



SUMMARY

1234 Main St. Merrimack NH 03054

Buyer Name
11/13/2018 9:00AM

Chris Caisse
InterNACHI Certified Professional
Inspector
Platinum Home Inspections
603.897.5495



chris@platinumhomeinspectionsnh.com

YOUR REPORT:

Thank you for choosing Platinum Home Inspections (PHI) to inspect your new home! Please carefully read your entire Inspection Report. If you have any questions throughout the closing process don't hesitate to ask. **This report is based on an inspection of the visible portion of the structure at the time of the inspection with a focus on safety and function, not on current building or municipality codes.** Any and all evaluations or repairs made by PHI should be carried out prior to closing. We recommend that you and/or your representative carry out a final walk-through inspection immediately before closing to check the condition of the property.

INSPECTION CATEGORIES

1) Maintenance Items - Primarily comprised of small cosmetic items and simple handyman or do-it-yourself maintenance items. These observations are more informational in nature and represent more of a future homeowner to-do list.

2) Recommendations - Most items typically fall into this category. These observations are typical defects but are not necessarily urgent or safety related. Some may require a qualified contractor to evaluate further and repair or replace but the cost is somewhat reasonable.

3) Observations/Concerns - This category is composed of immediate safety concerns or items that could represent a significant expense to repair or replace.

KEYS TO THE HOME INSPECTION

The home inspection was performed in accordance with the InterNACHI Standard of Practice and Code of Ethics. These standards are included in the report under each section summary. An earnest effort was made on your behalf to discover all visible defects, however, in the event of an oversight, maximum liability must be limited to three times the price of the home inspection. This inspection is an evaluation of the condition of the home. Any areas that are not safe, readily accessible and/or visible to the inspector will not be included in the home inspection report. The home inspection is not intended as a substitute for a Seller's Disclosure. This home inspection is not a compliance inspection or certification of any kind. It simply is an inspection of the condition of the home at the time of the inspection. This inspection does not cover items or conditions that may be only discovered by invasive methods. No removal of materials or dismantling of systems shall be performed under this inspection. This is not a technically exhaustive inspection. The inspection report lists the systems and components inspected by Platinum Home Inspections, LLC. Items not found in

this report are considered beyond the scope of the inspection and should not be considered inspected at this time. This report contains technical information that may not be readily understandable to the lay person. Therefore, a verbal consultation with the inspector is a mandatory part of this inspection. If you choose not to consult with the inspector, Platinum Home Inspections, LLC cannot be held liable for your understanding or misunderstanding of this report's contents. If you were not present during this inspection, please contact me at (603-897-5495) to arrange for your verbal consultation.

2.2.1 Roof Drainage Systems

GUTTERS MISSING

Recommendation / Improvement

There are no gutters present on the structure. Gutters are recommended because they collect rain water from the roof and direct it away from the building.

Recommendation

Contact a qualified gutter contractor

2.4.1 Eaves, Soffits & Fascia

FASCIA - DAMAGED

Recommendation / Improvement

One or more sections of the fascia are damaged. Recommend qualified roofer evaluate & repair.

Recommendation

Contact a qualified roofing professional.



Rear

2.5.1 Skylights, Chimneys & Other Roof Penetrations

VENT FLASHING (IMPROPER)

Recommendation / Improvement

One or more vent penetrations were incorrectly flashing at the time of the inspection. This condition increases the chance of roof leakage at these areas. The Inspector recommends correction by a qualified contractor.

Recommendation

Contact a qualified roofing professional.



Furnace vent needs exterior flashing

3.2.1 Walkways, Patios & Driveways

WALKWAY CRACKING - MINOR

Maintenance Item

Minor cosmetic cracks observed. Recommend monitor and/or patch/seal.

