



SUMMARY
1234 Main St. Colorado Springs CO
80920
Buyer Name
02/11/2019 9:00AM

Lance Hayward
Certified Master Inspector / Owner
A Precise Home Inspection, Inc.
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lance.aprecise@gmail.com



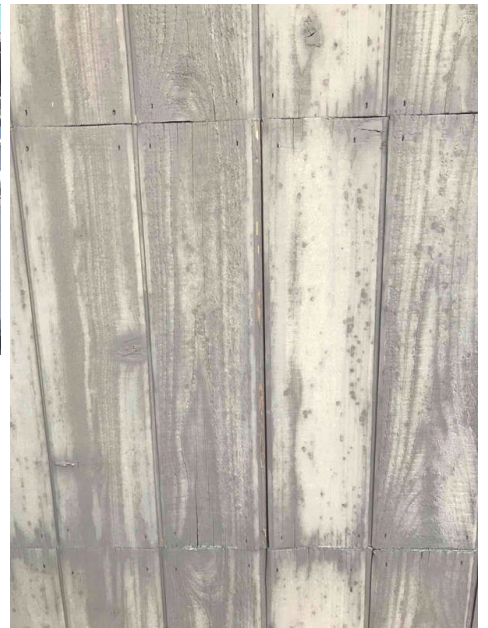
3.1.1 Siding, Flashing & Trim

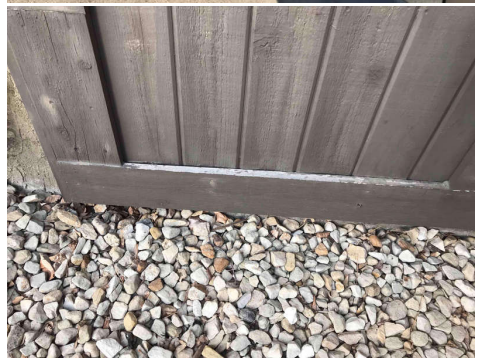
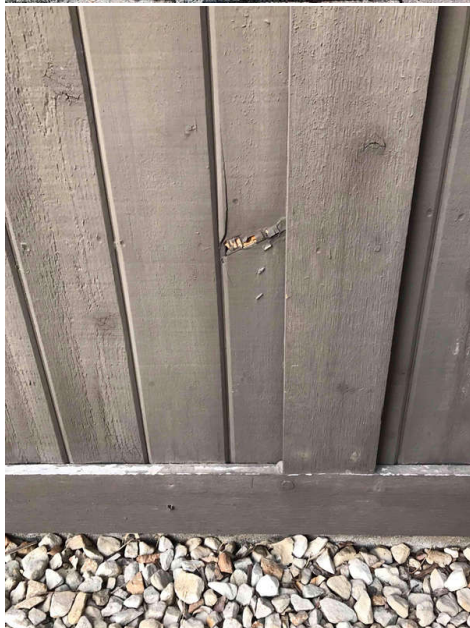
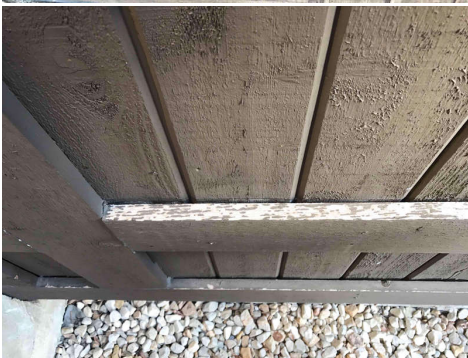
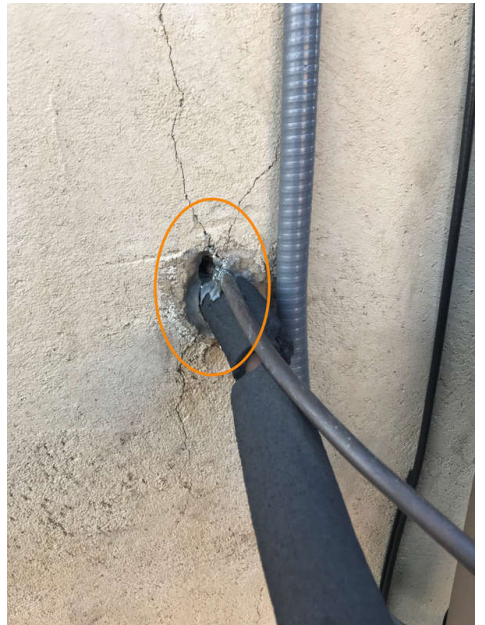
