



SUMMARY

1234 Main St. Tempe Arizona 85282

Buyer Name
01/03/2019 9:00AM

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Observations are organized into three categories:

- 1) **Monitor or Maintenance Item** - This category is for items that require continual monitoring and/or regular service and maintenance. These observations are more informational in nature and represent more of a future to-do list rather than something you might use as a negotiation or Seller-repair item.
- 2) **Recommendation or Upgrade** - Most items will typically fall into this category. These observations may require a qualified contractor to evaluate further and repair or replace. Also included are items that are often considered as improvement items or upgrades.
- 3) **Safety Hazard** - This category is composed of health or safety items.

The "Report Summary" section is intended to be a tool to assist our clients and their representative(s) in preparing a repair request, if and when applicable. **THIS IS NOT A LIST OF MANDATORY REPAIRS BUT A LIST OF SUGGESTED REPAIRS OR UPGRADES NEEDED.** The Report Summary is intended to follow the flow of the main body of the Property Inspection Report. The order of repair priority is left up to the sole discretion of the client and your Inspector will not be able to assist you specifying order of importance. Further, this summary contains only those items identified as "Deficient". **There may be other items listed in the full body of the Property Inspection Report that could be important to you and you may consider adding to your repair request if and when applicable. You should read and understand the entire Home Inspection Report prior to completing any repair request.** This report contains technical information, if you do not understand or are unclear about some of the information contained in the body of this report; please call the office to arrange for a verbal consultation with your inspector prior to the expiration of any time limitations such as option periods.

2.8.1 Roof / Ceiling Structure & Attic

ATTIC INSULATION DEPTH WAS INADEQUATE



Recommendation

The attic insulation depth or thickness was inadequate. The recommended depth of attic floor insulation is 12+ inches to achieve an R30 rating. Inadequate attic insulation depth or thickness may allow greater than normal loss of conditioned air.

Recommendation

Contact a qualified insulation contractor.



3.1.1 Exterior Wall Cladding

POSSIBLE PRESENCE OF WOOD DESTROYING ORGANISMS



Runner tubes were observed at the foundation perimeter indicating a possible presence of wood destroying organisms. Recommend further evaluation for the presence of any wood destroying pests or organisms by a qualified pest inspector.

Recommendation

Contact a qualified pest control specialist.



3.1.2 Exterior Wall Cladding

MINOR CRACKS IN STUCCO



Stucco showed cracking in one or more places. This could be a result of temperature changes or building settlement and is typical as homes with stucco age. Recommend a stucco repair contractor to seal and repaint to prevent water penetration.

Recommendation

Contact a stucco repair contractor



3.2.1 Wall Flashing and Trim

PEELING OR DAMAGED PAINT ON EXTERIOR TRIM

 Recommendation

Peeling, damaged or deteriorating paint, stain and/or sealant was observed at the exterior trim. Peeling, damaged and deteriorating paint or sealant should be repaired to prevent moisture penetration and deterioration of materials.

Recommendation

Contact a qualified painter.



3.3.1 Eaves, Soffits & Fascia

DAMAGED FASCIA

PATIO ROOF

One or more sections of the fascia were damaged. Recommend a qualified roofing professional to further evaluate and repair.

Recommendation

Contact a qualified roofing professional.



3.3.2 Eaves, Soffits & Fascia

WASPS NEST UNDER THE EAVE

Wasp nests were visible under the eaves. Recommend a qualified exterminator to further evaluate and remove.

Recommendation

Contact a qualified pest control specialist.



3.3.3 Eaves, Soffits & Fascia

PAINT/SEALANT RECOMMENDED AT THE EAVES



Recommendation

Peeling, damaged or deteriorating paint, stain and/or sealant was observed under the roof eave at the soffit and/or fascia. These conditions should be repaired to prevent moisture penetration and deterioration of materials.

Recommendation

Contact a qualified painter.



3.5.1 Garage Door

DAMAGED/MISSING GARAGE DOOR WEATHER STRIPPING



Recommendation

SINGLE BAY GARAGE DOOR

Damaged or missing garage door weather stripping should be replaced to prevent water and pest intrusion.

Recommendation

Contact a qualified garage door contractor.



3.7.1 Walkway(s)

TRIPPING HAZARD AT WALKWAY



Safety Hazard

Differential movement, unevenness and/or cracking in poured concrete was observed to be a TRIPPING SAFETY HAZARD. Differential movement in poured concrete may be an indication of settlement or other defects and should be repaired as needed.

Recommendation

Contact a qualified concrete contractor.



3.8.1 Retaining Wall(s)

DAMAGE TO THE RETAINING WALL(S)



Recommendation

Damage was noted to the retaining wall(s) at the time of inspection and should be repaired. Recommend a qualified landscape contractor to further evaluate and repair as necessary.