Recommendation
Recommended DIY Project



3.3.1 Decks, Balconies, Porches & Steps

DECK (MOSTLY OK)

Recommendation / Improvement

At the time of the inspection, the Inspector observed few deficiencies in the condition of this deck. Notable exceptions will be listed in this report. Inspection of decks typically includes visual examination of the following:

- foundation;
- general structure;
- stair components
- attachment to home;
- floor planking;
- guardrail assemblies; and
- stair components

Recommendation
Contact a qualified professional.

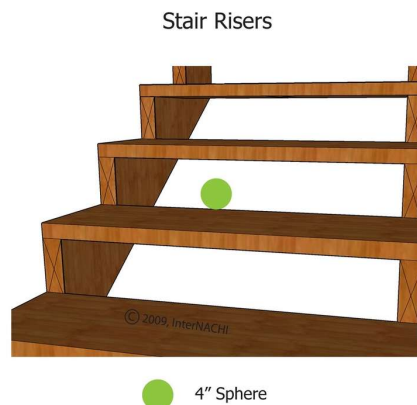
3.3.2 Decks, Balconies, Porches & Steps

OPEN STAIR RISERS

Observation/Concerns

Open risers should not allow the passage of a 4-inch diameter sphere. On stairs with a total rise of 30 inches or less, the size of the open riser is not limited.

Recommendation
Contact a qualified carpenter.



3.3.3 Decks, Balconies, Porches & Steps

CONNECTORS (UNFILLED HOLES)

Recommendation / Improvement

Most of the metal connectors used in deck framing had unfilled holes. To perform as designed, metal connectors should have all holes filled with the fasteners specified by the hardware manufacturer. The Inspector recommends correction by a qualified contractor.

Recommendation
Contact a qualified professional.



3.3.4 Decks, Balconies, Porches & Steps

LEDGER BOARD - NAILED ON, NO SCREWS OR BOLTS

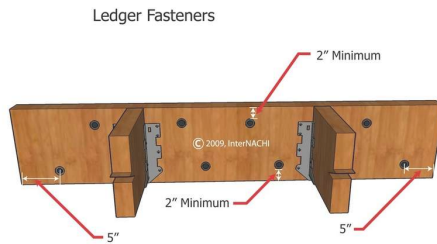
Recommendation / Improvement

Ledger boards for one or more decks, balconies or porches appeared to be attached with nails only. This method of attachment is substandard and may result in such structures separating from the main building. This is a potential safety hazard. Modern standards call for ledger boards to be installed with 1/2 inch lag screws or bolts into solid backing, and brackets such as [Simpson Strong Tie DTT2 brackets and threaded rod](#), connecting interior and exterior joists. Recommend that a qualified contractor repair per standard building practices. For more information, visit:

[Ledger Boards](#)

[Safe Decks](#)

Recommendation
Contact a qualified deck contractor.



Would prefer to see thru bolts or lag screws

3.3.5 Decks, Balconies, Porches & Steps

LEDGER BOARD ROTTING

Recommendation / Improvement

Observed sections of the ledger board under the deck (back corner of house) to be rotting. Recommend qualified contractor repair/replace.

Recommendation
Contact a qualified professional.



4.1.1 Siding, Flashing & Trim

SIDING FLASHING & TRIM STATUS

Recommendation / Improvement

Siding, flashing and trim were observed to be fair condition at time of inspection. Normal maintenance may be necessary to prevent damage from occurring.

Recommendation
Recommend monitoring.

4.1.2 Siding, Flashing & Trim

MINOR DAMAGE

Recommendation / Improvement

Siding has some typical minor damage. Recommend repair/replace as needed.

Recommendation
Contact a qualified siding specialist.



Crack

4.3.1 Exterior Doors

DOOR SILL/TRIM

Recommendation / Improvement

Door sill and/or trim is loose, deteriorated or worn and repair or replacement should be considered.

Recommendation
Contact a qualified door repair/installation contractor.



Front Door

4.3.2 Exterior Doors

WEATHERSTRIPPING NOT PRESENT

 Recommendation / Improvement

Door is missing standard weatherstripping. This can result in significant energy loss and moisture intrusion. Recommend installation of standard weatherstripping.

