air handler, behind return air grills). Filters should be sized correctly to minimize air gaps. Many types of filters are available. Recommend installing pleated filters or better rather than the cheapest disposable kind.

Recommendation

Recommended DIY Project



9.1.1 General

BROKE/DISCONNECT VENT



Maintenance/Monitor

The clothes dryer exhaust duct is broken or disconnected in one or more places. Clothes dryers produce large amounts of moisture which should not enter structure interiors. Damage to building components may result. A qualified contractor should evaluate and make permanent repairs as necessary.

Recommendation
Contact a qualified appliance repair professional.



10.1.1 Electrical

LIGHT FIXTURE INOPERABLE

Deficiencies

One or more light fixtures appear to be inoperable. Recommend further evaluation by replacing bulb(s) and/or consulting with the property owner(s). Repairs or replacement of the light fixture(s) by a qualified electrician may be necessary.

Recommendation

Contact a qualified electrical contractor.



2nd Floor hallway

10.1.2 Electrical

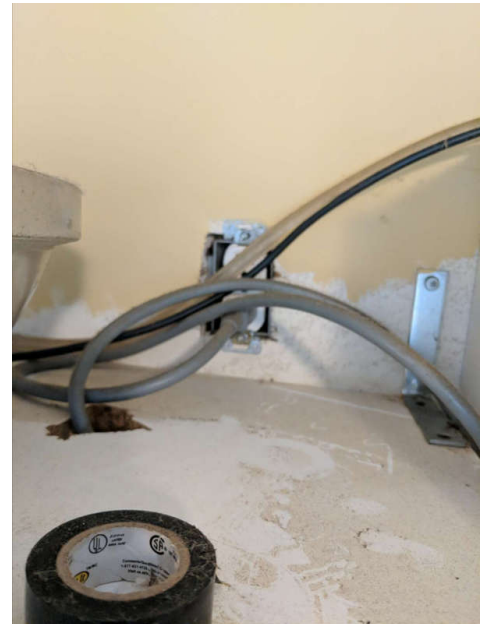
COVER PLATE BROKEN OR MISSING

Deficiencies

One or more electric coverplates are broken, damaged or missing. This can be safety hazard due to the risk of shock depending on the severity of the issue. A qualified electrician should replace them as necessary.

Recommendation

Contact a qualified electrical contractor.



Microwave

10.1.3 Electrical

EXTENSION CORDS



Maintenance/Monitor

Extension cords were being used as permanent wiring at one or more locations. They should only be used for portable equipment on a temporary basis. Using extension cords as permanent wiring is a potential fire and shock hazard, and indicates that wiring is inadequate and needs updating. Extension cords may be undersized. Connections may not be secure resulting in power fluctuations, damage to equipment, overheating and sparks that could start a fire. Recommend that a qualified electrician repair per standard building practices and eliminate extension cords for permanently installed equipment.

Recommendation

Contact a qualified electrical contractor.



10.1.4 Electrical

RECEPTACLE DAMAGE



Deficiencies

One or more receptacles were broken or damaged. This is a potential shock or fire hazard. Recommend that a qualified electrician replace such receptacles as necessary.

Recommendation
Contact a qualified electrical contractor.



2nd Floor Bedroom

10.2.1 Floors, Walls, Ceilings

CEILING-DRY STAINS

 Maintenance/Monitor

Stains were found in one or more ceiling areas. However, no elevated levels of moisture were found. If elevated moisture is found in the future, a qualified contractor should evaluate and repair as necessary.

Recommendation
Recommend monitoring.



2nd Floor



2nd Floor



2nd Floor



2nd Floor

10.2.2 Floors, Walls, Ceilings

CEILING-WET STAIN

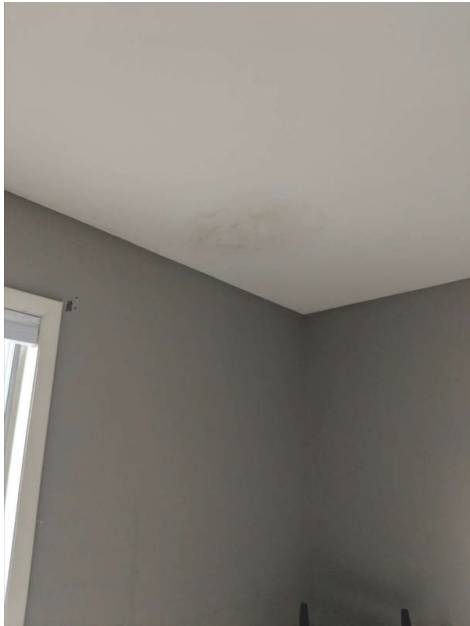
Stains and elevated levels of moisture were found in one or more ceiling areas. A qualified contractor should evaluate and repair as necessary.