Recommendation

Contact a qualified landscaping contractor



3.12.1 Fences and Gates

COMMON CRACKS FOUND IN CONCRETE/MASONRY WALL

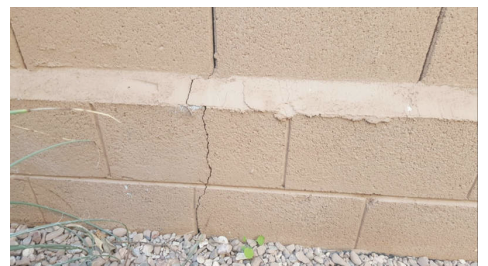


Maintenance Item

Common cracks were found in the concrete/masonry wall at the time of the inspection.

Recommendation

Recommend monitoring.



3.12.2 Fences and Gates

 Recommendation

SPALLING CONCRETE NEAR SPRINKLER HEADS

The CMU fencing was spalling or flaking in some areas due to the adjacent sprinkler heads spraying water on the lower portions of the fence. Recommend adjusting or re-positioning the sprinkler heads away from the CMU fence to prevent further deterioration.

Recommendation

Contact a qualified landscaping contractor



3.13.1 Vegetation, Grading & Drainage

 Recommendation

FOLIAGE/VEGETATION IMPACTING THE STRUCTURE.

Heavy foliage growing on, over or around the exterior walls of the structure should be trimmed back at least 18-inches. Heavy foliage limits the Inspectors visual observation of the exterior surfaces. Heavy foliage at exterior walls creates conducive conditions for material damage, wood destroying insects and moisture damage. Heavy foliage may damage the roof and/or exterior wall cladding.



Recommendation

Contact a qualified landscaping contractor

3.13.2 Vegetation, Grading & Drainage

 Recommendation

WATER PONDING WAS PRESENT IN THE YARD

Water was observed to be ponding in the backyard. This is most likely caused by the irrigation sprinkler system. It is recommended that the irrigation sprinkler system be evaluated for proper distribution of water and timing. The system may be on a water timed schedule that is inappropriate for this time of the year or it may be leaking and is in need of repair.

Recommendation

Contact a qualified landscaping contractor



4.1.1 Main Roof

 Recommendation

TREE AND SHRUB BRANCHES WERE IN CONTACT WITH THE ROOF

Tree and shrub branches should always be trimmed away from the roofing material. Tree and shrubbery branches may damage the roof covering and exterior wall cladding.

Recommendation

Contact a qualified landscaping contractor



4.1.2 Main Roof

BROKEN CONCRETE MUD BALLS

 Recommendation

Several concrete "mud balls" were observed to be broken and in need of repair. Mud balls should be repaired by a qualified roofing contractor to prevent moisture intrusion, leaking, damage and deterioration.

Recommendation

Contact a qualified roofing professional.



4.3.1 Patio Roof

THINNING GRANULES ON ASPHALT SHINGLES

 Recommendation

Composition shingle tab granules were observed to be thinning on the roof covering. This is an indication of weathering and age. You are encouraged to have a licensed roofing contractor to physically inspect the roof to fully evaluate the condition of the roofing materials.

Recommendation

Contact a qualified roofing professional.



4.3.2 Patio Roof

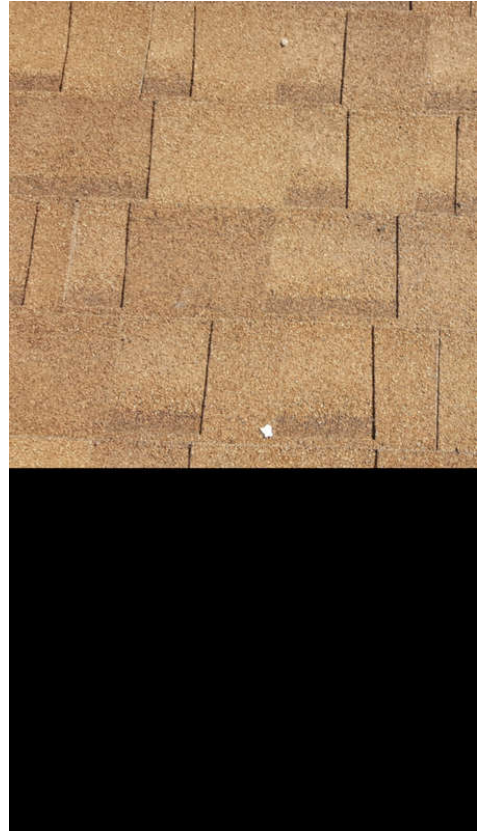
ROOF COVERING APPEARED TO BE INAPPROPRIATE FOR THE ROOF SLOPE

 Recommendation

The roof covering material appeared to be inappropriate for the roof slope and may allow water penetration, premature wear, weather damage and other defects. You are encouraged to have a licensed roofing contractor to physically inspect the roof to fully evaluate the condition of the roofing materials.

Recommendation

Contact a qualified roofing professional.



4.3.3 Patio Roof

TREE AND SHRUB BRANCHES WERE IN CONTACT WITH THE ROOF

 Recommendation

Tree and shrub branches should always be trimmed away from the roofing material. Tree and shrubbery branches may damage the roof covering and exterior wall cladding.