[Here is a DIY guide on weatherstripping.](#)

Recommendation

Contact a qualified door repair/installation contractor.



4.3.3 Exterior Doors

SCREEN DOOR DAMAGE

 Recommendation / Improvement

Screen door was observed to have damage which was partially repaired. Recommend repair or replacement as needed

Recommendation

Contact a qualified door repair/installation contractor.



4.4.1 Service Entrance
Conductors

Recommendation / Improvement

**OBSTRUCTED BY
VEGETATION**

Electrical meter and main electrical disconnect or obstructed by vegetation recommend removal of vegetation for proper access to electrical equipment.

Recommendation
Contact a qualified landscaping contractor



4.4.2 Service Entrance
Conductors

Recommendation / Improvement

RUSTED ENCLOSURE

Observed exterior electrical box to be rusted inside and out. There where no clear signs as to why this is at the time of inspection. Recommend licensed electrician evaluate further

Recommendation
Contact a qualified professional.



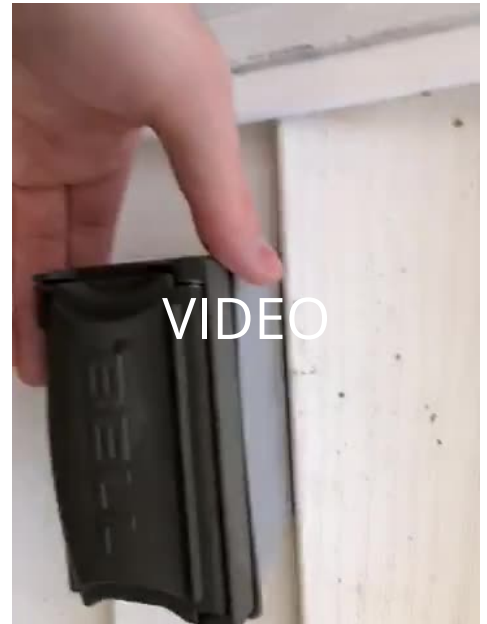
4.5.1 Exterior lighting and
receptacles

Recommendation / Improvement

**WEATHERPROOF COVER
LOOSE**

One or more exterior receptacles are missing a weatherproof cover. This causes short and shock risk. Recommend installation of proper covers.

Recommendation
Contact a qualified electrical contractor.



4.7.1 Exterior foundation **TYPICAL CRACKING**

 Recommendation / Improvement

Exterior foundation contains typical cracks due to shrinkage and normal freeze thaw cycle. Recommend patching as needed to prevent moisture intrusion.

Recommendation
Contact a foundation contractor.

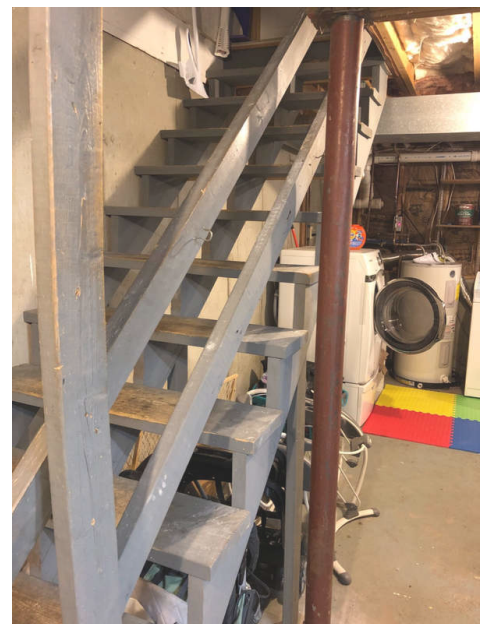


5.1.1 Steps, Stairways & Railings **NO BALUSTERS PRESENT**

 Recommendation / Improvement

The stairway into the basement does not have any balusters present. Balusters should be installed 4 apart for safety.

