



SUMMARY

1234 Main St. Newnan Georgia 30263

Buyer Name
05/17/2019 9:00AM

This **Summary Report** is meant to organize any **Moderate Recommendations** and **Significant and/or Safety Concerns** into a shorter, straight to-the-point format. It does not, however, include **Upgrade/Maintenance** recommendations or Informational data that can be found in the Full Report.

This section is provided as a courtesy and cannot be considered a substitute for reading the entire report.

This is meant to be an Honest, Impartial, Third-Party assessment. I am more than happy to discuss anything in more detail.

Please reach out if you have any questions or need further explanation on anything identified in this report.

1.2.1 General

OBTAIN INFORMATION

We recommend obtaining from the Owner (and Public Records) all available Information, User's Guides/Owner's Manuals, Receipts, Warranties, Permits, Insurance Claims, and Warranty Transferability & Fees regarding the Repairs, Upgrades, and Components of the Home & Lot.

2.1.1 Exterior Doors

EXTERIOR DOOR(S) DAMAGED

 Moderate Item

Exterior door(s) have damage in one or more areas. Please see individual picture comments for more specific information.

Recommendation

Contact a qualified professional.



Rear Entry. Apparant dog scratches

2.2.1 Window Exteriors

SCREENS - DAMAGED AND/OR MISSING.

 Moderate Item

One or more screens were damaged and/or missing at the time of the inspection.

Recommendation

Contact a qualified window repair/installation contractor.



Rear of Home. Multiple Locations

2.3.1 Siding, Flashing & Trim

EXPANSION JOINT SEALANT MISSING

Expansion joint sealant is missing.



Moderate Item



Multiple Locations

2.5.1 Eaves, Soffits & Fascia

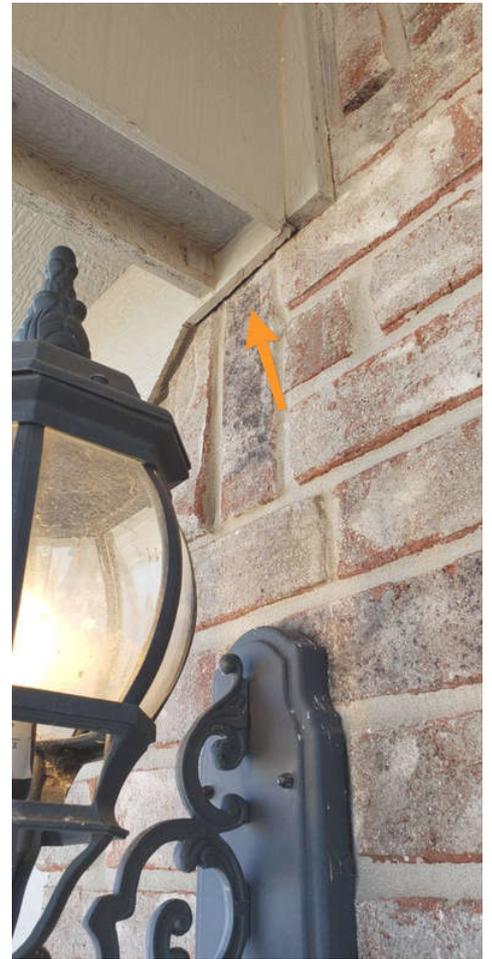
CAULKING NEEDED

Recommend caulking to prevent moisture intrusion and wood rot.

Recommendation

Contact a qualified professional.

 Moderate Item



Front of home

3.1.1 Coverings

COMMENSURATE GRANULE LOSS

The roof coverings have normal granule loss consistent with its age.

 Moderate Item

3.1.2 Coverings

EXPOSED FASTENERS

Seal exposed fasteners to prevent moisture intrusion.

 Moderate Item



Multiple Locations

3.1.3 Coverings

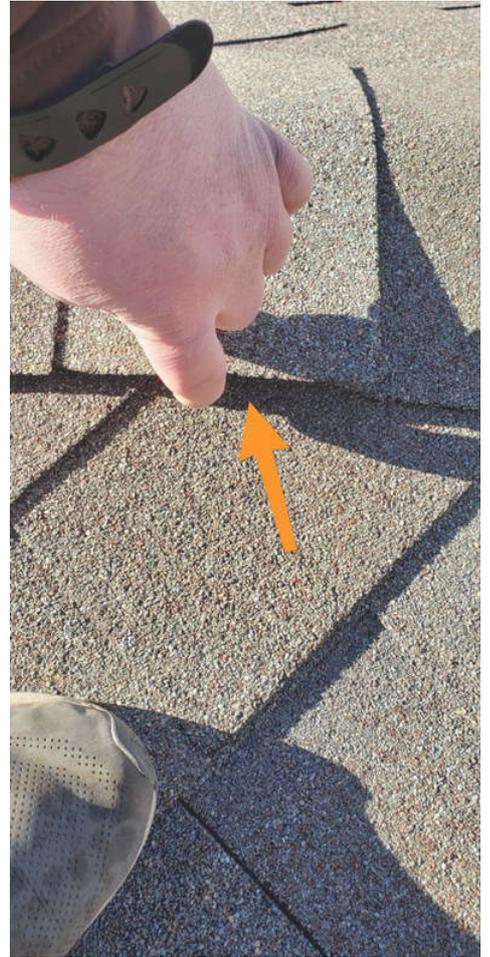
VALLEY(S) NOT SEALED

Moderate Item

One or more roof valleys and/or ridges were not properly sealed at time of inspection. It is recommended to properly seal the valley and/or ridge to avoid water intrusion.