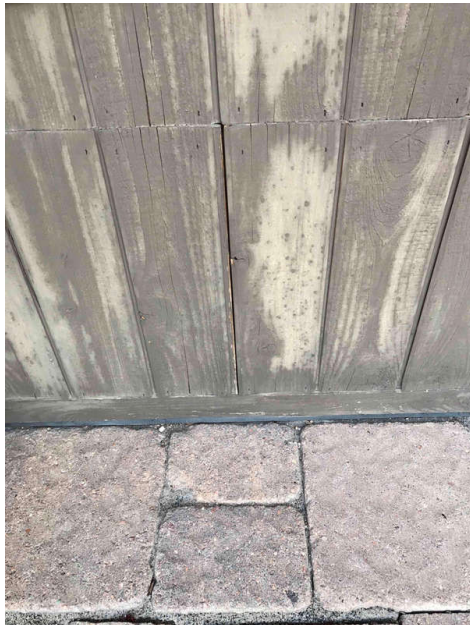
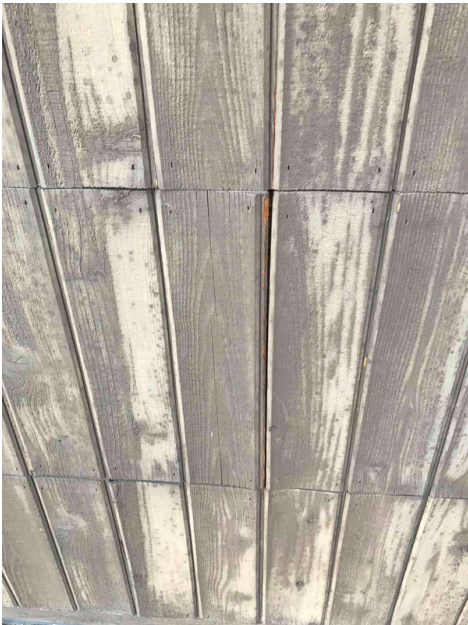
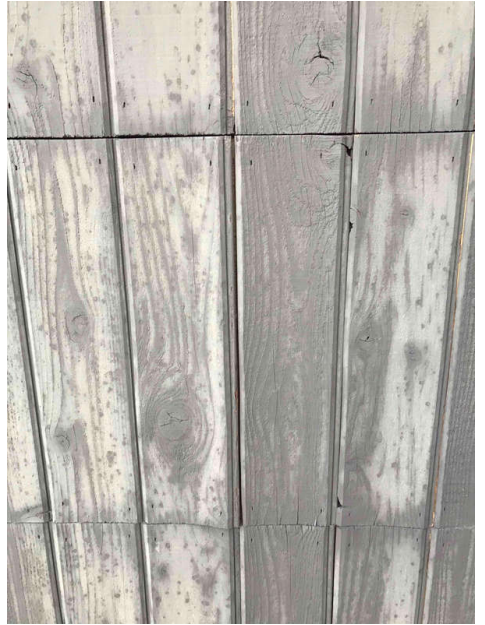
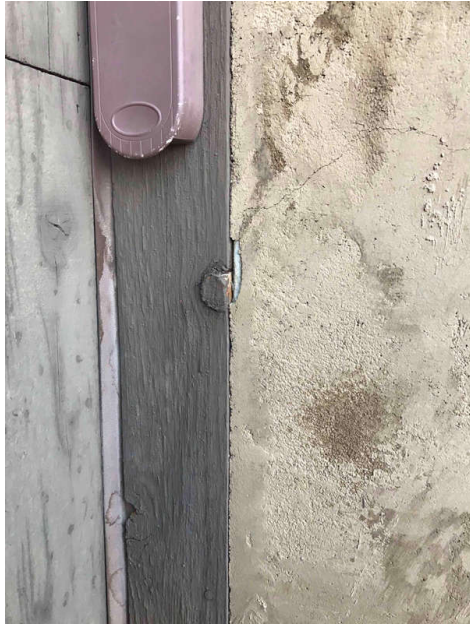
SIDING/TRIM - MAINTAIN PAINT/CAULKING



Areas of the exterior paint and caulking are in need of maintenance/repairs. In order to prevent moisture intrusion and to extend the life of the siding and trim, I recommend having the caulking and exterior paint evaluated and repaired as necessary by a qualified painting contractor prior to closing.