Recommendation
Contact a qualified professional.



5.2.1 Foundation

FOUNDATION CRACKS - MINOR

Recommendation / Improvement

Minor cracking was noted at the foundation. This is common as concrete ages and shrinkage surface cracks are normal. Recommend monitoring for more serious shifting/displacement.

[Here is an informational article](#) on foundation cracks.

Recommendation

Contact a foundation contractor.



6.1.1 Heating Equipment

NEEDS SERVICING/CLEANING (FURNACE)

Recommendation / Improvement

Furnace should be cleaned and serviced annually. Recommend a qualified HVAC contractor clean, service and certify furnace.

[Here is a resource](#) on the importance of furnace maintenance.

Recommendation

Contact a qualified HVAC professional.

6.1.2 Heating Equipment

FILTER DIRTY

Recommendation / Improvement

The furnace filter is dirty and should to be replaced every 3-6 months.

Recommendation

Contact a qualified HVAC professional.



6.1.3 Heating Equipment **SEALED CHAMBER**

 Recommendation / Improvement

The boiler was a high-efficiency system and had a sealed combustion chamber which would require invasive measures which lie beyond the scope of the General Home Inspection to inspect. The combustion chamber was inspected through a sight port only.

Recommendation
Contact a qualified HVAC professional.



6.2.1 Operating and Safety Controls

 Recommendation / Improvement

LOOSE THERMOSTAT

Thermostat was loose on the wall. Recommend repair or replacement.

Recommendation
Contact a qualified HVAC professional.



6.3.1 Distribution Systems

DUCT INSULATION MISSING

Recommendation / Improvement

One or more heating and/or cooling ducts in an unconditioned space (e.g. crawl space, attic or basement) were not insulated. This can result in reduced energy efficiency, moisture inside heating ducts, and/or "sweating" on cooling ducts. Recommend that a qualified person evaluate per standard building practices. For example, by wrapping ducts in insulation with an R-value of R-8.

Recommendation
Contact a qualified HVAC professional.



6.3.2 Distribution Systems

DUCT DAMAGED

Recommendation / Improvement

Air supply duct was damaged and not properly attached to the register above. This is causing the heat to enter the basement and not the room above. Recommend a qualified HVAC contractor repair.

Recommendation
Contact a qualified HVAC professional.



This is for the dining room near slider

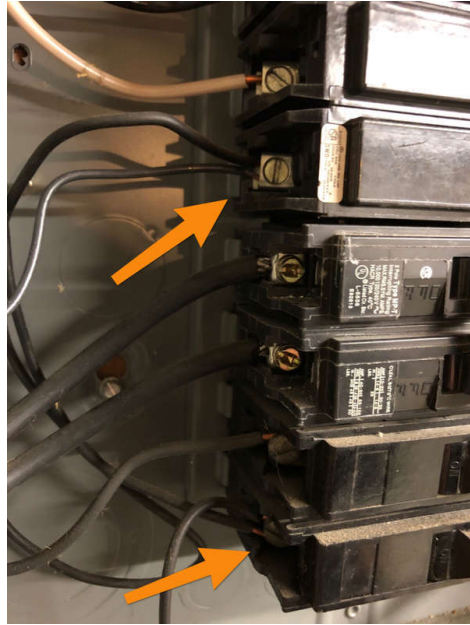
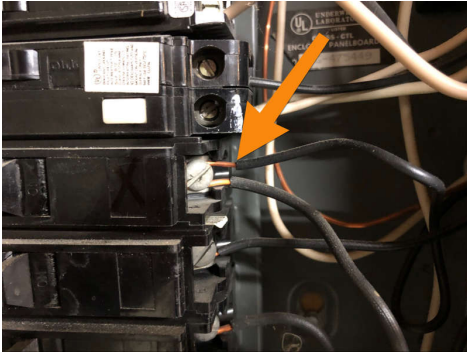
7.1.1 Main & Subpanels, Service & Grounding, Main Overcurrent Device