Recommendation

Contact a qualified landscaping contractor



4.6.1 Roof Penetrations

ROOF PENETRATIONS HAD CRACKED SEALANT

 Recommendation

Sealant at the roof penetration(s) were observed to be cracked and deteriorated. Improperly sealed roof penetrations or flashings may allow water penetration. You are encouraged to have a licensed roofing contractor to physically inspect the roof to fully evaluate the condition of the roofing materials.

Recommendation

Contact a qualified roofing professional.



5.2.1 Exterior Hose Faucet(s)

NO ANTI-SIPHON DEVICE

 Recommendation

It is recommended to install an anti-siphon device at the exterior hose faucet for safety reasons. An anti-siphon device (or vacuum breaker) prevents unsanitary water from being pulled back through a garden hose and contaminating your water system, otherwise known as a "Cross Connection". These are fairly inexpensive and can be picked up at your local hardware store.

Recommendation

Contact a handyman or DIY project



5.2.2 Exterior Hose Faucet(s)

RECOMMEND UPGRADE REPLACING GATE VALVE(S)

 Recommendation

It is recommended to replace the exterior gate valve(s) with ball valve(s). Quarter-turn ball valves are easier to operate and are less prone to leaking.

Recommendation

Contact a qualified plumbing contractor.



5.3.1 Water Supply Lines

CORRODED - ACTIVE LEAKAGE

 Recommendation

SOUTH

Actively leaking, heavily-corroded water distribution pipes were observed and should be repaired by a qualified plumbing contractor to avoid damage to home materials or the development of conditions which encourage the growth of microbes such as mold.

Recommendation

Contact a qualified plumbing contractor.



5.6.1 Water Heater

MISSING OVERFLOW PAN

 Recommendation

The water heating equipment was installed without an overflow pan. Current building standards state that all water heaters should be equipped with an overflow pan with a drain that drains to the exterior of the structure if leaks would cause damage.

Recommendation
Contact a qualified plumbing contractor.



5.6.2 Water Heater

NO SEDIMENT TRAP/DRIP LEG

 Recommendation

No sediment trap or drip leg was installed. Sediment traps and drip legs are installed to keep particulates and moisture out of the gas valve. Particulates or moisture in the gas valve can interfere with water heater burner operation. The Inspector recommends installation of a sediment trap/drip leg by a qualified plumbing contractor.

Recommendation
Contact a qualified plumbing contractor.



5.6.3 Water Heater

IMPROPER DISCHARGE PIPE MATERIAL

 Recommendation

The discharge pipe of the water heater temperature/pressure relief (TPR) valve was of an improper material. TPR discharge pipes should be galvanized steel, copper pipe, or CPVC. The Inspector recommends correction by a qualified contractor.

Recommendation
Contact a qualified plumbing contractor.



5.6.4 Water Heater

INCORRECT FLUE CONNECTIONS

 Recommendation

The water heater flue was incorrectly fastened at the connections. Single wall vent pipe should be connected with 3 sheet metal screws at each joint. Recommend a qualified professional to correct.

Recommendation

Contact a qualified professional.