Recommendation
Contact a qualified painter.





3.1.2 Siding, Flashing & Trim

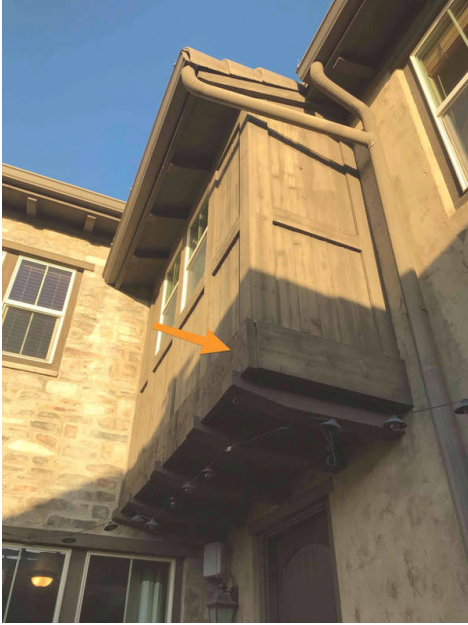
SIDING/TRIM - LOOSE

SOUTH SIDE OF EXTERIOR

Siding/trim appeared to be loose in areas. I recommend having these areas evaluated and resecured/repared by a licensed siding contractor prior to closing.

Recommendation

Contact a qualified siding specialist.



3.3.1 Sidewalks, Patios, Porches, & Driveways

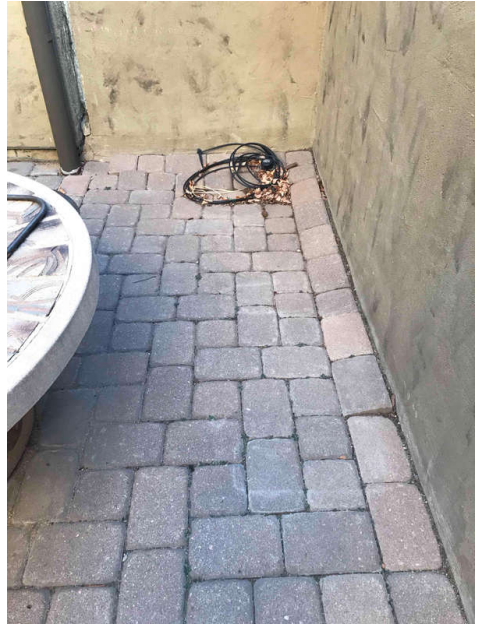
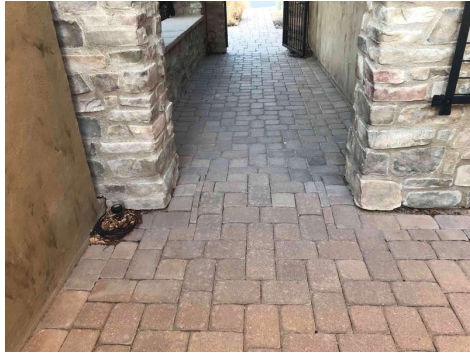
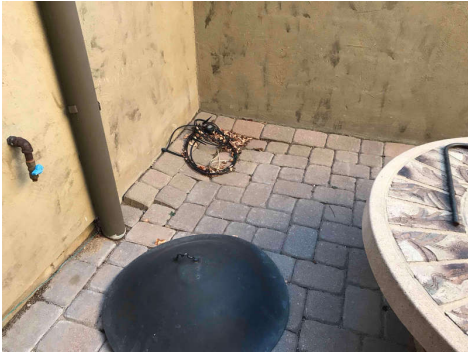
PAVER PATIO - HEAVING/SETTLEMENT

Areas of the pavers appear to be heaving or settling. I recommend having this evaluated and repaired/addressed as necessary by a qualified landscaping contractor prior to closing.