Recommendation
Contact a qualified professional.

 Deficiencies



2nd Floor Bedroom



2nd Floor Bedroom

10.2.3 Floors, Walls, Ceilings

WALLS-MINOR CRACK

Minor cracks were found in walls in one or more areas. They do not appear to be a structural concern, but the client(s) may wish to repair these for aesthetic reasons.

Recommendation
Contact a qualified drywall contractor.

 Maintenance/Monitor



10.2.4 Floors, Walls, Ceilings

LAMINATE OPEN SEAMS

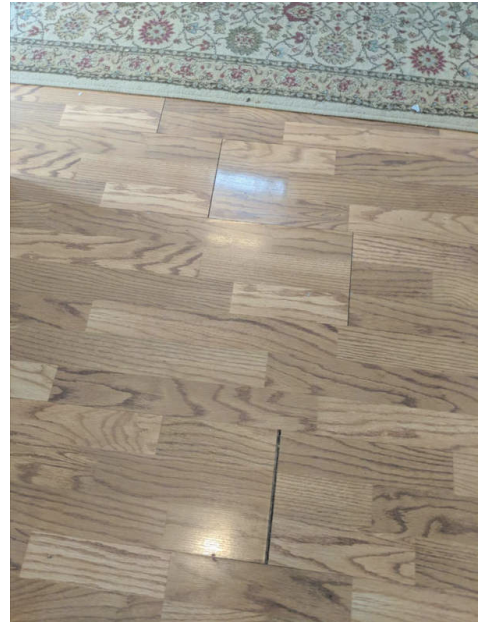


Deficiencies

There were areas where the laminate flooring has separated at it's seams. We recommend the gaps be repaired

Recommendation

Contact a qualified professional.



10.2.5 Floors, Walls, Ceilings

FLOORS-VINYL DETERIORATED

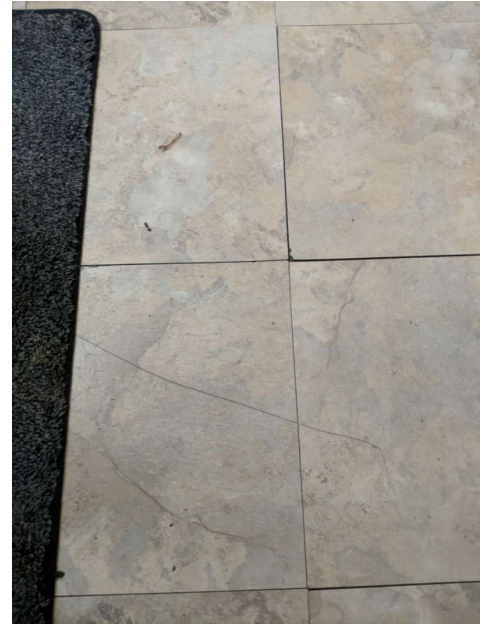


Deficiencies

Vinyl flooring is damaged and/or lifting in one or more areas. A qualified contractor should replace or repair the damaged flooring.

