



**DEFICIENCY SUMMARY**  
1234 Main St. Oklahoma City OK  
73134  
Buyer Name  
08/28/2017 9:00AM

Keyth Howry  
OK State Lic. #70001763  
iZON Inspection Services  
405-819-6233  
[khowry@izonyourhome.com](mailto:khowry@izonyourhome.com)



2.1.1 Coverings

## NAIL POPS

Observed one or more under-driven nails/fasteners (nail pops). Recommend a qualified roofing contractor evaluate and repair.

Recommendation

Contact a qualified roofing professional.



2.1.2 Coverings

## EXPOSED NAILS/FASTENERS

One or more exposed nails/fasteners were observed. This condition increases the chances of leaks and damage to underlayment in this area. Recommend sealing nails to prevent moisture intrusion.

Recommendation

Contact a qualified roofing professional.



2.1.3 Coverings

## DAMAGED (MODERATE)

Roof coverings showed moderate damage. Recommend a qualified roofing professional evaluate and repair. Contacting your insurance company to verify insurability is always recommended as well.

Recommendation

Contact a qualified roofing professional.





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#### 2.1.4 Coverings

## IMPROPER INSTALLATION - UNDERLAYMENT

Inspector observed the underlayment has been improperly installed. At the eaves the underlayment should go over the drip edge flashing. Recommend correction by a qualified professional.

#### Recommendation

Contact a qualified roofing professional.



### 2.2.1 Gutters & Downspouts

## GUTTERS MISSING

There are not gutters present all the way around the home. Gutters are recommended because they collect rain water from the roof and direct it away from the building.

#### Recommendation

Contact a qualified professional.



### 2.2.2 Gutters & Downspouts

## DEBRIS BUILD-UP

Debris has accumulated in the gutters. Recommend cleaning to facilitate water flow.

[Here is a DIY resource](#) for cleaning your gutters.

#### Recommendation

Contact a qualified roofing professional.



### 2.2.3 Gutters & Downspouts

## DETACHED GUTTER

The gutter(s) is loose and needs to be re-fastened. Recommend correction by qualified professional.

#### Recommendation

Contact a qualified professional.



### 2.2.4 Gutters & Downspouts

## DOWNSPOUTS DRAIN NEAR HOUSE

One or more downspouts drain too close to the home's foundation. This can result in excessive moisture in the soil at the foundation, which can lead to foundation/structural movement. Recommend a qualified professional adjust or add downspout extensions to drain at least 6 feet from the foundation.

#### Recommendation

Contact a qualified roofing professional.



### 2.2.5 Gutters & Downspouts

## GUTTER DAMAGED

Gutters were damaged. This can result in excessive moisture in the soil at the foundation, which can lead to foundation/structural movement. Recommend a qualified contractor evaluate and repair.

#### Recommendation

Contact a qualified roofing professional.



### 2.3.1 Flashings

## LOOSE/SEPARATED

### CHIMNEY

Flashings observed to be loose or separated, which can lead to water intrusion and/or mold. Recommend a qualified roofing contractor repair.

#### Recommendation

Contact a qualified roofing professional.



### 2.3.2 Flashings

## EXPOSED NAILS AT FLASHING

Nails were exposed at flashing(s) and should be properly sealed to prevent moisture intrusion. Recommend correction by a qualified professional.

#### Recommendation

Contact a qualified professional.



### 2.3.3 Flashings

## DRIP EDGE CORROSION

Drip edge flashing was completely corroded and underlying materials were damaged by moisture. This damage could be a direct result of the underlayment not being installed correctly. Recommend correction by a qualified professional.

#### Recommendation

Contact a qualified roofing professional.



#### 2.4.1 Roof Penetrations

## EXPOSED NAILS AT BOOTS

One or more exposed nails at the boots. This condition increases the chances of moisture intrusion. Recommend correction by a qualified professional.

#### Recommendation

Contact a qualified professional.



#### 2.4.2 Roof Penetrations

## LOOSE BOOT / POOR INSTALLATION

One or more roof jacks or plumbing boots were loose. This could lead to water intrusion if not properly installed. Recommend correction by a qualified professional.

#### Recommendation

Contact a qualified professional.