Recommendation

Contact a qualified landscaping contractor





3.6.1 Vegetation, Grading, Drainage & Retaining Walls

VEGETATION - IN CLOSE CONTACT WITH HOUSE



Areas of vegetation are in close contact with the home. In order to prevent branches from chafing the siding or roof, leaves from clogging gutters, and roots from damaging the foundation, critters from having a way to get onto the roof, etc., I recommend having the vegetation evaluated and addressed as necessary.

Recommendation

Contact a qualified landscaping contractor





4.4.1 Gutters

GUTTER - LOOSE DOWNSPOUT

NORTH SIDE OF EXTERIOR



One or more downspouts appeared to be improperly secured. I recommend having the downspouts evaluated and properly secured.

Recommendation

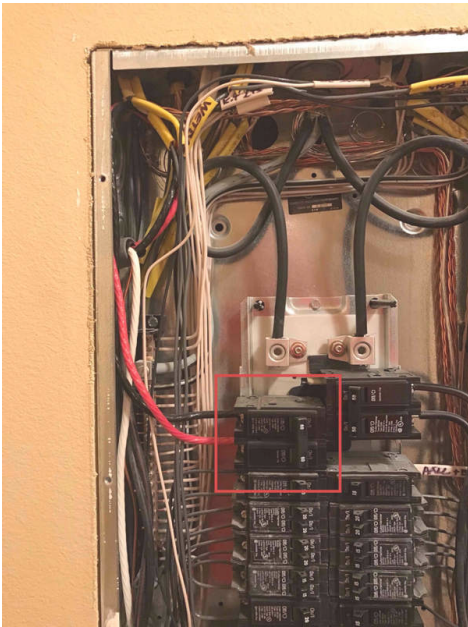
Contact a qualified handyman.



ELECTRICAL - HOT TUB CIRCUIT NOT PERMITTED

The electrical circuit for the hot tub does not appear to have been installed when the home was built, therefore a permit should have been pulled with the local Building Department. This would show that the work was done by a licensed Electrician and passed all necessary code/safety inspections by the Building Department. It is possible that the permits were pulled and just weren't available on their website, so I recommend consulting with them to confirm. In order to ensure that the work was done safely and properly, I recommend having it evaluated and that all repairs are made by a licensed electrician prior to closing, as well as having it permitted with the Building Department.

Recommendation
Contact a qualified professional.



ELECTRICAL - LIGHT BULBS NOT WORKING

Several light fixtures did not appear to have functioning bulbs installed. I recommend requesting that all bulbs be replaced prior to closing, and that any light fixtures still not working be evaluated and repaired as necessary.

Recommendation
Contact a qualified electrical contractor.

7.5.2 Fixtures, Fans, Switches & Receptacles

ELECTRICAL BOX - LOOSE OR IMPROPERLY INSTALLED BOX

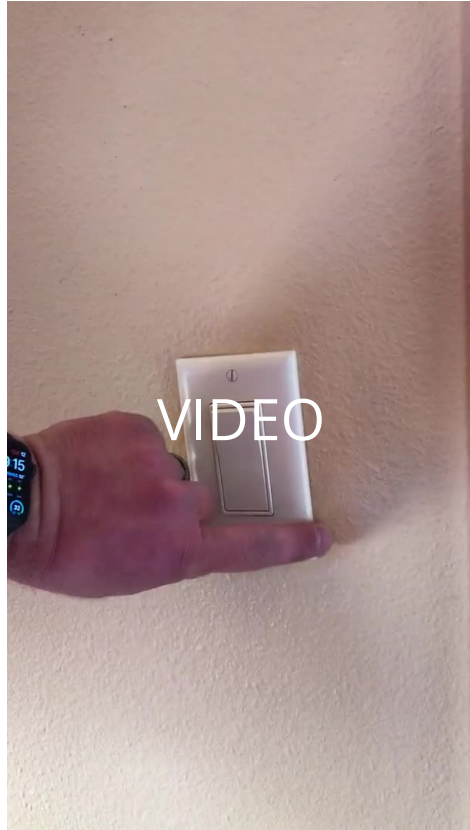
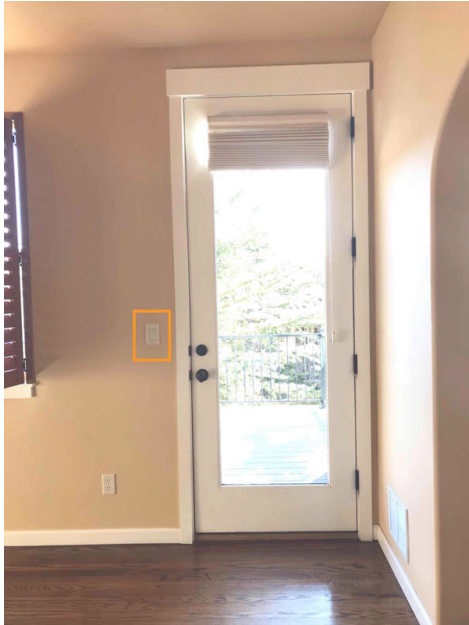


