



SUMMARY

1234 Main St. Upper Darby PA 19082

Buyer Name
10/16/2018 9:00AM

Bill Strehse
Certified Property Inspector -
YOUR Home Inspection Company
(484) 420-7210
bstrehse@gmail.com



2.1.1 Base Information

LOOSE SIDING

WEST ELEVATION - UNIT A

Secure loose siding.

Recommendation

Contact a qualified professional.



Maintenance Item



2.1.2 Base Information

LOOSE LATTICE SUPPORT

UNIT A - UNDER PORCH

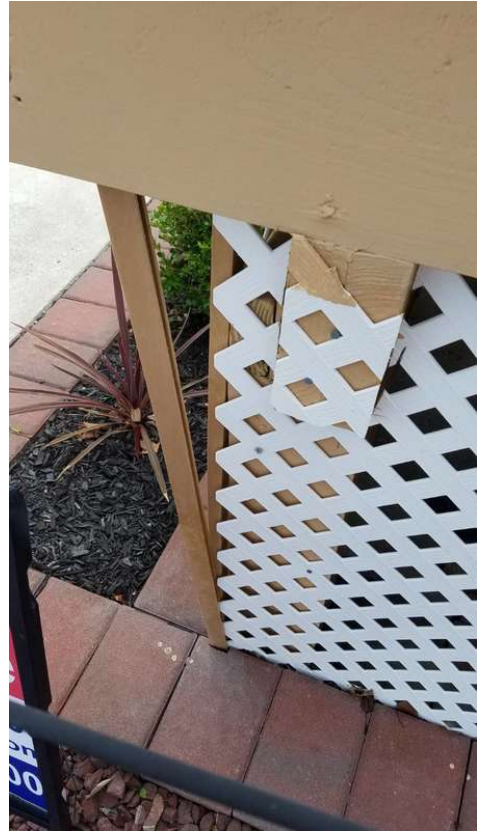
Resecure channel at corner of front porch

Recommendation

Contact a qualified professional.



Maintenance Item



2.2.1 Wall Covering, Flashing & Trim

KICKOUT FLASHING

UNIT B - REAR VALLEY

Kickout flashing was missing at one or more locations. Kickout flashing directs water away from the dwelling as it exits the roof to prevent moisture intrusion inside. Recommend roofer install kickout flashing. Please note any areas concealed behind walls are not able to be evaluated for damage inside.

Recommendation

Contact a qualified siding specialist.

 Recommendation



2.2.2 Wall Covering, Flashing & Trim

SIDING AT CHIMNEY - UNIT A

UNIT A

 Recommendation

There is a gap between the siding and chimney over the flat roof - see additional comments for repair in Roof section.

Recommendation

Contact a qualified professional.



2.5.1 Windows - Exterior

UNIT A WINDOW SEALS BROKEN

Recommendation

@ of the smaller windows in the rear Mud room of Unit A were fogging - seals have been broken. Recommend replacement of window sash if possible to find replacement.

Recommendation

Contact a qualified window repair/installation contractor.



3.1.1 Base Information

INSTALL STEP FLASHING

UNIT A ROOF AT CHIMNEY

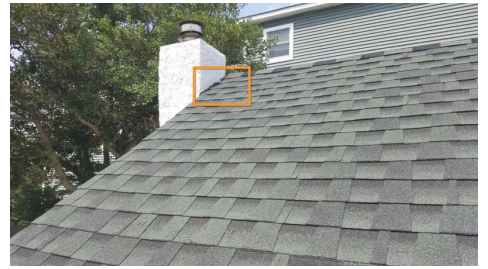
Water intrusion at connection of main roof to Chimney - Step flashing should be installed where roof meets chimney. Also, a counter flashing shall be installed over the step flashing and secured to chimney. Additional comments on Siding section.

Recommendation

Contact a qualified professional.