Recommendation

Contact a qualified flooring contractor



10.4.1 Windows and Door

WINDOW-SCREENS MISSING

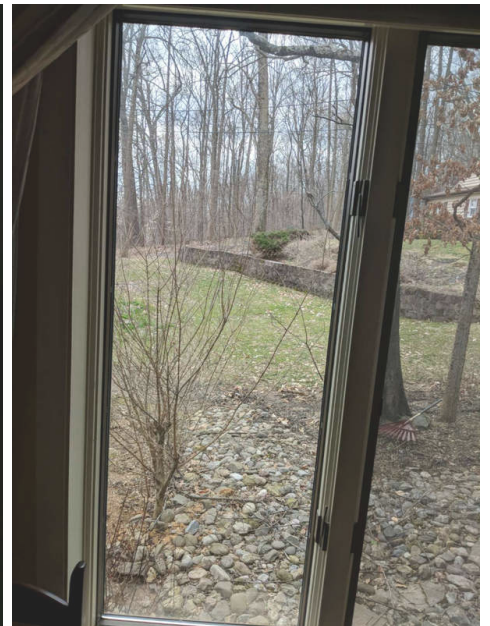


Maintenance/Monitor

Screen(s) in one or more windows are missing. The client(s) should ask the property owner(s) about this. Screens are often removed for window cleaning and they may be stored somewhere. If not, then recommend installing screens where missing.

Recommendation

Contact a qualified window repair/installation contractor.



10.4.2 Windows and Door

DOOR RUBS



Deficiencies

One or more doors bind in their jamb, or are difficult to open and close. A qualified contractor should evaluate and repair as necessary. For example, adjusting jambs or trimming doors.

Recommendation

Contact a qualified door repair/installation contractor.



10.4.3 Windows and Door

DOOR INTERIOR-DETERIORATED

 Maintenance/Monitor

One or more interior doors are damaged and/or deteriorated and should be repaired or replaced by a qualified contractor.

Recommendation

Contact a qualified door repair/installation contractor.



11.1.1 Bathub

CAULK AT FLOOR

 Maintenance/Monitor

Caulk is missing or deteriorated along the base of one or more bathtubs, where flooring meets the tub. It should be replaced where deteriorated and/or applied where missing to prevent water intrusion and damage to the floor structure.

Recommendation

Recommended DIY Project



1st Floor

11.1.2 Bathub

CLOGGED OR DRAINS SLOWLY

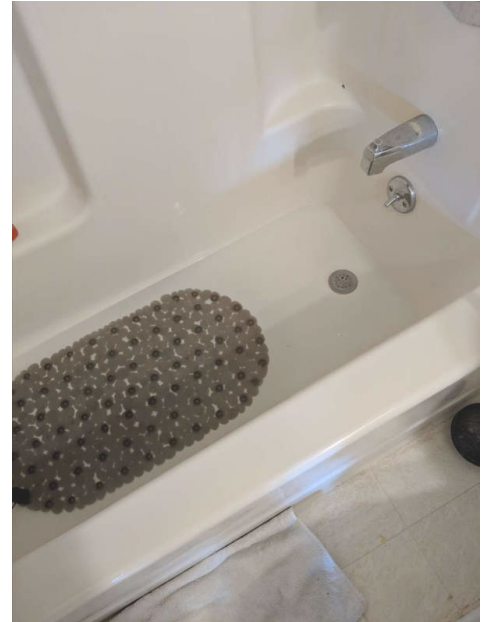


Deficiencies

One or more bathtub drains are clogged or drain slowly. Drain(s) should be cleared as necessary, and by a qualified plumber if necessary.

Recommendation

Contact a qualified plumbing contractor.



2nd Floor

11.6.1 Shower

CRACK INSERT



Deficiencies

There is a crack in the fiberglass insert for the shower pan. This may allow water to intrude below the shower Pan causing moisture issues. Recommend to have the shower Pan repaired to help prevent moisture intrusion in unseen areas.

Recommendation

Contact a qualified professional.



2nd Floor

11.7.1 Sink/countertop

SINK DRAINS SLOW



Maintenance/Monitor

One or more sinks are clogged or drain slowly. Drain(s) should be cleared as necessary, and by a qualified plumber if necessary.

Recommendation

Contact a qualified plumbing contractor.



2nd Floor

11.8.1 Toilets

LOOSE



Maintenance/Monitor

One or more toilets are loose. A qualified contractor should remove the toilet(s) for further evaluation and repairs if necessary. A new wax ring should be installed and toilet(s) should be securely anchored to the floor to prevent movement and leaking.

Recommendation

Contact a qualified plumbing contractor.



13.1.1 Water Heater

NO EXPANSION TANK 2012



Deficiencies

No expansion tank was present. Expansion tanks allow for the thermal expansion of water in the pipes. These have been required in certain areas for new installs or replacement since 2012. Recommend a qualified plumber evaluate and install.

Recommendation

Contact a qualified plumbing contractor.