LIVING ROOM

One or more boxes that holds receptacles or light switches were loose or appeared to be improperly installed. I recommend having this evaluated and properly secured by a licensed electrician prior to closing.

Recommendation

Contact a qualified electrical contractor.



7.7.1 Smoke & Carbon Monoxide Detectors

CO DETECTOR - NOT PRESENT ON EACH FLOOR



3RD FLOOR, 1ST FLOOR, BASEMENT

There did not appear to be a carbon monoxide detector installed on each floor of the home. I recommend that a CO detector be installed on each floor and within 15' of each sleeping room.

Recommendation

Contact a qualified handyman.

8.2.1 Windows

WINDOW - MISSING SCREENS

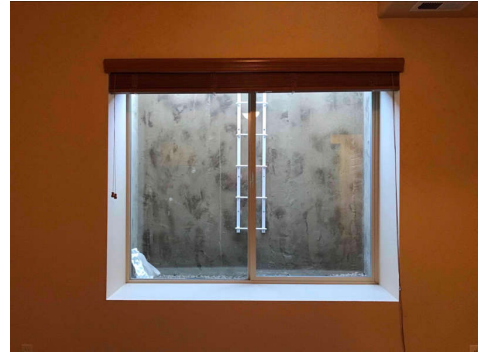


BASEMENT BEDROOM

One or more windows did not have screens present. I recommend having any missing screens replaced.

Recommendation

Contact a qualified handyman.