6.4.1 Branch Circuit Conductors

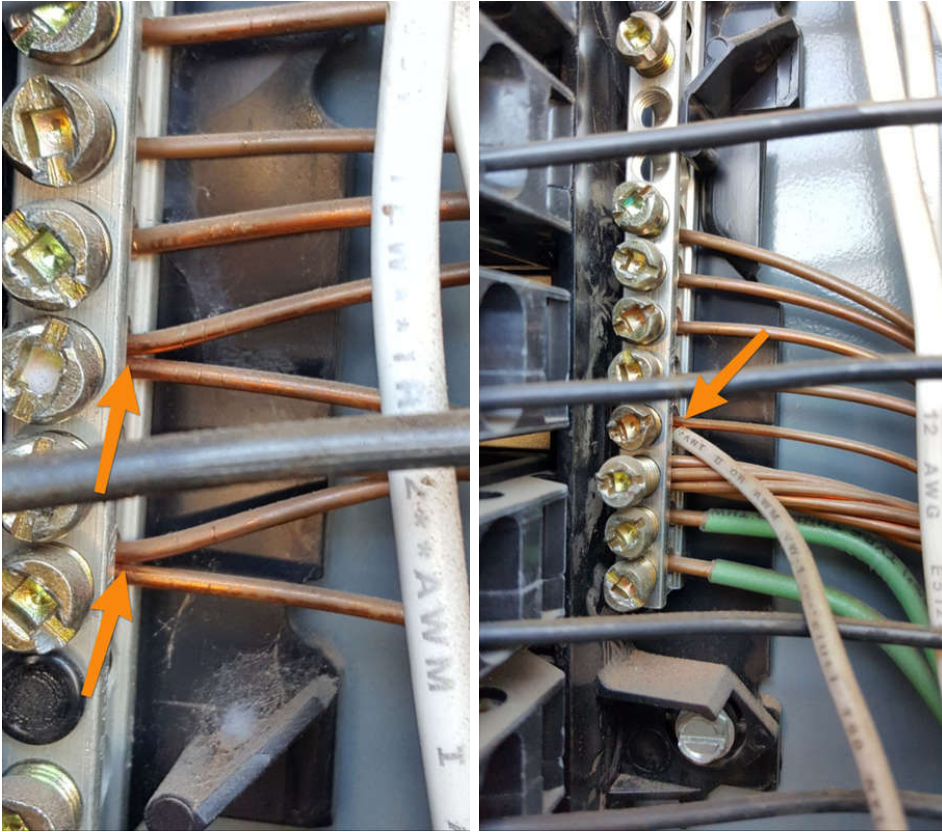
DOUBLE TAPPING AT NEUTRAL BUS BAR



Neutral electrical conductors were observed to be double tapped on the neutral bus bar in the electric service panel. Each neutral electrical conductor in the electric service panel should terminate individually unless the terminals are made for more than one conductor. Double tapped neutral electrical conductors should be further evaluated and repaired as needed by a qualified electrical specialist.

Recommendation

Contact a qualified electrical contractor.



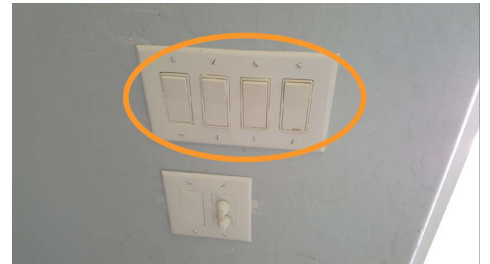
6.6.1 Lights, Switches, Receptacles and Junction Boxes

 Recommendation

INOPERABLE SWITCH(ES)

One or more switches in the home appeared to be inoperable at the time of the inspection. These switches may connect to exterior lights which are controlled by photo sensors and so will operate only at night. They may be improperly wired and represent a potential fire hazard, or they may connect to outlets which were not tested. Switches sometimes control only the upper or lower half of an outlet. Tracing the devices controlled by all switches exceeds the scope of the general home inspection. You should take action to confirm that these switches are safe, either by asking the seller or having them traced by a qualified electrician.

Recommendation
Contact a qualified electrical contractor.



6.6.2 Lights, Switches, Receptacles and Junction Boxes

 Safety Hazard

COVER PLATE MISSING

At the time of the inspection, a cover plate was missing. This condition left energized electrical components exposed to touch, a shock/electrocution hazard. The Inspector recommends that a listed cover plate be installed by a qualified electrical contractor.

Recommendation
Contact a qualified electrical contractor.



6.8.1 Smoke Detectors

SMOKE DETECTOR WAS NOT MOUNTED

This smoke detector was hanging by the wires and needs to be re-mounted by a qualified professional.

Recommendation
Contact a qualified professional.

 Recommendation



7.3.1 Flues/Venting

FLUE WAS IMPROPERLY SUPPORTED

 Recommendation

The furnace flue appeared to be improperly supported at the time of the inspection. It appeared that the installer attached the flue to be hanging off the wood support to achieve a 1" clearance from the combustible wood it is attached to. Recommend a qualified HVAC professional to evaluate and repair.

Recommendation

Contact a qualified professional.



7.6.1 Air Handler Unit

RECOMMEND INSTALLING CONDENSATE DETECTION SAFETY SWITCH

 Recommendation

The condensation overflow pan or secondary drain lines installed above ceilings were not equipped with water or moisture sensors/alarms. Cooling equipment condensation drain pans or drain line sensors and alarms should be installed at HVAC equipment installed above ceilings for additional protection against water damage.

Recommendation

Contact a qualified HVAC professional.



7.6.2 Air Handler Unit

REFRIGERANT LINES WERE NOT PROPERLY INSULATED

 Recommendation

The HVAC refrigerant lines were not properly insulated in the attic. Inadequate cooling line insulation at the attic HVAC equipment may result in equipment damage, inadequate performance, reduced equipment life or other defects.

Recommendation

Contact a qualified HVAC professional.



7.6.3 Air Handler Unit

SECONDARY CONDENSATE DRAIN LINE TERMINATED NEAR THE GROUND

Recommendation

The secondary condensate drain line had an additional piece of pipe added to it so that it would terminate near the ground. Recommend removing the additional pipe so that any drips from the secondary condensate line will be visible to notify you of a potential clog or other defect in the primary condensate line.

Recommendation

Contact a qualified professional.



7.7.1 Air Filter

DIRTY FILTER

Maintenance Item

The air filter for this furnace was dirty and should be changed. Filters should be checked every three months and replaced when they reach a condition in which accumulation of particles becomes so thick that particles may be blown loose from the filter and into indoor air. Homes in areas with high indoor levels of airborne pollen or dust may need to have air filters checked and changed more frequently. Failure to change the filter when needed may result in the following problems: - Reduced blower life due to dirt build-up on vanes, which increasing operating costs. - Reduced indoor air quality. - Increased resistance resulting in the filter being sucked into the blower. This condition can be a potential fire hazard. - Frost build-up on air-conditioner evaporator coils, resulting in reduced cooling efficiency and possible damage. - Reduced air flow through the home.