3.1.1 Exterior Wall

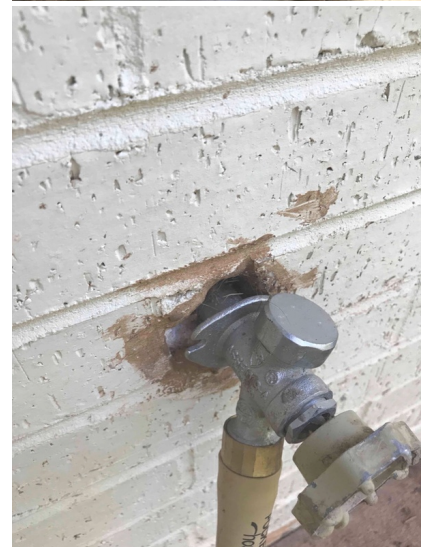
## SEAL WALL PENETRATION(S)

Exterior wall penetrations or pipes had gaps that should be sealed with an appropriate sealant to prevent moisture and insect entry. All work should be performed by a qualified contractor.

\*see photos for details

Recommendation

Contact a qualified professional.



3.2.1 Trim

## PEELING PAINT

Peeling paint and some moisture damage has been observed in one or more locations of wood trim. Recommend correction by a qualified professional.

Recommendation

Contact a qualified professional.





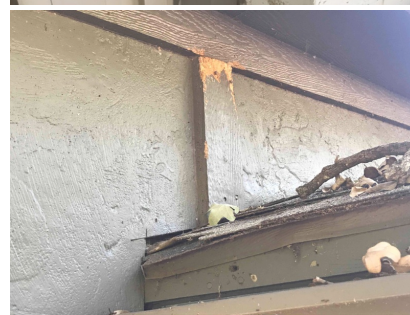
### 3.2.2 Trim

## TRIM - DAMAGED/CRACKED

One or more sections of the trim are damaged. Recommend correction by a qualified professional.

#### Recommendation

Contact a qualified professional.



### 3.2.3 Trim

## ABANDONED HOLE

Exposed hole in the trim. Inspector recommends to seal hole to prevent moisture and pest intrusion. All work should be performed by a qualified professional.

#### Recommendation

Contact a qualified professional.



### 3.2.4 Trim

## SEPARATED TRIM

Gaps were observed at one or more locations of trim junctions. Recommend correction by a qualified professional to prevent moisture or insect intrusion.

#### Recommendation

Contact a qualified professional.







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### 3.3.1 Doors & Windows

## SEAL WINDOW TRIM

One or more gaps were observed at the window trim. Recommend to seal gaps with an approved sealant to prevent not only moisture and pest intrusion but energy loss.

#### Recommendation

Contact a qualified professional.



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### 3.3.2 Doors & Windows

## WINDOW SCREEN(S) MISSING

One or more windows were missing screens. Recommend replacement of missing screens.

#### Recommendation

Recommended DIY Project



### 3.3.3 Doors & Windows

## WINDOW SCREEN(S) DAMAGE

Window screen damage was noted at one or more windows. Recommend correction by replacing damaged screens. All work should be performed by a qualified professional.

#### Recommendation

Contact a qualified professional.

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### 3.4.1 Walkways, Patios & Driveways

## WALKWAY CRACKING - MINOR

Minor cosmetic cracks observed. Recommend monitor and/or patch/seal.

#### Recommendation

Recommended DIY Project



### 3.6.1 Grounds

## TREE DEBRIS ON ROOF

Tree debris observed on roof. This can cause improper drainage to gutters and downspouts. Recommend clearing debris.

#### Recommendation

Contact a quality handyman.



### 3.6.2 Grounds

## TREE OVERHANG

Large trees near the house have limbs that overhang the home. Falling limbs due to conditions such as wood decay, high winds or heavy snow loads may cause injury, death or damage. Consider having these trees evaluated by a qualified professional. Evaluating trees lies beyond the scope of the general Home Inspection.

#### Recommendation

Contact a qualified tree service company.



### 3.6.3 Grounds

## BUILT-UP PLANTERS/BEDS

Planting beds have been constructed near the exterior walls. Water for plants will eventually soak into soil and may reach soil supporting the foundation. Excessively high moisture levels in soil supporting the foundation can affect its ability to support the weight of the structure above.

No significant movement at the time of inspection. Monitor over time.

#### Recommendation

Contact a qualified professional.

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### 3.6.4 Grounds

## LARGE TREES

Roots from trees growing between the home and the street may pose a threat to underground piping. Tree roots can damage or invade and form blockages in sewer pipes. Consider having the main sewer line inspected by video camera to discover any damage that may have occurred in time to negotiate with the seller for the cost of correction.

#### Recommendation

Contact a qualified professional.

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### 3.6.5 Grounds

## TREE ROOTS

Roots from a tree located near the foundation may cause foundation damage as the tree grows and the root system expands. Monitor this area of the foundation during the growing season (usually May through September) for signs of damage. If signs of damage appear (such as cracks) the tree may need to be removed. The potential for damage from tree roots varies with tree species. Consider evaluation by a qualified arborist.