Recommendation



Install step flashing with counter flashing

3.4.1 Flat Roof

PATCHED/SEALED

UNIT A - LOWER FLAT ROOF - CHIMNEY

One or more areas were patched or sealed where the flat roof meets the Chimney. These areas may have been leaking previously - signs of moisture were detected in the closet below this connection. Recommend consulting with seller or property disclosures. These areas should be repaired. If leaks are observed, a licensed roofing contractor may need to evaluate and repair.

Recommendation

Contact a qualified roofing professional.



Recommendation



3.5.1 Gutters

CLOGGED GUTTERS

MULTIPLE

Debris has accumulated in one or more gutters or downspouts. Gutters can overflow and cause water to come in contact with the building exterior or back up into the attic, roof sheathing, or soffit and fascia board. Recommend cleaning gutters and downspouts now and as necessary in the future.

Recommendation

Recommended DIY Project



Maintenance Item

4.2.1 Foundation

FOUNDATION CRACKS - MINOR

UNIT A

Minor cracking was noted at the foundation. This is common as concrete ages and shrinkage surface cracks are normal. Recommend monitoring for more serious shifting/displacement.



Recommendation

Recommendation
Contact a handyman or DIY project

5.1.1 Base Information

WINDOW SEAL BROKEN

 Recommendation

UNIT A - REAR MUD ROOM

2 Windows in Unit A rear mud room had seals broken and the window was fogging.

Recommendation
Contact a qualified professional.



5.1.2 Base Information

WATER INTRUSION ISSUE

 Recommendation

UNIT A - BEDROOM CLOSET

Observed signs of mold in one or more areas in the wall structure. Recommend identifying source or moisture intrusion and sending samples to a lab for testing. Expected caused is the connection of the Chimney at the flat roof. Siding does not go behind the chimney allowing water intrusion at base of chimney.

Siding should have a backer rod and Joint sealer installed between the Chimney and siding. Closet drywall should be replaced and tested while open by a Mold inspector.

Recommendation
Contact a qualified mold inspection professional.

5.3.1 Walls

POSSIBLE MICROBIAL GROWTH

 Safety Hazard

UNIT A REAR BEDROOM CLOSET

There was evidence of possible microbial growth on the wall(s). Recommend sample collection and further testing by a qualified lab. Wall covering should be removed in order to determine any possible mold growth inside the wall cavity. Clearance from a Certified Mold inspector should be given before closing any work.

Recommendation
Contact a qualified mold inspection professional.