Recommendation

Contact a qualified roofing professional.



Entire ridgeline

3.3.1 Roof Drainage Systems

NO OR PARTIAL GUTTERS

Moderate Item

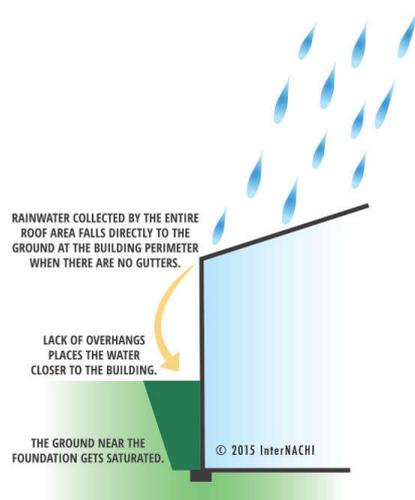
There is no or partial guttering on the structure. We recommend installing guttering to all applicable areas of the structure.

Recommendation

Contact a qualified gutter contractor



Multiple Locations



3.3.2 Roof Drainage Systems

DOWNSPOUTS DRAIN NEAR HOUSE

 Moderate Item

One or more downspouts drain too close to the home's foundation. [Adjust downspout extensions to drain at least 4-6 feet from the foundation.](#)

Recommendation

Contact a qualified gutter contractor



Multiple Locations



Multiple Locations

3.4.1 Flashings

ROOF EDGE FLASHING MISSING

 Moderate Item

Areas of the roof were missing roof edge flashing. Lack of roof edge flashing leaves the edges of roof sheathing and underlayment exposed to potential moisture damage from wood decay and/or delamination. The inspector recommends replacement of roof edge flashing in areas where it is missing. All work should be performed by a qualified contractor.

Recommendation

Contact a qualified roofing professional.

7.3.1 Fixtures, Water Supply, & Distribution Systems

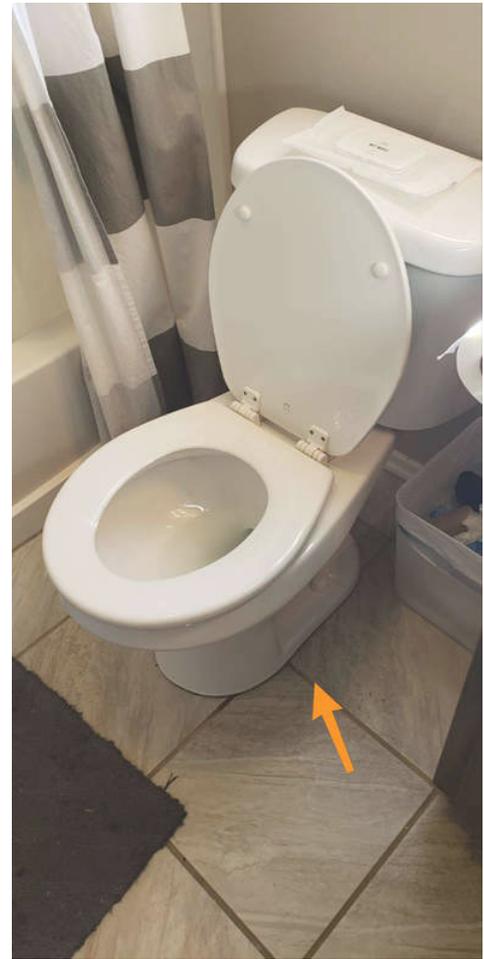
TOILET(S) LOOSE

One or more toilets was noted as being loose where it attached to the floor. Leaks can occur if not repaired.

Recommendation

Contact a qualified plumbing contractor.

 Moderate Item



Guest Bath

8.6.1 Smoke Detectors & Carbon Monoxide Detectors

CARBON MONOXIDE DETECTORS

 Upgrade/Maintenance Item

We recommend carbon monoxide detectors are installed in the home and maintained according to manufacturer's instructions.

8.6.2 Smoke Detectors & Carbon Monoxide Detectors

SMOKE DETECTORS

 Upgrade/Maintenance Item

We recommend having smoke detectors in the home: (1) In all sleeping rooms, (2) Hallways outside of sleeping areas in immediate vicinity of the sleeping rooms. (3) On each level of the dwelling unit including basements. (4) If separated by a door, we also recommend having smoke detectors in the dining room, furnace room, utility room, and hallways not protected by the required Smoke Alarms. The installation of Smoke Alarms in kitchens, unfinished attics, or garages is not normally recommended, as these locations occasionally experience conditions that can result in improper operation. We recommend installing smoke detectors according to the manufacturers instructions as well as regularly testing and monitoring smoke detectors as their batteries need to be replaced and/or the smoke detectors expire and should be replaced periodically per the manufacturer's instructions.

11.1.1 Garage Door & Opener

FLOOR SENSORS TOO HIGH

 Moderate Item

Floor sensors are recommended to be placed 4-6 inches above the floor.