#### Recommendation

Contact a qualified professional.



### 3.6.6 Grounds

## TREES IN CONTACT WITH ROOF/STRUCTURE

Trees were observed to be in contact with the building structure. Recommend qualified professional to trim trees to allow at least 1' of clearance to ensure no damage to building materials.

#### Recommendation

Contact a qualified professional.

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### 3.6.7 Grounds

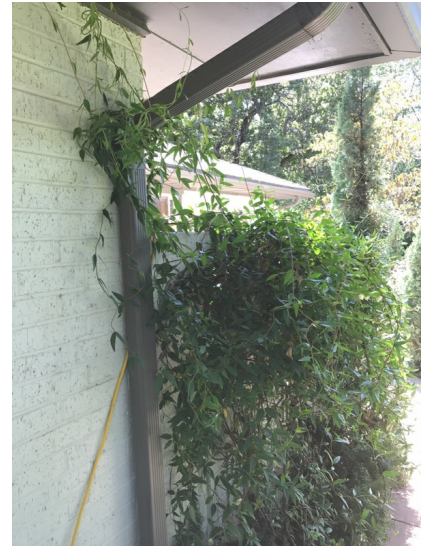
## VINE GROWTH

Vines growing on the exterior walls may introduce insects, pests and/or accelerate deterioration of the exterior wall covering by retaining moisture. Over time, vine tendrils may damage wall covering materials.

Watering this vegetation will introduce moisture to the soil which may eventually reach the foundation. Moisture in soil supporting the foundation can affect the ability of the foundation to support the weight of the structure above and can cause damage from soil heaving or settling, depending on soil composition and other conditions. The Inspector recommends removal of the vegetation from exterior walls.

#### Recommendation

Contact a qualified professional.



### 4.1.1 Foundation

## EVIDENCE OF STRUCTURAL DAMAGE

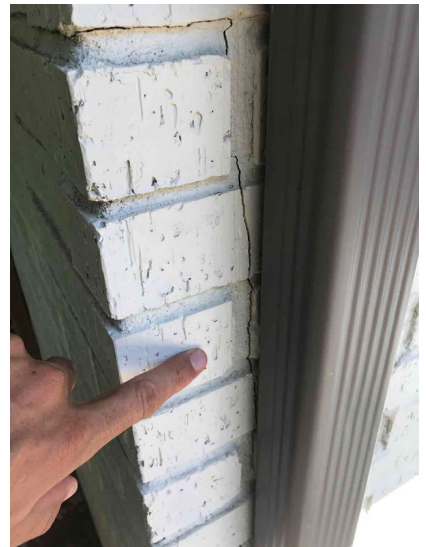
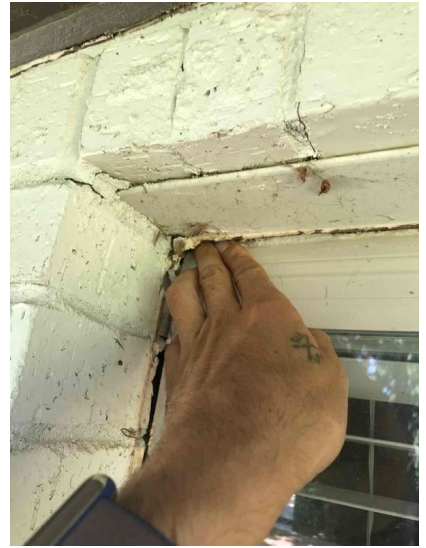
**! Safety Hazard and/or Requires Immediate Attention**

Evidence of structural damage was found in the wall structure. Recommend a structural engineer evaluate and advise on how to repair.

#### Recommendation

Contact a qualified structural engineer.

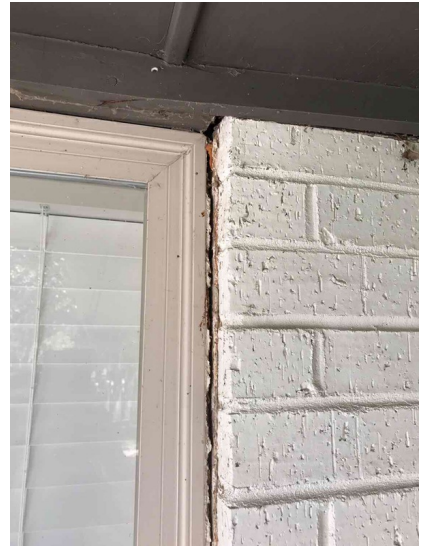




Settling garage slab







5.1.1 Structure

## EVIDENCE OF MOISTURE INTRUSION

Area around plumbing vent stack showed signs of water/moisture intrusion. Recommend correction by a qualified professional.

