



SUMMARY
 1234 Main St. Tonawanda NY 14150
 Buyer Name
 09/05/2018 9:00AM

Christopher Park
 New York State Licensed Home
 Inspector, Certified Professional
 Inspector, RadaLink certified Radon
 Test Inspector, New York State
 Licensed Journeyman Plumber, Owens
 Corning Roof Data Technician Course, Certified
 Renovator Inspector Course, Advanced
 Electrical Inspection Training Course, Advanced
 Radon Measurement Service Provider Course.
 Guardsman Home Inspection
 7164301363
 cfpark77@gmail.com



Summary of items inspected.

2.1.1 Walkways, Patios & Driveways

PATIO CRACKING - MINOR

Normal settling & cracking observed. Recommend monitor and/or patch/seal.
 Recommendation
 Contact a qualified concrete contractor.



2.2.1 Decks, Balconies, Porches & Steps

DECK - LOOSE BOARDS



One or more deck boards were observed to be loose. Recommend they be refastened.

[Here is a helpful article](#) for minor DIY deck repair.

Recommendation
 Contact a qualified deck contractor.



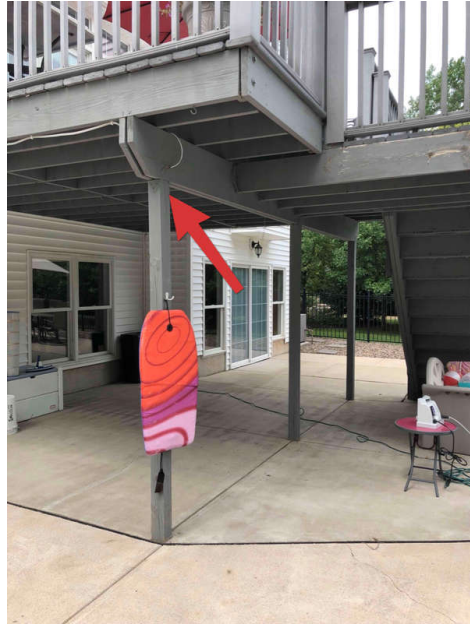
2.2.2 Decks, Balconies, Porches & Steps

IMPROPER DECK CONSTRUCTION PRACTICES



Deck was observed to have general poor construction. Recommend qualified deck contractor evaluate. These construction practices may have been normal at time of original construction, but do not meet current safety standards.

Recommendation
 Contact a qualified deck contractor.



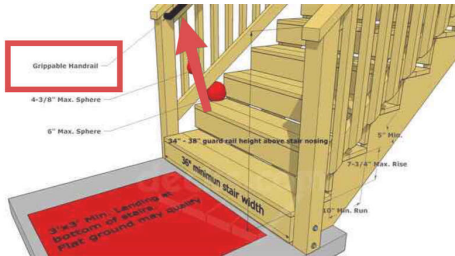
Example photo of a recommended repair for the improper post to beam connections

2.2.3 Decks, Balconies, Porches & Steps **IMPROPER HANDRAIL**

 Potential Safety Hazard

Steps to deck handrail does not meet current safety standards recommend licensed contractor to repair to current standards to prevent possible injury

Recommendation
Contact a qualified deck contractor.

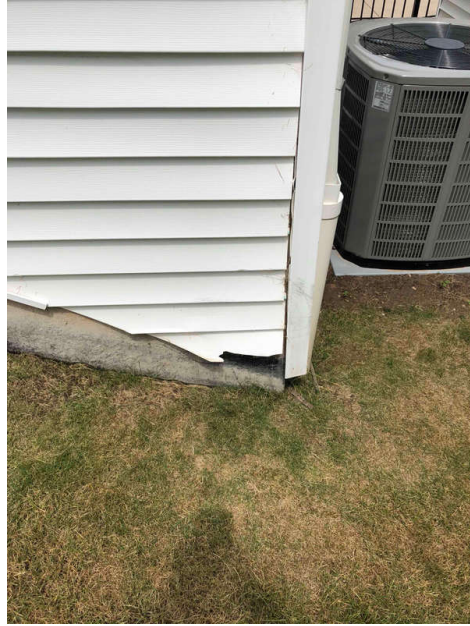


3.1.1 Siding, Flashing & Trim **SIDING FLASHING & TRIM STATUS**

 Recommended repair

Siding, flashing and trim were observed to be fair condition at time of inspection. Normal maintenance may be necessary to prevent damage from occurring.

Recommendation
Recommend monitoring.



3.2.1 Exterior Windows

FAILED SEAL

Observed condensation between the window panes, which indicates a failed thermo pane seal. Recommend qualified window contractor evaluate & replace.

Recommendation
Contact a qualified window repair/installation contractor.

 Recommended repair



Northwest

3.7.1 Exterior foundation

TYPICAL CRACKING

Exterior foundation contains typical cracks due to shrinkage and normal freeze thaw cycle. Recommend patching as needed to prevent moisture intrusion.

Recommendation
Contact a foundation contractor.

 Recommended repair



East

5.6.1 Garage Overhead Door
LOUD NOISES

 Recommended repair

Loud grinding or squealing observed when opening/closing garage door. This can be due to dirt or debris in the track or lack of lubrication. Recommend cleaning the track and lubricating.

[Here are some troubleshooting tips](#) before calling a garage contractor.

Recommendation
Contact a qualified garage door contractor.

5.8.1 Manual door
MAN DOOR RUST

 Recommended repair

Garage man door has rust and appears to be corroding from inside out. Recommend replacement.