Recommendation

Contact a handyman or DIY project



8.1.1 Cooling Unit

INSULATION MISSING OR DAMAGED

Recommendation

The HVAC refrigerant lines were not properly insulated or the insulation was damaged and in need of replacement at the exterior equipment. Inadequate cooling line insulation at the exterior HVAC equipment may result in equipment damage, inadequate performance, reduced equipment life or other defects.

Recommendation

Contact a qualified HVAC professional.



8.1.2 Cooling Unit

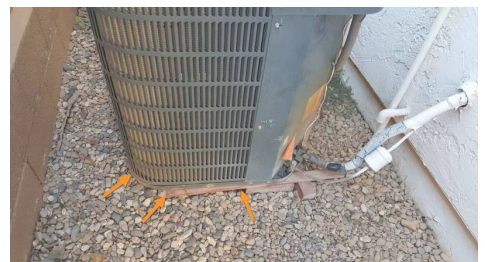
HVAC EQUIPMENT WAS NOT INSTALLED 3" ABOVE GRADE

Recommendation

The exterior HVAC equipment was not installed 3" above grade and was in need of repair. Inadequate elevation of the exterior HVAC equipment may allow moisture to penetrate the equipment, reduce equipment life and may affect performance.

Recommendation

Contact a qualified professional.



The HVAC unit should be on a concrete pad and raised off the ground a min. of 3".

9.2.1 Entry/Exterior Door(s)

WEATHER-STRIPPING POOR

 Recommendation

At the time of the inspection, weather-stripping at an exterior door was damaged or deteriorated. The Inspector recommends replacement/installation of effective weather-stripping components as necessary by a qualified contractor.

Recommendation

Contact a qualified door repair/installation contractor.



9.2.2 Entry/Exterior Door(s)

SWEEP DAMAGED

 Recommendation

At the time of the inspection, the sweep was damaged or deteriorated. A sweep is a rubber strip that attaches to the bottom of a door to seal the gap between the bottom of the door and the threshold. It should be replaced to help prevent moisture and pest intrusion and air/heat leakage that will increase heating/cooling costs and reduce home comfort. All work should be performed by a qualified contractor.

Recommendation

Contact a qualified door repair/installation contractor.



9.2.3 Entry/Exterior Door(s)

SLIDING SCREEN DOOR MISSING OR DAMAGED

 Recommendation

The sliding screen doors were missing or damaged at the time of the inspection. Recommend repair or replacement by a qualified contractor.

Recommendation

Contact a qualified door repair/installation contractor.



9.3.1 Interior Doors

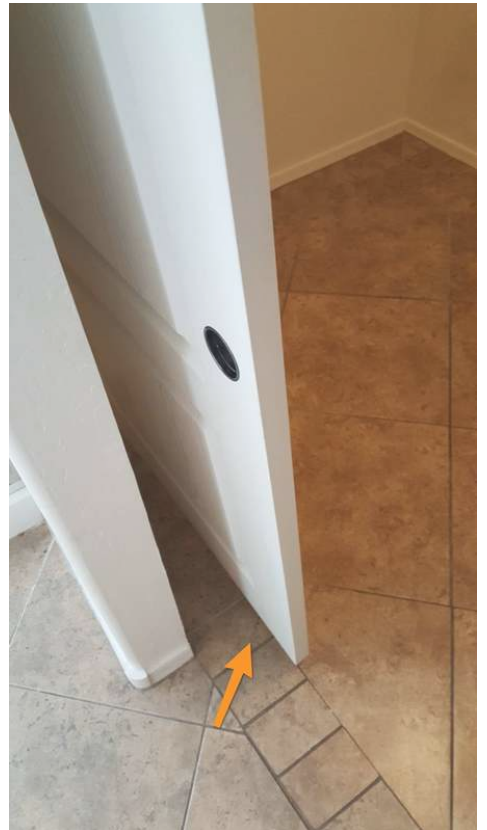
MISSING BOTTOM TRACK

 Recommendation

The sliding closet door in the Master Bathroom did not have a bottom track to hold the door in place when sliding. Recommend installing a door track/guide by a qualified professional.

Recommendation

Contact a qualified professional.



9.3.2 Interior Doors

MASTER BEDROOM DOOR CLOSSES WHEN HVAC IS TURNED ON

 Recommendation

The master bedroom door closes by itself when the HVAC unit is running. This may indicate that the door is out of plumb and/or needs adjustment.