Recommendation

Contact a qualified professional.



5.1.2 Structure

## NO FIRESTOP

**⚠ Safety Hazard and/or Requires Immediate Attention**

Water heater was moved but the chase has not been sealed off. Recommend sealing off abandoned closet for safety to prevent the spread of fire, should one occur. All work should be done by a qualified professional.

Recommendation

Contact a qualified professional.



5.3.1 Insulation

# MISSING INSULATION

The Inspector observed areas of the attic that were missing insulation. Recommend have a qualified professional add insulation to cover appropriately.

Thermal images confirm there was no insulation over the bathroom next to the garage.

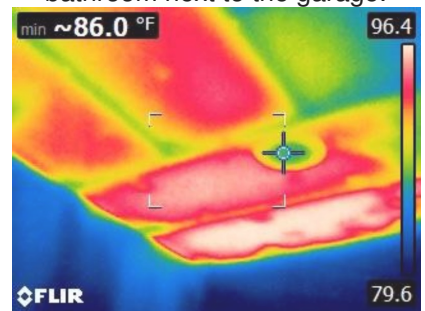
Secondary thermal images indicate some areas of insulation are lacking.

Recommendation

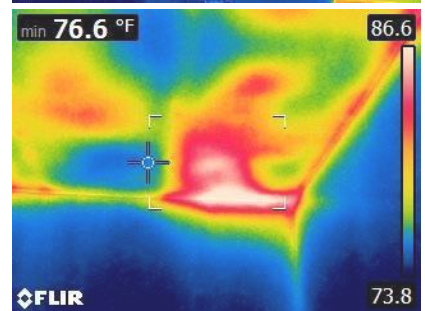
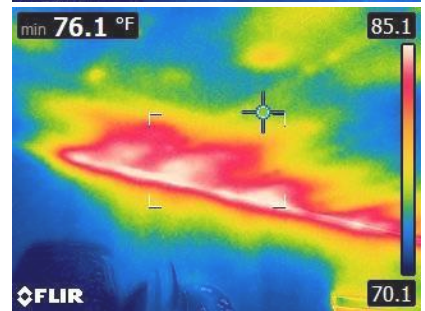
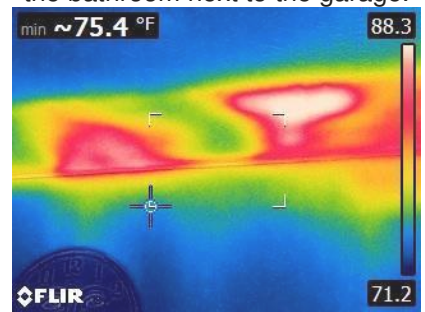
Contact a qualified professional.



This photo was taken above the bathroom next to the garage.



This thermal image was taken in the bathroom next to the garage.



#### 5.4.1 Exhaust Systems

## BATHROOM VENTS INTO ATTIC

Bathroom fan vents into the attic, which can cause moisture and mold. Recommend a qualified attic contractor properly install exhaust fan to terminate to the exterior.

#### Recommendation

Contact a qualified HVAC professional.



#### 6.1.1 Heating Equipment

## FILTER MISSING

The furnace filter was missing. Recommend replacement.

#### Recommendation

Contact a qualified HVAC professional.



#### 6.2.1 Cooling Equipment

## SEAL WALL PENETRATION

The hole in the exterior wall-covering cut to allow penetration of air-conditioning lines should be sealed with an appropriate sealant to prevent moisture and insect entry.

#### Recommendation

Contact a qualified professional.

## 6.2.2 Cooling Equipment

# SUCTION LINE INSULATION

Insulation on the air-conditioning suction (large, insulated) line was damaged or missing at areas and should be replaced by a qualified HVAC professional.

### Recommendation

Contact a qualified professional.



Condensation dripping on framing members.

