



It is recommended that any noted deficiencies be evaluated and repaired by a certified contractor of trade.

This report is the exclusive property of this inspection company and the client(s) listed in the report title. Use of this report by any unauthorized persons is prohibited.

2.2.1 Gutters/drains

GUTTER DRAINS ON ROOF

**Recommendations**

One or more downspouts terminated above a roof surface, and concentrated rainwater from the downspouts washes over the roof surface below. This is a common configuration, but in some cases large quantities of rainwater can damage shingles by removing granules and reduce the life of the roof surface. I recommend installing extensions to route the rainwater directly to the closest gutter below to prevent such damage to the roofing material.

Recommendation

Contact a qualified professional.



Preferred Installation Method

3.3.1 Exterior issues

GABLE VENT DAMAGE

**Recommendations**

One gable vent on the left of the house was damaged. Their purpose is to allow air into the attic, and keep out birds, rodents and bugs. The screen on one of the gable vent appears to be damaged and birds have built a nest in the attic space. I recommend the nest is removed/cleaned from the attic, and new screen is installed over the gable vent.

Recommendation

Contact a qualified professional.



3.3.2 Exterior issues

SEALANT MAINTENANCE

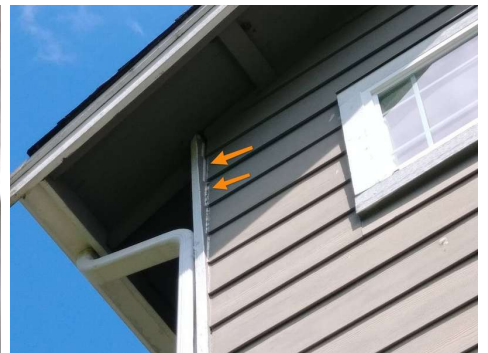
Some of the caulking in various places around the exterior need to be sealed. Around windows, doors, siding seams, siding meets trim, etc...I recommend that these areas are re-sealed to prevent any potential moisture intrusion issues.

Recommendation

Contact a qualified professional.



Maintenance/Monitor





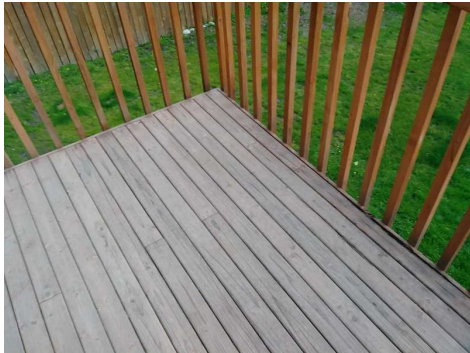
3.3.3 Exterior issues

DECK SEALANT

 Maintenance/Monitor

The deck is staining/water sealing is faded. It is important to keep the deck stained/water sealed to prevent decking from decay. Decking wears out not only from rain, but also from UV rays. A good quality stain will help extend the life of the deck and protect it from the weather. I recommend the deck is stained/water sealed.

Recommendation
Contact a qualified professional.



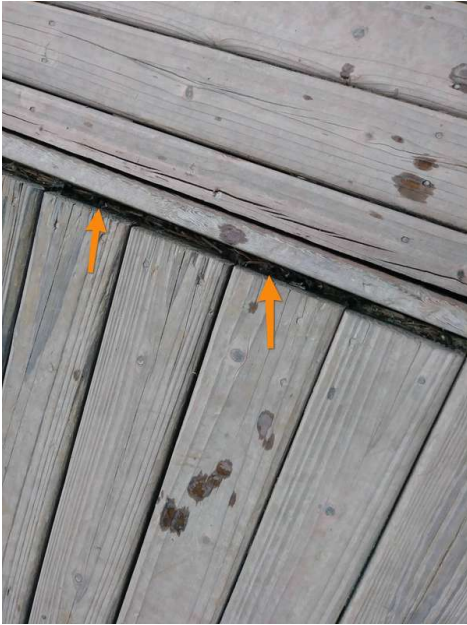
3.3.4 Exterior issues

DECK BOARD DAMAGE

 Recommendations

Several deck boards were starting to show some signs of wear/decay. It is recommended these are repaired and replaced before staining or water sealing the deck

Recommendation
Contact a qualified professional.



Debris is filled in-between the deck and fascia board.



3.3.5 Exterior issues

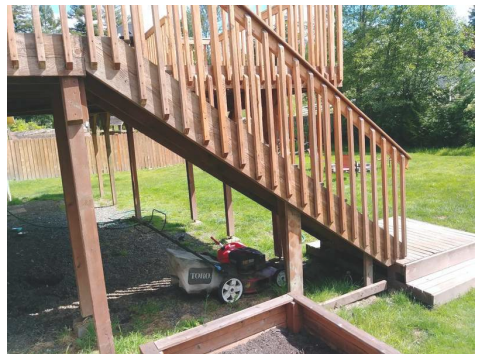
DECK PICKETS

A couple of the deck pickets as you come down the stairs have come loose. I recommend these are re-secured for child safety.