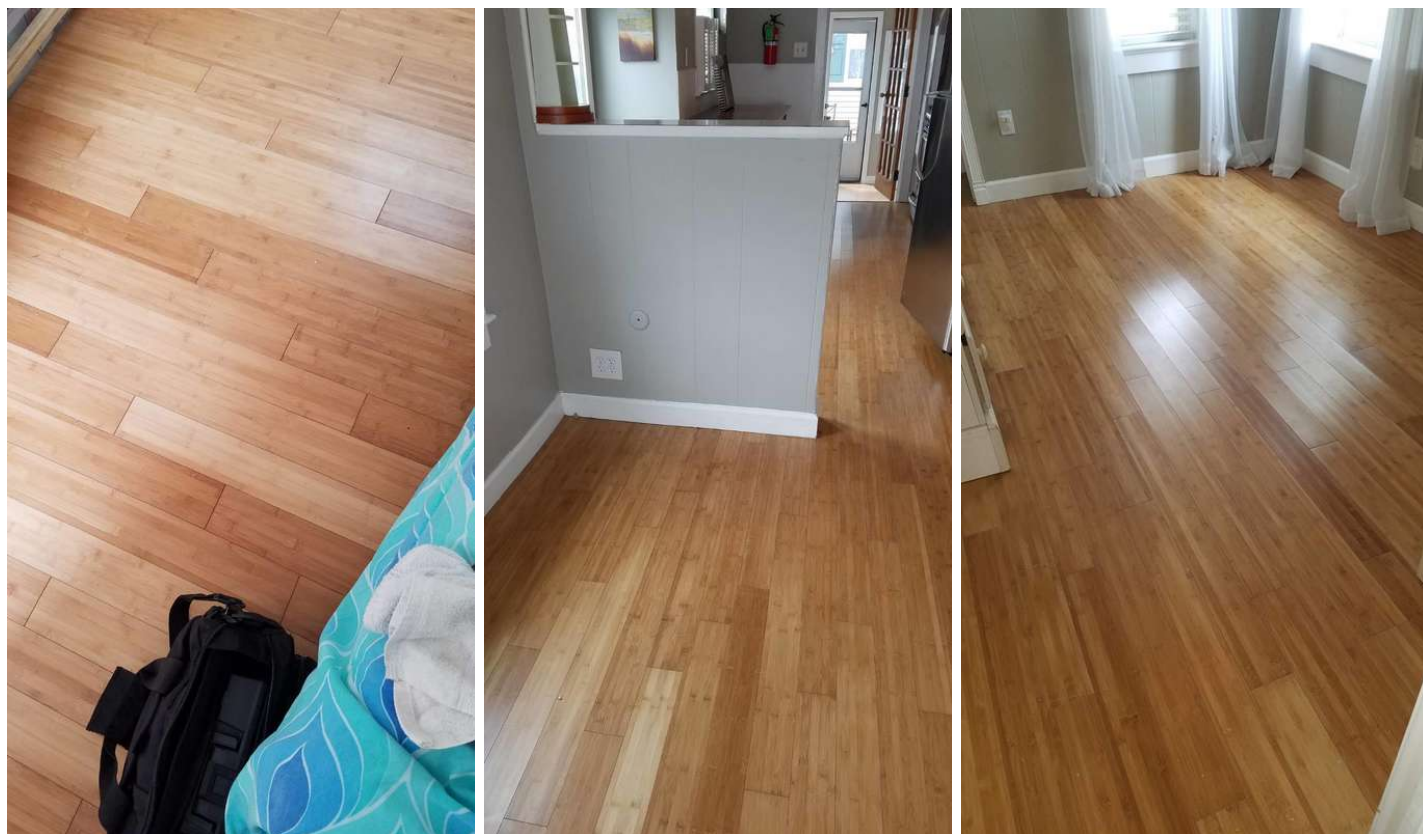
High moisture level at top of closet

Moisture reading of 44% - should be below 10%.

5.4.1 Floors
MODERATE WEAR
THROUGHOUT

 Recommendation

Floors had moderate surface wear along major paths of travel.



5.7.1 Windows

FAILED SEAL

UNIT A - REAR MUDROOM

 Recommendation

Observed condensation between the window panes, which indicates a failed seal. Recommend qualified window contractor evaluate and repair or replace.



Recommendation

Contact a qualified window repair/installation contractor.

5.7.2 Windows

LOOSE WINDOW FRAME

Recommendation

Unit A - East elevation - casement window to Crawl space was not secure. Window pulled away from frame when attempting to open window.

Recommendation
Contact a qualified professional.