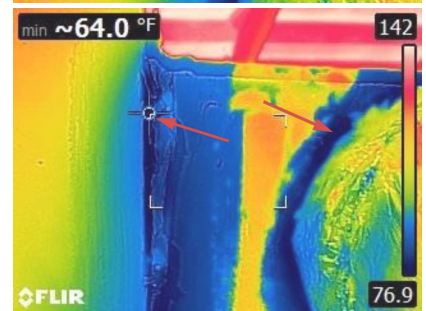
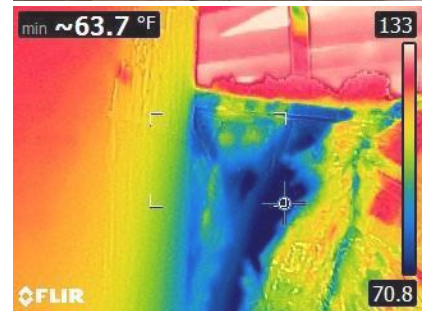
6.2.3 Cooling Equipment

# AIR LEAK

The Inspector observed an air leak at the plenum and ductwork connection in the attic. Recommend correction by a qualified professional.

Recommendation

Contact a qualified professional.



6.3.1 Distribution Systems

# DUCT LEAKING

Air supply duct was leaking air. Recommend correction by a qualified HVAC professional.

Recommendation

Contact a qualified HVAC professional.

6.4.1 Fireplace

# FIREBRICK - MINOR CRACKS

One or more minor cracks were observed in the fire brick mortar. Recommend monitor over time and repair as necessary.

Recommendation

Contact a qualified professional.



7.2.1 Water Heating

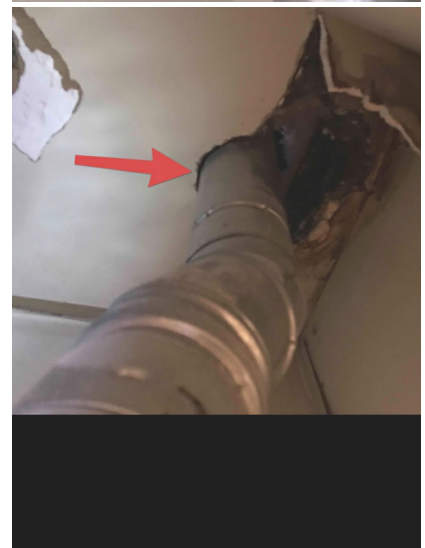
## FLUE TOO CLOSE TO COMBUSTIBLES

**⚠ Safety Hazard and/or Requires Immediate Attention**

The exhaust flue for the water heater(s) had inadequate clearance from combustibles. This type of exhaust flue requires 1-inch clearance from combustible materials. This condition is a potential fire hazard and should be corrected by a qualified professional.

Recommendation

Contact a qualified professional.



7.2.2 Water Heating

## BURNER COVER - OFF/MOVED

The cover for the water heater burner is off or not properly set. Recommend correction by a qualified professional.

Recommendation

Contact a qualified professional.





7.2.3 Water Heating

## COMBUSTION AIR VENT SEPARATED

**⚠ Safety Hazard and/or Requires Immediate Attention**

B vent for combustion air was not properly connected or disconnected completely. Recommend correction to ensure the vents are providing the proper combustion air to the water heater. All work should be performed by a qualified professional.

Recommendation

Contact a qualified professional.



7.2.4 Water Heating

## TPR - TERMINATION NOT VISIBLE

**⚠ Safety Hazard and/or Requires Immediate Attention**

The TPR valve did not discharge within sight. Recommend correction by a qualified professional for safety.

TPR discharges behind the washing machine. It also has a small drip cap on the end of the pipe. This also is not recommended.

Recommendation

Contact a qualified professional.



7.3.1 Drain, Waste & Vents

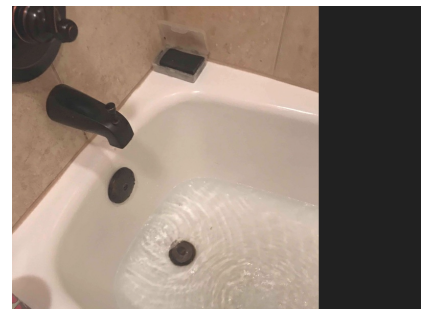
## TUB - POOR DRAINAGE

### HALLWAY BATHROOM

The tub(s) had poor drainage at the time of the inspection. The Inspector recommends that an evaluation and any necessary work be performed by a qualified plumbing professional.

Recommendation

Contact a qualified professional.



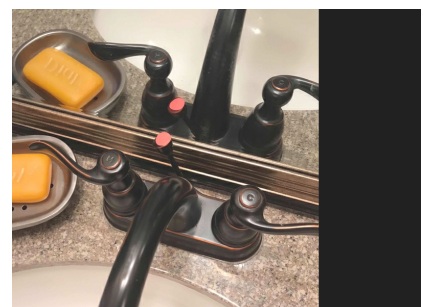
7.4.1 Faucets & Fixtures

## DRAIN STOP NOT WORKING

Inspector observed the mechanical drain stop to not be working at the time of inspection. Recommend correction by a qualified professional.