DOUBLE TAPS

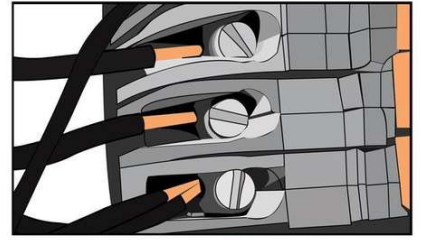
Recommendation / Improvement

Double taps at the electrical panel should be repaired by a licensed electrician.

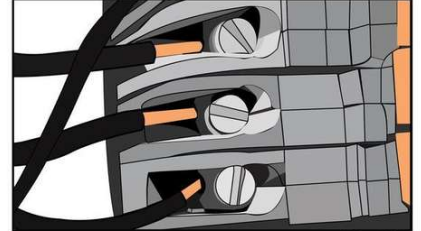
Recommendation
Contact a qualified professional.



Double-Tapped Breakers



Don't 



Do 

© InterNACHI

7.1.2 Main & Subpanels, Service & Grounding, Main Overcurrent Device

KNOCKOUTS MISSING

 **Observation/Concerns**

"Knockouts" are missing on the electric panel. This poses a safety hazard and it is recommended that the opening in the panel caused by the missing knockout(s) be properly sealed by a licensed electrician.

Recommendation
Contact a qualified electrical contractor.



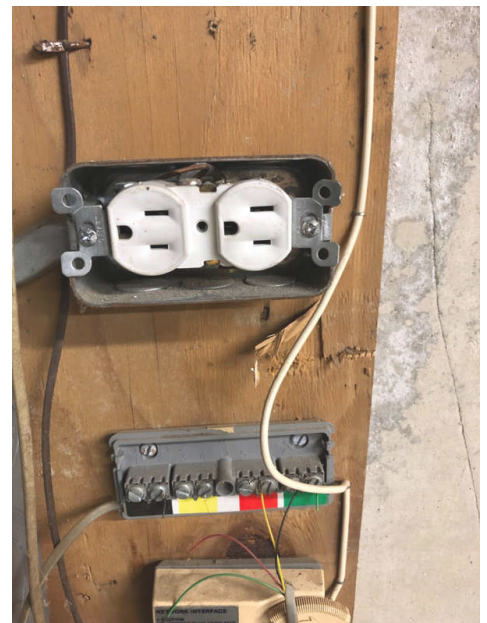
7.3.1 Electrical Fixtures, Switches and Receptacles

COVER PLATES MISSING

 **Recommendation / Improvement**

One or more receptacles are missing a cover plate. This causes short and shock risk. Recommend installation of plates.

Recommendation
Contact a qualified electrical contractor.



7.3.2 Electrical Fixtures,
Switches and Receptacles

LIGHT INOPERABLE

One or more lights are not operating. New light bulb possibly needed.

Recommendation

Contact a qualified electrical contractor.



Recommendation / Improvement



Kitchen sink light (also loose)

7.3.3 Electrical Fixtures,
Switches and Receptacles

OPEN GROUND

Recommendation

Contact a qualified professional.



Recommendation / Improvement



Bedroom

8.2.1 Main Water Shut-off
Device

CORROSION

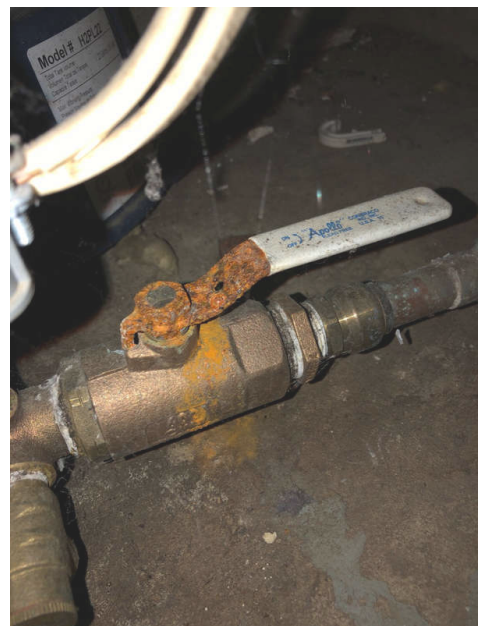
Water main shut-off shows signs of corrosion. Recommend a qualified plumber evaluate.