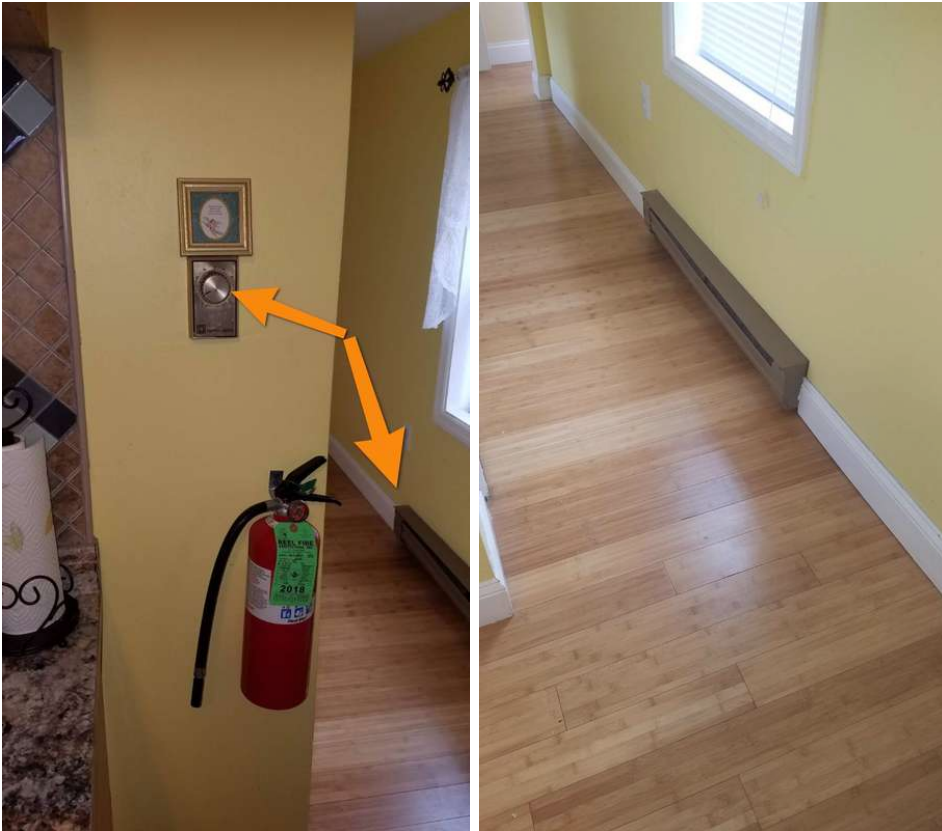
6.1.1 Base Information

UNIT B - BASEBOARD HEAT

Recommendation

THROUGHOUT

Unit B had baseboard electric heat as heat source. Unit were tested by turning on Thermostat (wall mounted at each location) and activated. Living room had couch pushed up against the baseboard heat which should be relocated away from Heat source.



Typical - wall thermostats that operate base heating system.

8.2.1 Ducts and Registers

UNIT A NO HEAT

Recommendation

Heating/Cooling systems could not be evaluated. Unit B has electric heat which was tested and operational. Unit B had only window units for cooling. Majority of units were dated and will need to be replaced in soon. Unit A does not have any cooling source. Unit A heat was not able to be tested because there was no gas service.

Recommendation is to have gas service operational and have a licensed HVAC technician test Unit A heating systems.

Recommendation

Contact a qualified professional.

9.3.1 Bathtub & Shower

DRAINED SLOWLY SHOWER



Recommendation

UNIT B

The bathtub or shower drained slowly. Recommend clearing drain and/or that a qualified plumber repair if necessary.

Recommendation

Contact a qualified plumbing contractor.



9.5.1 Drain, Waste and Vent

UNIT B SLOW DRAINS



Recommendation

Both the tub/shower and Kitchen sinks drained slowly. The drains should be cleared and retested prior to closing.

Recommendation

Contact a qualified plumbing contractor.



9.6.1 Laundry

UNIT A



Unit A had side by side GE Washer & Dryers - Gas was not on so hot water could not be tested. After gas service is restored test dryer for proper operation.

Dryer was a relatively new GE unit.

Recommendation

Contact a qualified professional.



9.7.1 Hot Water Heater

COMBUSTION 18 INCHES (NON FVIR)



UNIT A

The gas water heater was not elevated a minimum of 18 inches off of the ground which aids in combustion. Recommend a qualified plumber evaluate and repair when Unit is replaced. Since the HWH is being recommended for replacement this correction can be made during the new installation.

Recommendation

Contact a qualified plumbing contractor.

9.8.1 Water Supply Fixtures

SINK DRAINED SLOWLY



UNIT B - KITCHEN SINK

One or more sinks drained slowly. Recommend clearing drain and/or having a qualified plumber repair if necessary.

Recommendation

Contact a qualified plumbing contractor.