Recommendation

Contact a handyman or DIY project



9.3.3 Interior Doors

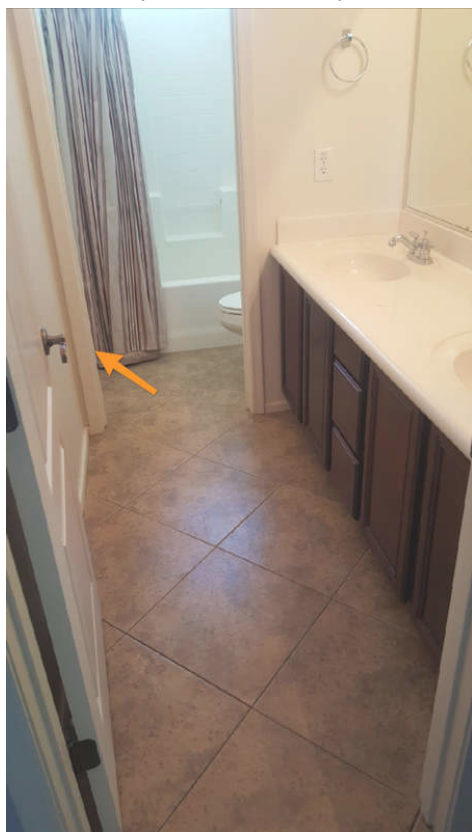
MISSING DOOR

 Recommendation

The door to the guest bathroom toilet room was missing at the time of the inspection. Recommend installing a door by a qualified professional.

Recommendation

Contact a qualified door repair/installation contractor.



9.4.1 Windows

MISSING SCREEN

 Recommendation

Several windows were missing the screen. Recommend replacement.

Recommendation

Contact a qualified window repair/installation contractor.



9.4.2 Windows

OPERATION DIFFICULT

 Recommendation

Window was generally difficult to operate. This was most likely caused by dirt or debris in the window tracks. Recommend cleaning by qualified professional.

Recommendation

Contact a handyman or DIY project



9.6.1 Walls

MINOR DAMAGE AND DETERIORATION - GENERAL

 Recommendation

Interior walls in the home exhibited general minor damage or deterioration at the time of the inspection. This is typical throughout the home.

Recommendation

Contact a handyman or DIY project



9.6.2 Walls

INDICATIONS OF WOOD DESTROYING ORGANISMS

 Recommendation

NORTH BEDROOM

There are signs of wood destroying organisms. Recommend further evaluation by a pest control professional to determine and perform the proper treatment and removal of the wood destroying organisms.

Recommendation

Contact a qualified pest control specialist.



9.7.1 Ceilings

INDICATIONS OF WOOD DESTROYING ORGANISMS

NORTH BATHROOM AND LIVING ROOM

 Recommendation

There are signs of wood destroying organisms. Recommend further evaluation by a pest control professional to determine and perform the proper treatment and removal of the wood destroying organisms.

Recommendation

Contact a qualified pest control specialist.



9.8.1 Trim

TRIM DAMAGE/DETERIORATION-MINOR

 Maintenance Item

Trim exhibited minor cosmetic damage/deterioration.

Recommendation

Recommend monitoring.



10.1.1 Toilet(s)

OLD AND STAINED

 Maintenance Item

MASTER AND GUEST BATHROOM

The toilets in the master and guest bathrooms appeared old and stained, but were functional at the time of the inspection.

Recommendation
Recommend monitoring.



10.2.1 Sink(s)

MISSING STOPPER

 Recommendation

MASTER AND GUEST BATHROOMS

The sink in the master and guest bathrooms had a missing stopper and stopper assembly and should be repaired or replaced by a qualified professional. Due to the missing stopper assembly this sink will leak when the water is running.

Recommendation
Contact a handyman or DIY project



10.3.1 Bathtub(s)

MISSING STOPPER

GUEST BATHROOM

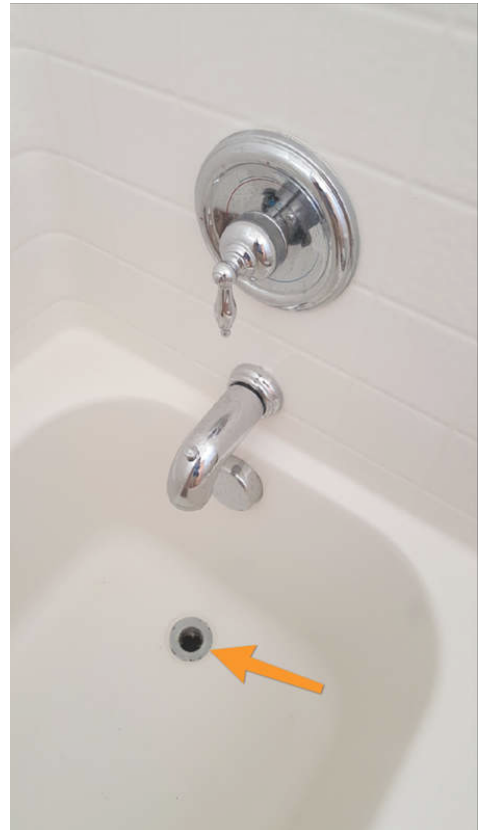
The tub in this bathroom had a missing stopper and should be repaired or replaced.