Recommendation

Contact a qualified plumbing contractor.



Recommendation / Improvement



9.1.1 Attic Insulation

DAMAGED (PESTS)

 Recommendation / Improvement

Insulation appears to have holes throughout which is a typical sign of pests borrowing through the insulation. Recommend a qualified insulation contractor or pest pro evaluate and repair.

Recommendation

Contact a qualified insulation contractor.



9.1.2 Attic Insulation

INSULATE ACCESS HATCH/ENTRY

 Recommendation / Improvement

The attic access hatch cover was not insulated. The Inspector recommends insulating the attic access hatch cover to reduce unwanted heat loss/gain.

Recommendation

Contact a qualified insulation contractor.



10.1.1 Electrical Components

RECEPTACLE IS LOOSE

 Recommendation / Improvement

Electrical receptacle is not properly secured recommend licensed electrician to repair.

Recommendation

Contact a qualified electrical contractor.



10.3.1 Countertops & Cabinets

COUNTERTOP CRACKED/CHIPPED



Recommendation / Improvement

Countertop had one or more cracks or chips. Recommend qualified countertop contractor evaluate and repair.

[Here is a helpful article](#) on repairing cracks, chips & fissures.

Recommendation

Contact a qualified countertop contractor.



2nd Floor

10.4.1 Fixtures Installed

IMPROPER PLUMBING CONNECTIONS



Recommendation / Improvement

Bathroom sink plumbing connections are improper. 1/2 Bathroom sink drain has a gray rubber piece of hose instead of the required P-Trap. Recommend licensed plumber evaluate and correct.

Recommendation

Contact a qualified plumbing contractor.



10.5.1 Ventilation

VENTILATION FAN NOT PRESENT

 Recommendation / Improvement

A ventilation fan is not currently installed in bathroom area. Installation of a proper vent fan is recommended to better control moisture and prevent possible moisture damage.

Recommendation

Contact a qualified professional.

11.4.1 Interior Doors

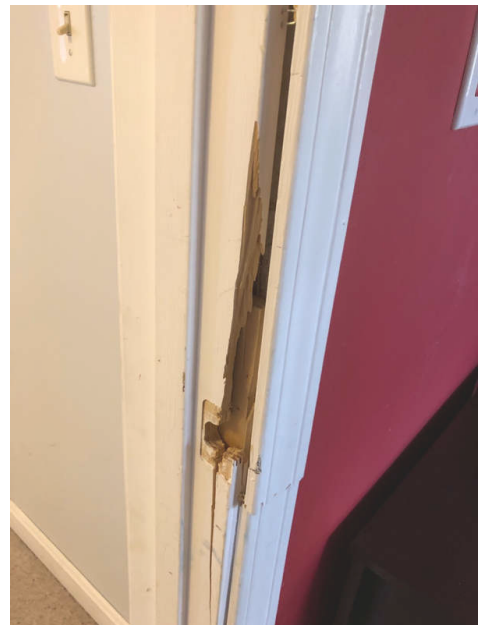
DAMAGED TRIM

 Recommendation / Improvement

Bedroom door trim is damaged recommend repair

Recommendation

Contact a qualified professional.



11.5.1 Walls and Ceilings

**TYPICAL CRACKS
OBSERVED**

 Recommendation / Improvement

Typical cracks in drywall/plaster were observed. These cracks may develop due to normal aging of a home, minor settling, as well as moisture/temperature changes. Recommend repair as needed. No evidence of structural defect observed at time of inspection.