8.4.1 Walls

EVIDENCE OF MOISTURE INTRUSION

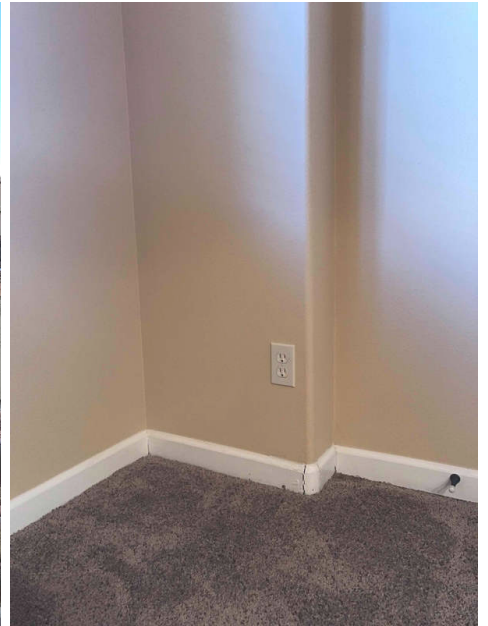
BASEMENT LIVING ROOM

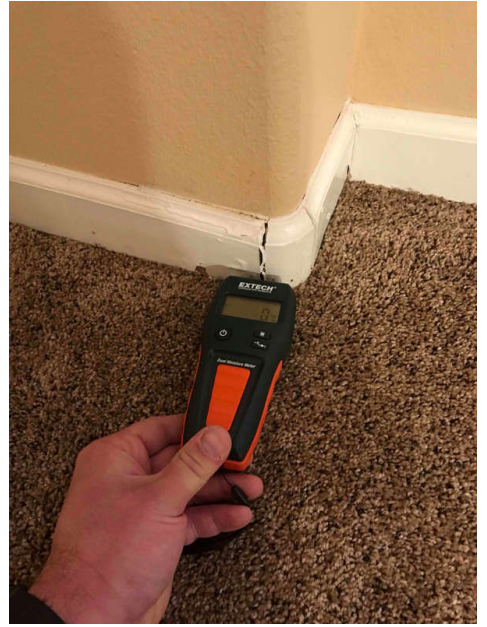
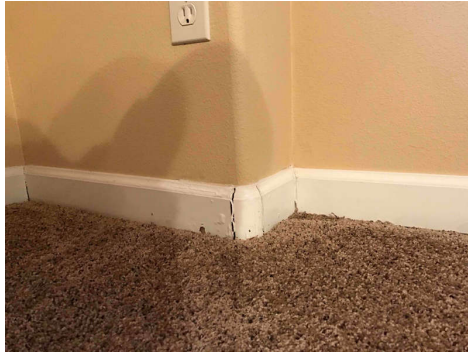


One or more areas of the interior walls have evidence of moisture intrusion. The area was tested with a moisture meter and did not show high levels of moisture at that time. I recommend having the area repaired and monitored, then addressed as necessary.

Recommendation

Contact a qualified professional.





9.5.1 Fixtures

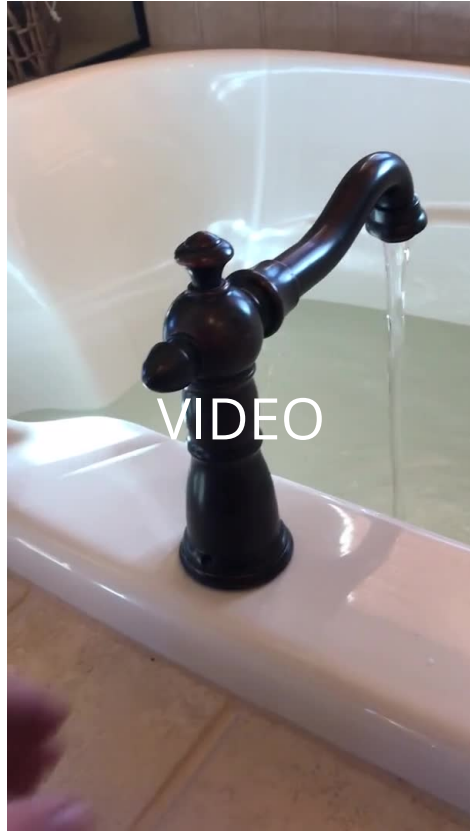
FAUCET - LOOSE



One or more faucets were not tightly secured to the counter top/sink. I recommend having the fixture properly secured by a qualified contractor prior to closing.

Recommendation

Contact a qualified professional.