Recommendation
Contact a qualified door repair/installation contractor.



6.4.1 Walls and Ceilings
MOISTURE DAMAGE

 Recommended repair

Stains on the walls visible at the time of the inspection appeared to be the result of moisture intrusion. The source of moisture may have been corrected. Recommend further examination by a qualified contractor to provide confirmation.

Recommendation

Contact a qualified professional.



Kitchen ceiling near door to deck has been repainted evidence of a prior water damage incident repair appears proper no further repair required at this time

7.4.1 Walls and Ceilings

NAIL POPS

 Recommended repair

"Nail-pops" are evident in some areas of drywall where ceilings meet walls. This is common as a home ages due to expansion and contraction of building materials. Recommend repair as needed by licensed contractor.

Additional information on nail popping:

[Nail Popping Info](#)

Recommendation

Contact a qualified drywall contractor.



Living Room Northwest

9.4.1 Walls and Ceilings

MINOR CORNER CRACKS

 Recommended repair

Minor cracks at the corners of doors and windows in walls. Appeared to be the result of cabinets installed on this wall. Recommend monitoring for change, consult with a licensed contractor if cracks progress further

Recommendation

Contact a qualified professional.



9.7.1 Smoke and CO Detectors

SMOKE/CO DETECTORS ARE NOT INSTALLED PER CURRENT SAFETY STANDARDS

 Potential Safety Hazard

Smoke Detectors are required to be installed in the following locations per current safety standards:

- 1 Per Bedroom
- 1 Per level of home
- Must be sealed Battery type (1JAN2017)

CO Detectors are required to be installed in the following locations per current safety standards:

- 1 Within 15' of sleeping areas
- 1 Per level of home
- Must be sealed Battery type (1JAN2017)

Recommendation

Contact a qualified professional.

11.4.1 Walls and Ceilings

TYPICAL CRACKS OBSERVED

Recommended repair

Typical cracks in drywall/plaster were observed. These cracks may develop due to normal aging of a home, minor settling, as well as moisture/temperature changes. Recommend repair as needed. No evidence of structural defect observed at time of inspection.

Recommendation

Contact a qualified drywall contractor.

11.4.2 Walls and Ceilings

CAULKING/GROUTING IN SHOWER/TUB AREA

Recommended repair

Tiles installed in Tub/Shower area have gaps or missing Grout/Caulk. Recommend licensed contractor to repair/replace as needed to prevent moisture damage.

Recommendation

Contact a qualified tile contractor



11.4.3 Walls and Ceilings

NAIL POPS

Recommended repair

Protruding nail heads visible at the time of the inspection appeared to be the result of contact with moisture. After the source of moisture is located and corrected, protruding nails should be removed, drywall re-fastened and the drywall finished to match the existing wall surfaces. All work should be performed by a qualified drywall or painting contractor.

Recommendation

Contact a qualified drywall contractor.



STAIN(S) ON CEILING

ABOVE JACUZZI BATHTUB



There is a stain on ceiling/wall that requires repair and paint. Source of staining should be determined.

Recommendation

Contact a qualified professional.

DEFECTIVE 3-WAY SWITCHING



Bathroom light three-way switch does not appear to be operating properly recommend licensed electrician to further evaluate and repair for proper operation.

Recommendation

Contact a qualified electrical contractor.



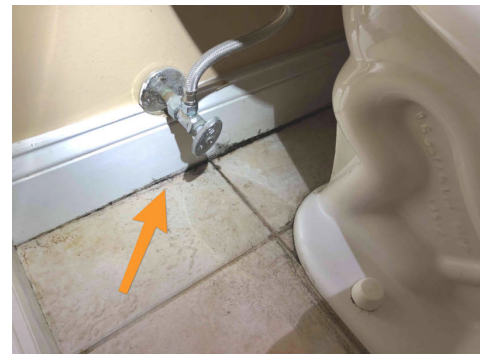
POSSIBLE MOLD



There are possible signs of fungi growth. It is unknown if this is a safety hazard. Recommend a qualified mold inspector evaluate.

Recommendation

Contact a qualified mold inspection professional.



Basement bathroom dark staining behind toilet appears as a possible mold like substance recommend further evaluation by a licensed environmental contractor

GFCI FAILED TO TRIP



Bathroom GFCI receptacle failed to trip when tested, recommend licensed electrician to evaluate and repair as needed to prevent possible injuries.

Recommendation

Contact a qualified electrical contractor.



15.1.1 Walls and Ceilings

TYPICAL CRACKS OBSERVED

Recommended repair

Typical cracks in drywall/plaster were observed. These cracks may develop due to normal aging of a home, minor settling, as well as moisture/temperature changes. Recommend repair as needed. No evidence of structural defect observed at time of inspection.

Recommendation

Contact a qualified drywall contractor.

15.1.2 Walls and Ceilings

GHOSTING

Recommended repair

Parallel consistent ghost like staining observed on surface of drywall this is typical evidence of improper installation or movement of air recommend licensed contractor to further evaluate

Recommendation

Contact a qualified professional.



24.1.1 Heating Equipment

FURNACE AGE

Recommended repair

Furnace was operating properly at time of inspection. Average life expectancy is 20 years. This furnace is advanced in age and maybe subject to component failure recommend licensed HVAC technician to clean and service to prolong life expectancy, while budgeting for replacement.

Recommendation
Contact a qualified HVAC professional.

24.4.1 Distribution Systems

DUCT CLEANING



Recommend qualified professional to clean heating ducts to prevent buildup of dirt and debris in duct work.