Recommendation

Contact a handyman or DIY project



Recommendation



10.3.2 Bathtub(s)

HOT & COLD REVERSED

MASTER BATHROOM

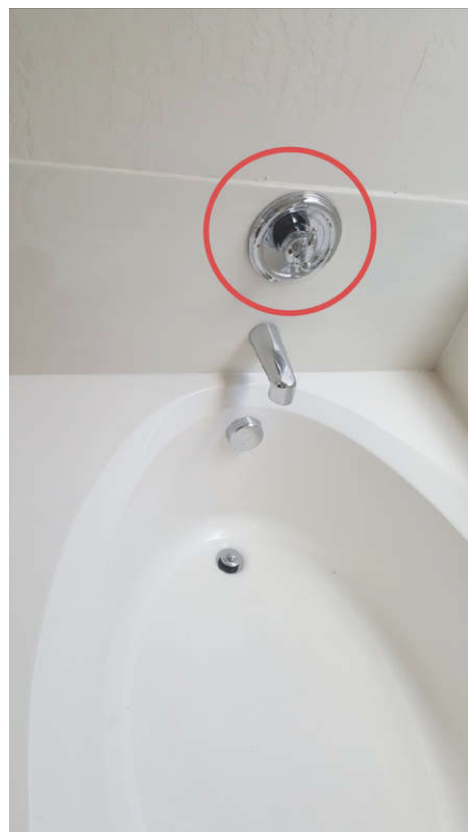


Safety Hazard

Hot and cold water connections were reversed at the tub in this bathroom and should be corrected to prevent accidental scalding. The Inspector recommends service by a qualified plumbing contractor.

Recommendation

Contact a qualified plumbing contractor.



10.4.1 Shower(s)

SHOWER HEAD HAD CORROSION OR BUILD-UP



Maintenance Item

The shower head had excessive corrosion or build up from mineral deposits in the water. Recommend cleaning the shower head by a qualified professional.

Recommendation

Contact a handyman or DIY project



10.5.1 Bathroom Exhaust Fan

DIRTY EXHAUST FAN

MASTER AND GUEST BATHROOMS



Maintenance Item

The exhaust fans in both bathrooms were dirty and needs to be cleaned. Recommend cleaning by a qualified professional.

Recommendation

Contact a handyman or DIY project



10.6.1 Countertops & Cabinets

COUNTERTOP CRACKED/CHIPPED

MASTER BATHROOM

Countertop had one or more cracks or chips. Recommend qualified countertop contractor evaluate and repair.

Recommendation

Contact a qualified countertop contractor.



10.6.2 Countertops & Cabinets

COUNTERTOP- MINOR DAMAGE/DETERIORATION

GUEST BATHROOM

Countertop exhibited minor damage/deterioration at the time of inspection. This appeared to be a burn from a hot curling iron.



Recommendation
Recommend monitoring.



10.6.3 Countertops & Cabinets

CABINET DOOR HINGE LOOSE

MASTER BATHROOM

A cabinet in this bathroom had a loose door hinge.

Recommendation
Contact a qualified professional.



11.1.1 Kitchen Sinks

RECOMMEND UPGRADING WATER SUPPLY LINES

Recommend upgrading the flexible plastic water supply lines to a braided stainless steel water supply line for added protection against leakage and/or breaks.

Recommendation
Contact a qualified professional.



11.1.2 Kitchen Sinks

FAUCET DID NOT SWIVEL

 Recommendation

The faucet in the kitchen was unable to swivel between the two sinks. Recommend repair by a qualified professional.

Recommendation

Contact a handyman or DIY project



11.1.3 Kitchen Sinks

FAUCET HAD EXCESSIVE CORROSION OR BUILD-UP

 Maintenance Item

The kitchen faucet had excessive corrosion or build up from mineral deposits in the water. Recommend cleaning the faucet by a qualified professional.

Recommendation

Contact a handyman or DIY project



11.2.1 Kitchen Countertops & Cabinets

CABINET HINGE LOOSE

 Recommendation

One or more cabinet hinges were loose. Recommend a qualified handyman or cabinet contractor repair.

Recommendation

Contact a handyman or DIY project



11.2.2 Kitchen Countertops & Cabinets

**CABINET- MINOR
DAMAGE/DETERIORATION**

Cabinetry exhibited minor damage/deterioration at the time of inspection.

Recommendation
Recommend monitoring.

 Recommendation



The trim or moulding at the top of the upper cabinets was loose and needs to be re-attached.

11.2.3 Kitchen Countertops & Cabinets

COUNTERTOP- MINOR DAMAGE/DETERIORATION

Countertop exhibited minor damage/deterioration at the time of inspection.

Recommendation
Recommend monitoring.

 Recommendation



11.4.1 Dishwasher

NO ANTI-SIPHON/HIGH-LOOP DEVICE PRESENT

 Recommendation

There is no air gap or high loop in the discharge line from the dishwasher to the garbage disposal or drain. Implication: Grey water from the sink can back up into the dishwasher and can subsequently contaminate dishes and/or flood the floor.

Recommendation
Contact a qualified appliance repair professional.