9.8.2 Water Supply Fixtures

FAUCET DAMAGED

UNIT B - KITCHEN & BATHROOM VANITY SINK FAUCET

One or more faucets were loose and/or damaged. Recommend repair or replacement.

Recommendation

Contact a qualified plumbing contractor.



9.8.3 Water Supply Fixtures

FAUCET DRIPPING

UNIT B - SHOWER

Shower faucet required a heavy push in order to stop the water from dripping.

Recommendation

Contact a qualified plumbing contractor.

 Recommendation

10.1.1 Base Information

ESC HEIGHT - SAFETY ISSUE

PATH TO UNIT B

The electric service cable for Unit B was installed across the pathway to the back unit and does not meet the minimal height clearance requirements. This could be a serious safety concern if sheathing becomes deteriorated and exposes electrical conductors. Recommend an evaluation from a certified electrician for proper fix of this issue.

Recommendation

Contact a qualified electrical contractor.

 Safety Hazard

10.2.1 Service Entrance Conductors, Service Drop

OLD PANEL WARNING

BOTH UNITS

This electric panel appears older. Aside from any visual deficiencies noted elsewhere in this report, it may be prudent to consider updating this panel to a more modern panel that allows room for expansion and modern breaker (GFCI/AFCI) protection. Client should consult with a qualified electrician regarding cost.

Recommendation

Contact a qualified electrical contractor.

 Recommendation

10.3.1 Main and Distribution Panels, Grounding

PANEL/COVER DAMAGED

BOTH UNITS

Panel Cover missing or damaged at one or more locations.

Recommend repair

Recommendation

Contact a qualified electrical contractor.

 Recommendation



10.3.2 Main and Distribution Panels, Grounding

LEGEND SUBSTANDARD

BOTH UNITS

Panel legend(s) was/were missing, incomplete, illegible or confusing. This is a hazard in the event of an emergency when power needs to be turned off. Recommend correcting the legend so it's accurate, complete and legible. Evaluation by a qualified electrician may be necessary.

Recommendation

Contact a qualified electrical contractor.



10.4.1 Circuit Breakers and Fuses

GFCI ISSUES

UNIT A KITCHEN

One or more ground fault circuit interrupter (GFCI) circuit breakers were malfunctioning (would not trip/reset) when tested. GFCI breakers reduce the chance of shock when using equipment in wet areas. This is a potential shock hazard. Recommend that a qualified electrician evaluate and repair as necessary.

Recommendation

Contact a qualified electrical contractor.



10.5.1 Wiring

CRAWLSPACE NOT SECURED

UNIT A CRAWL SPACE

Crawlspace wiring was not secured to joists and was laying on the ground. This is a safety hazard. Recommend a qualified electrician properly secure all loose wiring to floor joists per standard building practices.



Recommendation
Contact a qualified electrical contractor.



10.6.1 Receptacles

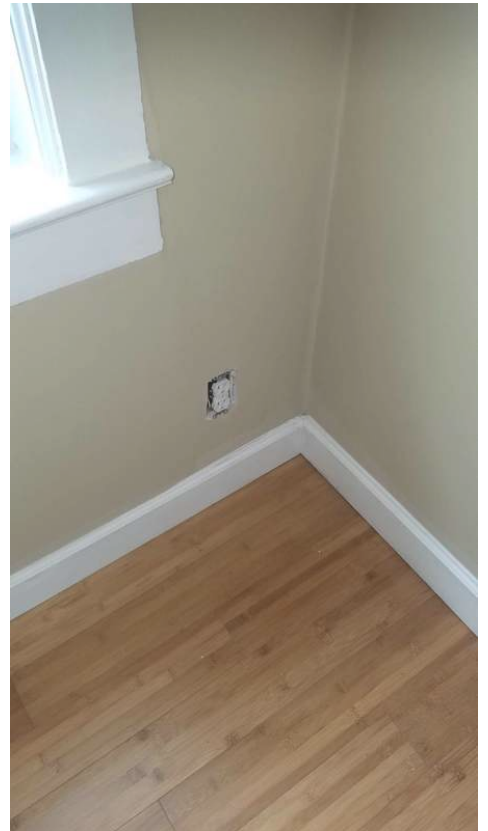
COVER PLATE

 Recommendation

UNIT A - FRONT BEDROOM

One or more cover plates for switches, receptacles (outlets) or junction boxes were missing or broken. These plates are intended to contain fire and prevent electric shock from occurring due to exposed wires. Recommend that a qualified person install cover plates where necessary.