Recommendation

Contact a qualified professional.

 Recommendations



3.3.6 Exterior issues

DRYER VENT CLEANING

I recommend the dryer vent is cleaned on an annual basis. This is good maintenance for the house and the dryer. A clogged dryer vent can lead to dryer failure an extended dry times.

Recommendation

Contact a qualified professional.

 Maintenance/Monitor



3.5.1 Windows and Door

FAILED SEAL



Recommendations

One window overlooking the back deck had a failed seal. I was informed during the inspection that the window was on order and is being replaced. This is an informational comment. Verify the window pane replacement is completed.

Recommendation

Contact a qualified professional.



5.1.1 Water Heater

PAN MISSING SAME ELEVATION



Recommendations

A water heater is installed at the same elevation as the finished living spaces and has no catch pan and drain installed. Recommend having a qualified contractor install a catch pan and drain to prevent water damage to finished interior spaces if/when the water heater develops a leak or is drained.

Recommendation

Contact a qualified plumbing contractor.



5.1.2 Water Heater

NEAR LIFE EXPECTANCY



Maintenance/Monitor

The estimated useful life for most water heaters is 8 to 12 years. This water heater appears to be approaching this age and may need replacing in the near future. Recommend budgeting for a replacement in the near future. Everything was functional at the time of inspection and in good working order. The hot water tank was manufactured in 2007 making it about 11 years old.

Here is a link to showing the age. On these tanks it is done by the first 2 letters of the serial number. DC on this tank.

<http://www.bradfordwhite.com/find-your-model-and-serial-number>

Recommendation

Contact a qualified plumbing contractor.



6.3.1 Outlets, Switches, Lights

BEDROOM OUTLET



Recommendations

One bedroom outlet was not working on my tester. The bedroom to the left at the top of the stairs. The outlet is to the left as you walk in the door. I recommend this outlet is diagnosed and repaired/replaced by a electrical contractor.

Recommendation

Contact a qualified professional.



6.3.2 Outlets, Switches, Lights

LIGHT ABOVE SHOWER NOT WORKING

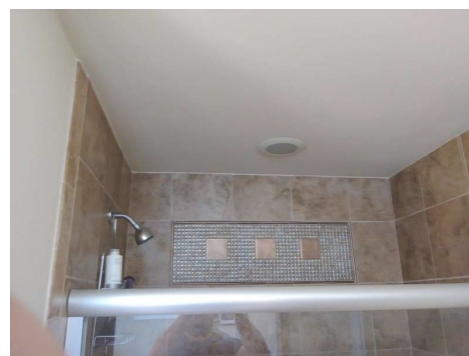


Maintenance/Monitor

Light above the shower I could not get to turn on with any switches. It may just need to have a bulb/LED replaced. I recommend replacing the bulb and verify the light fixture is working.

Recommendation

Contact a qualified professional.



6.3.3 Outlets, Switches, Lights

CLOSET LIGHT OUT



Maintenance/Monitor

Light in one of the closets was not working. More than likely just needs a new bulb. I recommend replacing the bulb and verifying the light fixture is working.

Recommendation

Contact a qualified professional.



9.4.1 Windows and Door

WINDOW-SCREEN HOLES/TEARS



Maintenance/Monitor

Screen(s) in one or more windows are torn or have holes in them. Screens should be replaced where necessary.

Recommendation

Contact a qualified window repair/installation contractor.



Hole in the window screen

9.4.2 Windows and Door

DOOR LATCH DAMAGED



One of the bedroom door latches was damaged and prevent the door from closing/latching. I recommend repairs are made so the door can latch properly when closed.

Recommendation

Contact a qualified professional.



10.1.1 Bathub

CLOGGED OR DRAINS SLOWLY



The master bathroom tub appeared to be draining a little slower than normal. Drain speeds can vary from house to house slightly depending on drain installation and design. I recommend making sure the drain is clear and free from all hair/clogs and see if the drain speed improves.

Recommendation

Contact a qualified plumbing contractor.

10.7.1 Sink/countertop

SINK DRAINS SLOW



The master bathroom sink was clogged and draining very slowly. Drain(s) should be cleared as necessary, and by a qualified plumber if necessary.

Recommendation

Contact a qualified plumbing contractor.



10.8.1 Toilets

LOOSE



Recommendations

One toilet was loose during inspection. A qualified contractor should remove the toilet(s) for further evaluation and repairs if necessary. A new wax ring should be installed and toilet(s) should be securely anchored to the floor to prevent movement and leaking.

Recommendation

Contact a qualified plumbing contractor.



11.4.1 Vehicle door

WEATHER STRIP DETERIORATED



Maintenance/Monitor

Weatherstrip at the sides vehicle door is damaged and/or deteriorated. It should be replaced where necessary to prevent intrusion of the exterior elements.

Recommendation

Contact a qualified garage door contractor.