9.5.2 Fixtures

FAUCET - HANDLES NOT SECURED

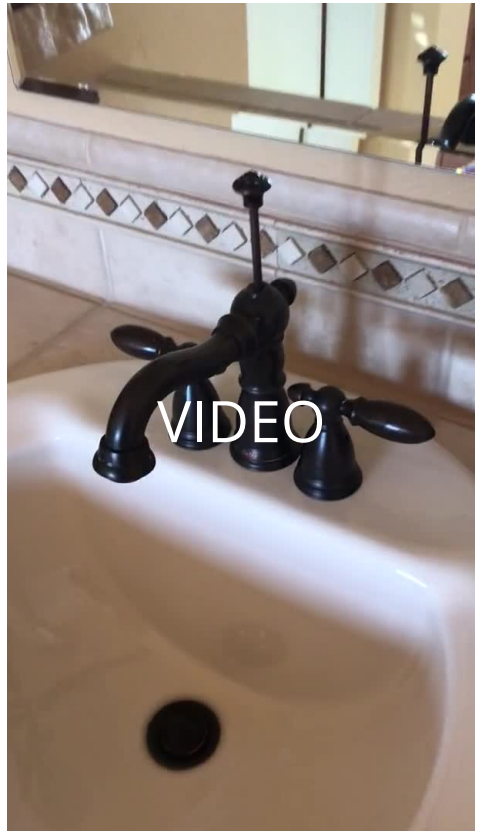
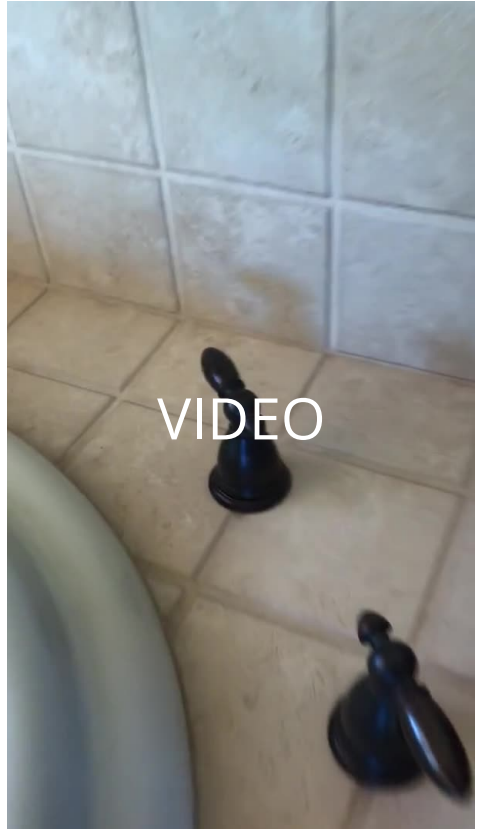
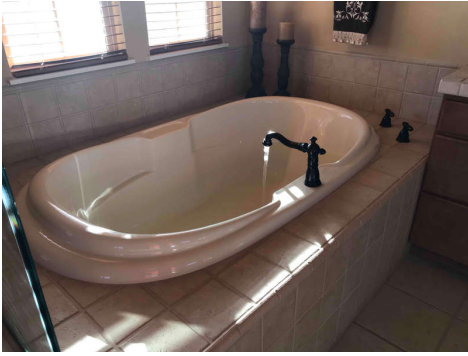


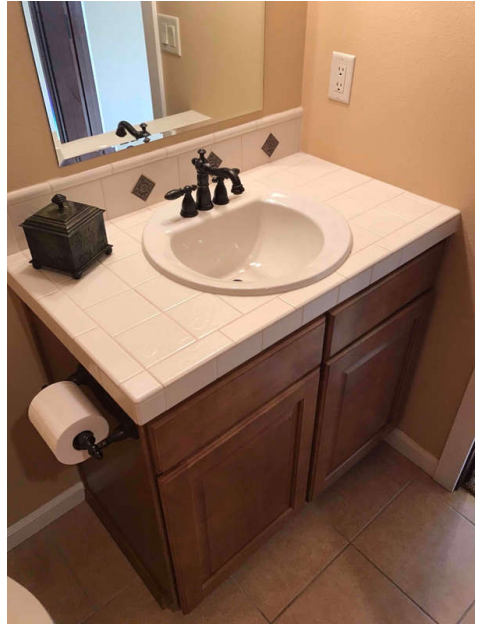
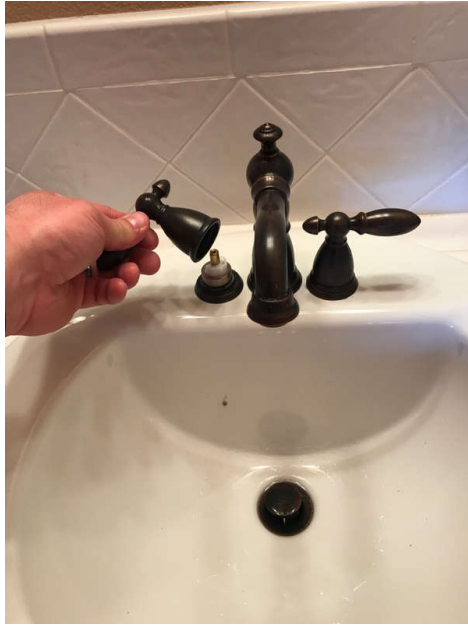
MASTER BATHROOM, 2ND FLOOR GUEST BATHROOM, 1ST FLOOR GUEST BATHROOM, BASEMENT BATHROOM

One or more faucets appeared to be in need of repair. The handles were not properly secured to the valve stems. I recommend having these evaluated and secured by a qualified contractor prior to closing.