Recommendation

Contact a qualified professional.



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7.4.2 Faucets & Fixtures

## SILL COCK LEAKING

The inspector observed a leaking sill cock (hose bib) that was leaking at the handle. Recommend correction by a qualified professional.

Recommendation

Contact a qualified professional.



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7.4.3 Faucets & Fixtures

## WHIRLPOOL JETS NOT WORKING

One or more jets for the whirlpool tub were not operating properly. Recommend correction by a qualified professional.

Recommendation

Contact a qualified professional.



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8.1.1 Service Entrance & Meter

## SERVICE ENTRANCE CONDUIT - RUST

Underground conduit for the service entrance was moderately rusted. Recommend to monitor over time.

Recommendation

Contact a qualified electrician.



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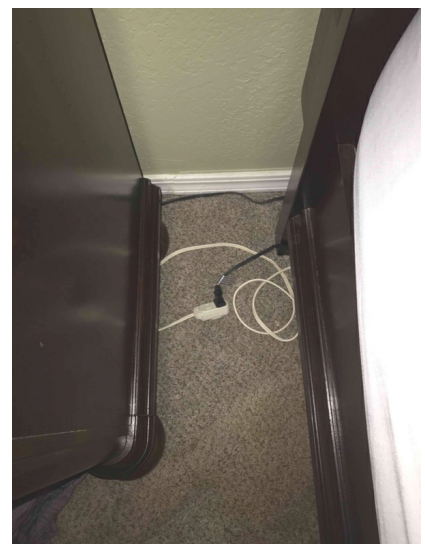
8.4.1 Fixtures, Switches & Receptacles

## EXTENSION CORD

Extension cord used as permanent wiring was visible and noted in its location. This condition is a potential fire hazard. The Inspector recommends that any such wiring be removed and replaced with properly-installed, approved wiring by a qualified professional.

Recommendation

Contact a qualified professional.



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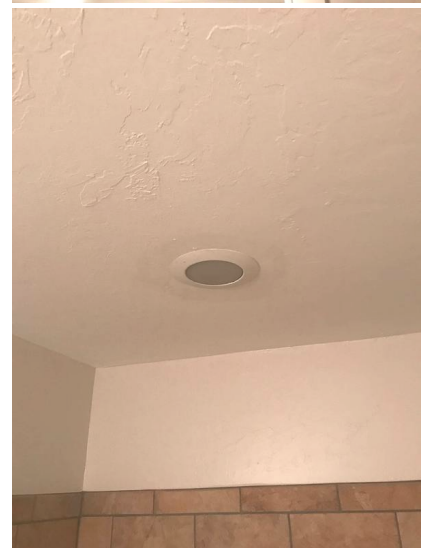
8.4.2 Fixtures, Switches & Receptacles

## LIGHT INOPERABLE

One or more lights are not operating. New light bulb possibly needed.

Recommendation

Contact a qualified electrician.



## LOOSE RECEPTACLES

**⚠ Safety Hazard and/or Requires Immediate Attention**

One or more electrical receptacles were improperly secured and moved when a plug was inserted. Receptacles should be securely installed to prevent fire, shock and/or electrocution hazard. The Inspector recommends correction by a qualified electrical professional.

Recommendation

Contact a qualified professional.



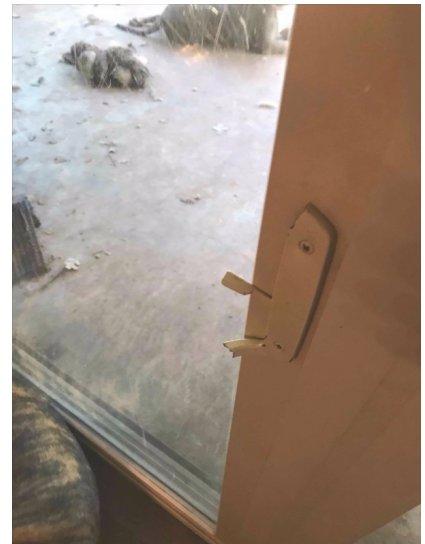
## BROKEN / LOOSE / MISSING HARDWARE

LIVING ROOM

One or more doors were observed to have missing/broken/loose hardware. Recommend correction by a qualified professional.

Recommendation

Contact a qualified professional.



Rear sliding glass door.



Master Bedroom closet door.

9.2.1 Windows

## MISSING SCREEN

Window missing screen. Recommend replacement.