Recommendation
Recommended DIY Project



10.6.2 Receptacles

GFCI ISSUES

UNIT A - KITCHEN

One or more ground fault circuit interrupter (GFCI) receptacles (outlets) were not functioning properly (would not trip/would not reset). Recommend replacing with new gfc outlet.

Recommendation

Contact a qualified electrical contractor.



10.6.3 Receptacles

LOOSE WALL BOXES

UNIT A - KITCHEN

One or more electric receptacles wall boxes in which they were installed were loose and/or not securely anchored. Recommend that an electrician secure properly.

Recommendation

Contact a qualified electrical contractor.



10.7.1 Lighting and Fans

BULBS MISSING/BROKEN

SEVERAL

Bulbs in one or more light fixtures were missing or not functioning. These light fixtures couldn't be fully evaluated. If replacement bulbs are inoperable, then recommend that a qualified electrician evaluate and repair or replace light fixtures as necessary.

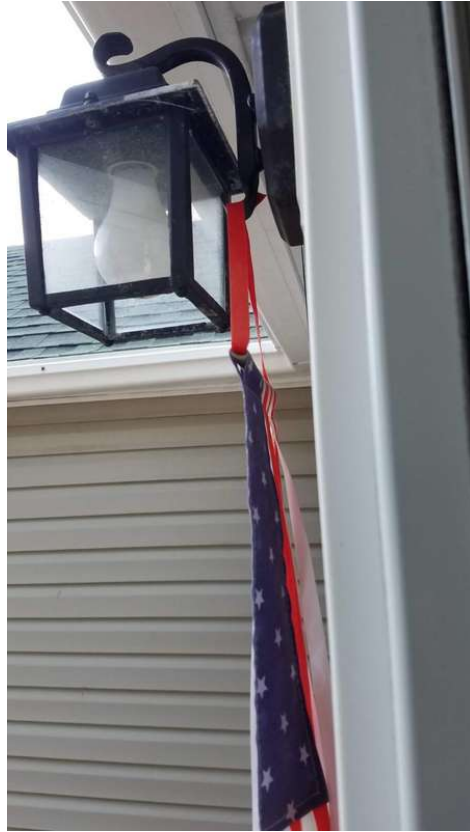
Noted locations

Unit A attic - Unit B entry

Recommendation

Contact a qualified electrical contractor.





10.7.2 Lighting and Fans

LAMPS INOPERABLE

MULTIPLE LOCATIONS

One or more light fixtures were inoperable (didn't turn on when nearby switches were operated). Recommend further evaluation by replacing bulbs and/or consulting with the property owner (perhaps on a switch that was not identified). If replacing bulbs doesn't work and/or no other switch(es) can be found, then recommend that a qualified electrician evaluate and repair or replace light fixtures as necessary.

Recommendation

Contact a qualified electrical contractor.



10.8.1 Doorbell and Smoke Detectors

LOW BATTERY

SEVERAL

Smoke detector failed to respond when tested. Recommend battery be replaced or units to be relaced. Since this was installed prior to current codes smoke detectors were not interconnected or hard wired. Only battery operated units were installed.

Recommendation

Recommended DIY Project





11.5.1 Crawlspace

INSULATION NONE

BOTH LOCATIONS

No insulation was installed under the floor above the crawl space. Recommend that a qualified person install insulation for better energy efficiency and per standard building practices. Typically this is R-19 rated fiberglass batt with the attached facing installed against the warm (floor) side.

Recommendation

Contact a qualified insulation contractor.