Recommendation

Contact a qualified plumbing contractor.





9.5.3 Fixtures

SHOWER DOOR - DOESN'T OPEN/CLOSE PROPERLY

MASTER BATHROOM

The tub/shower door does not open/close properly. It comes into contact with the curb. I recommend having it evaluated and adjusted/repared as necessary by a licensed contractor prior to closing.

Recommendation

Contact a qualified professional.





9.6.1 Sump Pump

NO SUMP PUMP - WATER PRESENT

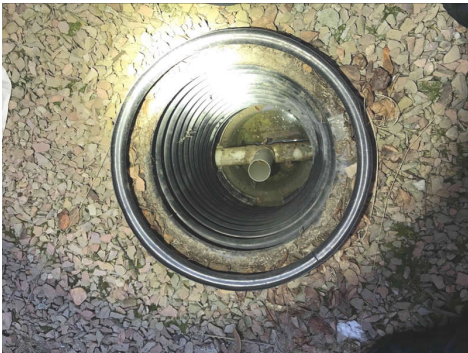


Safety Issue/Major Concern

Water was observed in the sump pump pit but a pump was not installed. I recommend having this evaluated and a pump installed as necessary by a licensed and qualified plumber prior to closing.

Recommendation

Contact a qualified plumbing contractor.



9.6.2 Sump Pump

SUMP PUMP - WATER PRESENT

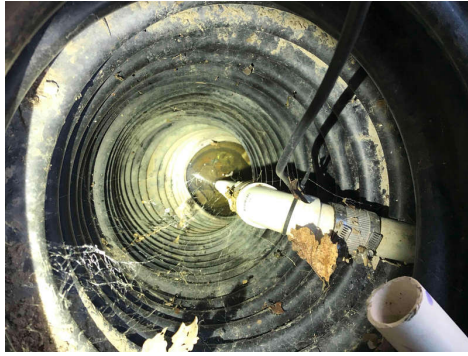


Safety Issue/Major Concern

Water was present in the sump pit. The water level appeared to be high enough that the pump should have turned on, removing the water from the pit. This may be an indication that the pump is not operational. I recommend having this evaluated and repaired/replaced as necessary by a licensed plumber prior to closing.

Recommendation

Contact a qualified plumbing contractor.



11.1.1 Forced Air Furnace

FURNACE - CLEAN AND SERVICE



The furnace appeared to be in good overall condition, however I recommend having it cleaned and serviced prior to closing, followed by annually.

Recommendation

Contact a qualified HVAC professional.



11.2.1 Fireplace & Chimney

DIRECT VENT GAS FIREPLACE - CLEAN AND SERVICE



LIVING ROOM

The gas fireplace appeared to be dirty. I recommend having it cleaned and serviced by a qualified fireplace contractor prior to closing, followed by annually.

Recommendation
Contact a qualified fireplace contractor.



13.1.1 Air Conditioning

AIR CONDITIONING - LINESET INSULATION DAMAGED



The insulation on the suction line for the air conditioning appeared to be in need of repair. Insulating the suction line (larger pipe) is done for two reasons. First, it prevents condensation forming on the pipe. Condensation could drip from the pipe and cause moisture damage to the home. Also, the suction and liquid lines should not touch or come in contact with one another. The warm liquid line would transfer heat to the cooler suction line. The warmer the refrigerant is, the harder the compressor and condenser have to work. Minimizing the temperature of the refrigerant in the suction line, helps the condensing unit work more effectively. I recommend having this evaluated and repaired/replaced as necessary by a licensed and qualified HVAC technician prior to closing.

Recommendation
Contact a qualified HVAC professional.



13.1.2 Air Conditioning

AIR CONDITIONING - CLEAN AND SERVICE



The cooling system appeared to be in good overall condition, however I recommend having it cleaned and serviced prior to closing, followed by annually.

Recommendation
Contact a qualified HVAC professional.

CONDENSER - NOT LEVEL



The concrete pad that supports the condenser does not appear to be level. This can cause the unit to need additional servicing or repairs. I recommend having an HVAC technician level the pad in order to ensure proper function of the unit.

Recommendation

Contact a qualified HVAC professional.