Recommendation

Contact a qualified window repair/installation contractor.



9.2.2 Windows

## INOPERABLE WINDOW LOCK

One or more window locks did not operate or did not properly line up. Recommend correction by a qualified professional.

Recommendation

Contact a qualified professional.



9.2.3 Windows

## BROKEN PANE

One or more windows were observed to be broken or cracked. Recommend correction by a qualified professional.

Recommendation

Contact a qualified professional.



9.4.1 Walls

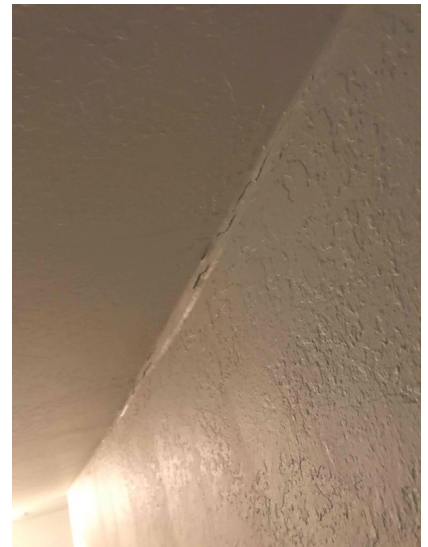
## MAJOR CORNER CRACKS

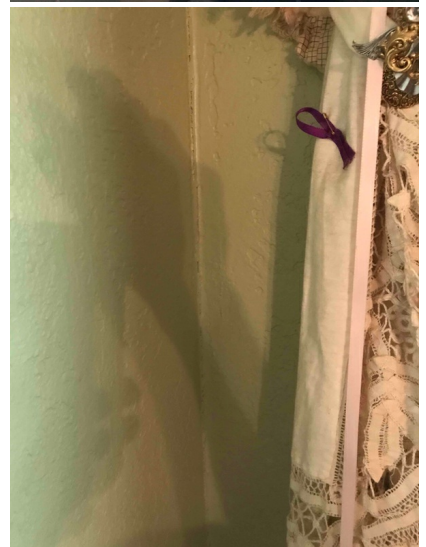
Cracking visible at the corners of doors and windows. Indicate soil movement, which is a structural concern and should be evaluated by a

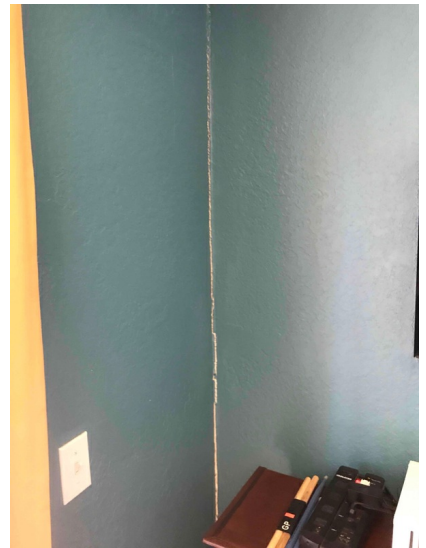
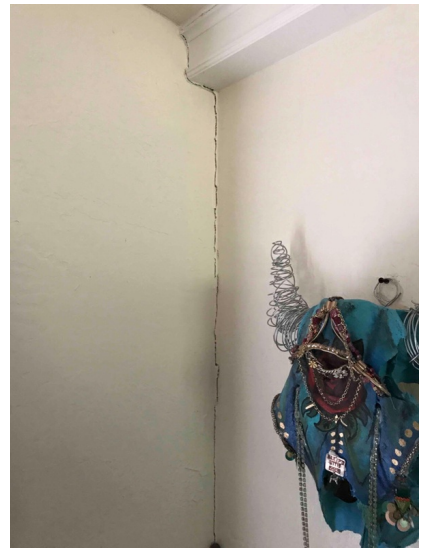
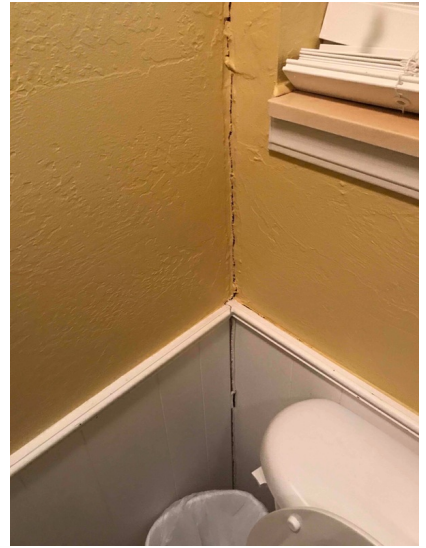
structural engineer.