11.4.2 Dishwasher

RUST OR DISCOLORATION

 Recommendation

Rust or discoloration was present at the interior of the dishwasher walls and/or racks that are an indication of wear, age or other defects. The dishwasher may be an older component and the future life expectancy cannot be determined. you can continue to use and service this component until replacement is necessary.

Recommendation
Recommend monitoring.



11.14.1 Laundry Exhaust Fan

EXHAUST FAN WAS DIRTY

 Recommendation

The exhaust fan in the laundry room was dirty and needs to be cleaned. Recommend cleaning by a qualified professional.

Recommendation
Contact a qualified professional.



12.1.1 Floor
STAINING

 Recommendation

Garage floor shows visible staining from oil/grease and paint. Recommend scrubbing with a degreaser or cleaning solution.

Recommendation
Recommended DIY Project

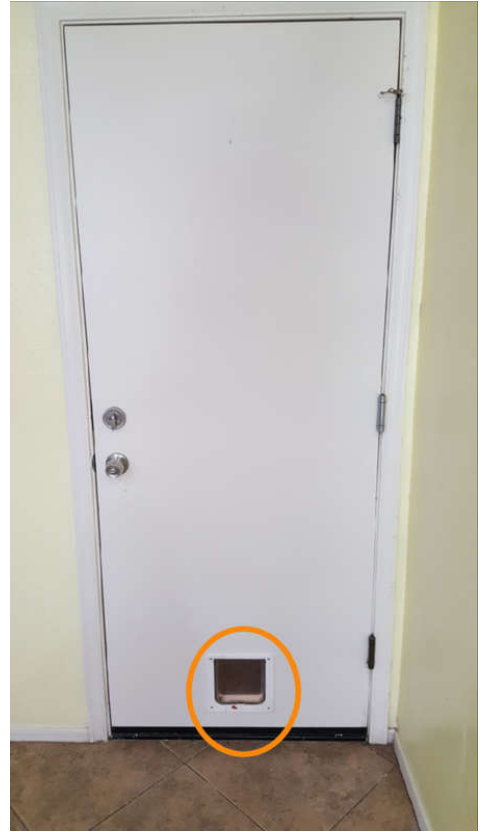


12.5.1 Door to Living Space
DOOR DOES NOT MEET SEPARATION REQUIREMENTS

 Recommendation

Door separating garage and home does not meet safety standards. Doors in firewalls must be at least 1 3/8-inch thick, metal/steel, or a 20-minute fire-rated door.

Recommendation
Contact a qualified door repair/installation contractor.



12.7.1 Overhead Garage Door(s)

STICKING



the single bay garage door sticks when manually opening/closing. The garage door may need adjustment with the wheels and/or track. Recommend a qualified garage contractor to repair.

Recommendation

Contact a qualified garage door contractor.



12.7.2 Overhead Garage Door(s)

MISSING WEATHER STRIPPING



Weather stripping was missing at the underside of the single garage door at the time of the inspection. Recommend installing garage weather stripping by a qualified professional.

Recommendation

Contact a qualified garage door contractor.



12.8.1 Automatic Opener(s)

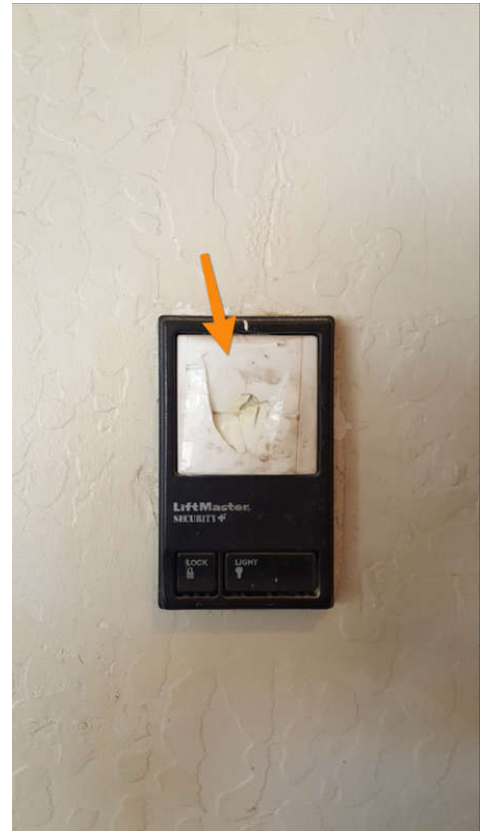
AUTOMATIC GARAGE DOOR SWITCH WAS DAMAGED



The control switch to the automatic garage door opener was damaged at the time of the inspection. Recommend repair or replacement by a qualified contractor.

Recommendation

Contact a qualified garage door contractor.



12.10.1 Garage Electrical Notes

GARAGE OUTLET WAS NOT GFCI PROTECTED

 Recommendation

This Outlet located in the garage on the South Wall was not GFCI protected as required. Recommended electrical contractor for evaluation and correction.

Recommendation
Contact a qualified electrical contractor.