Recommendation

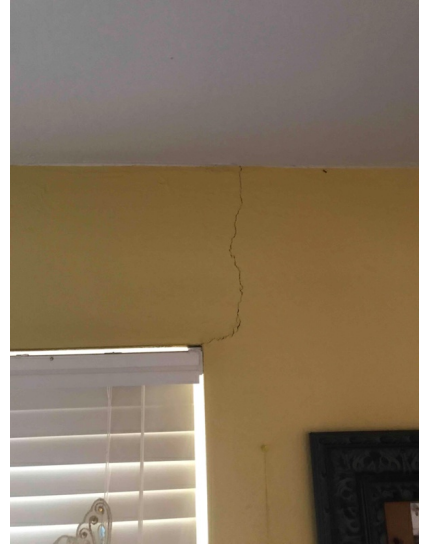
Contact a qualified structural engineer.

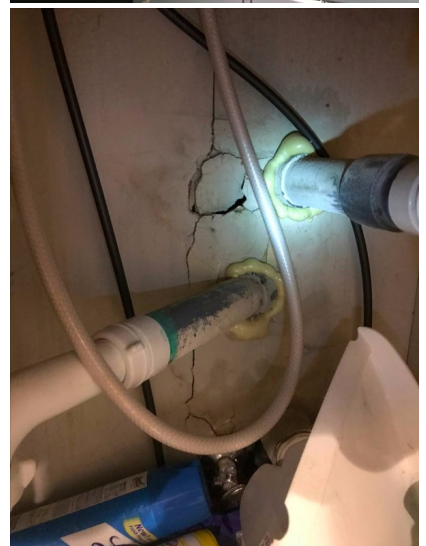
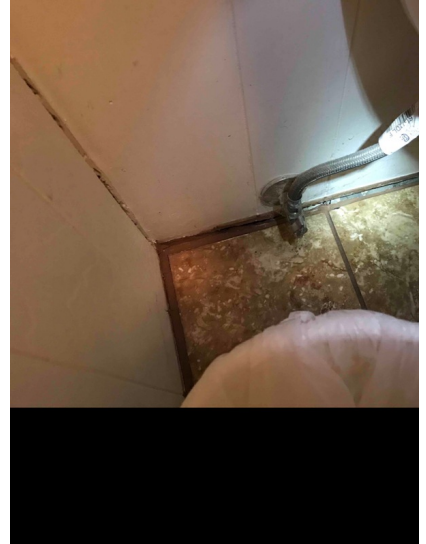
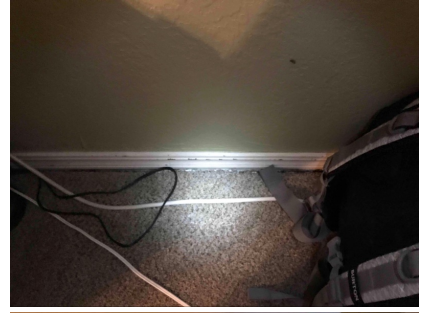












This crack was observed under the kitchen sink.

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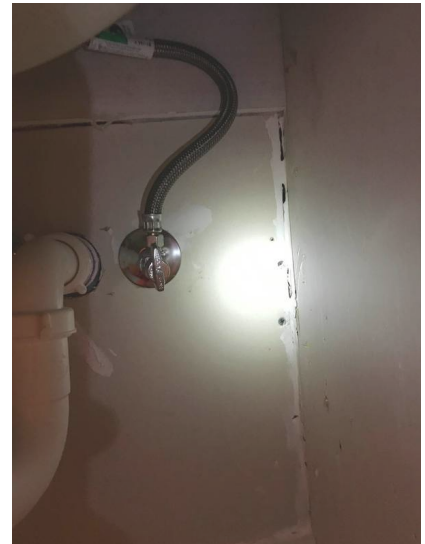
9.4.2 Walls

## POOR PATCHING

Sub-standard drywall patching observed at time of inspection.  
Recommend re-patching.

Recommendation

Contact a qualified drywall contractor.



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9.9.1 Carbon Monoxide Detectors

## LOW/NO BATTERY

Carbon monoxide detector failed to respond when tested. Recommend battery be replaced.

Recommendation

Recommended DIY Project



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10.1.1 Dishwasher

## DOOR RUB

Dishwasher door slightly rubs cabinet when it's being closed. Inspector recommends door or unit to be adjusted to ensure no damage is done to cabinetry. All work should be done by qualified professional.

Recommendation

Contact a qualified professional.