Recommendation

Contact a qualified drywall contractor.



11.5.2 Walls and Ceilings

STAIN(S) ON CEILING

 Recommendation / Improvement

There is a stain on ceiling that requires paint. Inspector tested the area with a moisture meter with 0% moisture registered, therefore this is not a current leak. Source of staining should be determined.

Recommendation

Contact a qualified professional.



11.5.3 Walls and Ceilings

TYPICAL NAIL/SCREW HOLES OBSERVED

 Maintenance Item

Observed typical nail / screw holes from previous items that were hung on the walls.

Recommendation

Contact a handyman or DIY project

11.6.1 Steps, Stairways & Railings

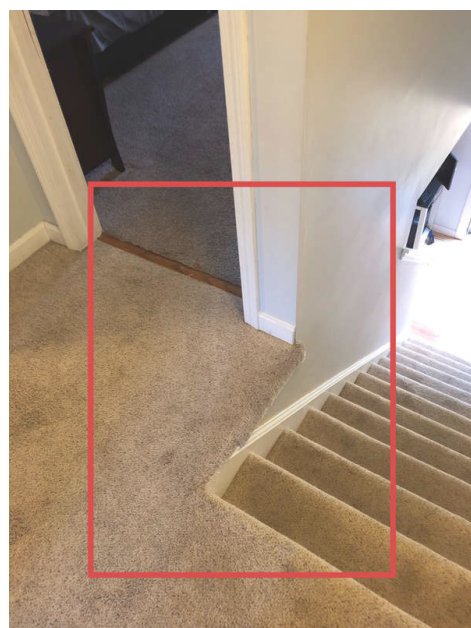
NO HANDRAIL

 Observation/Concerns

Staircase had no handrails. This is a safety hazard. Recommend a qualified handyman install a handrail.

Recommendation

Contact a qualified handyman.



11.7.1 Smoke and CO Detectors

SMOKE/CO DETECTORS ARE NOT INSTALLED PER CURRENT SAFETY STANDARDS

 Observation/Concerns

Smoke Detectors are required to be installed in the following locations per current safety standards:

- 1 Per Bedroom
- 1 Per level of home
- Must be sealed Battery type (1JAN2017)

CO Detectors are required to be installed in the following locations per current safety standards:

- 1 Within 15' of sleeping areas
- 1 Per level of home
- Must be sealed Battery type (1JAN2017)

Recommendation

Contact a qualified professional.



12.1.1 Washer/Dryer

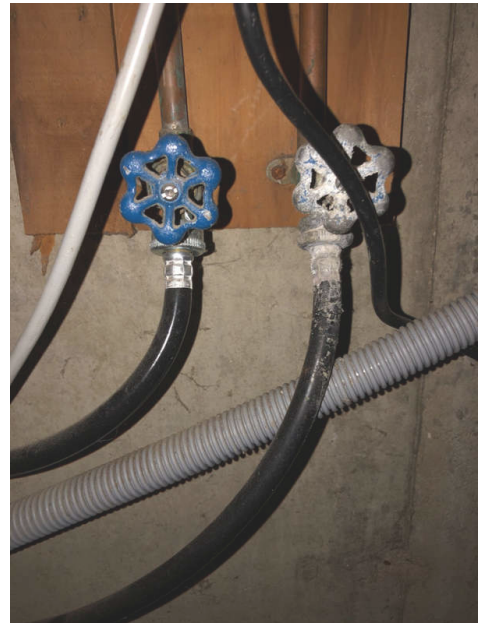
WASHER HOSES IMPROPER

 Maintenance Item

Current hoses are rubber. Recommend replacing with Stainless Steel Braided hoses as rubber can crack and burst.

Recommendation

Contact a qualified professional.



12.2.1 Electrical Components

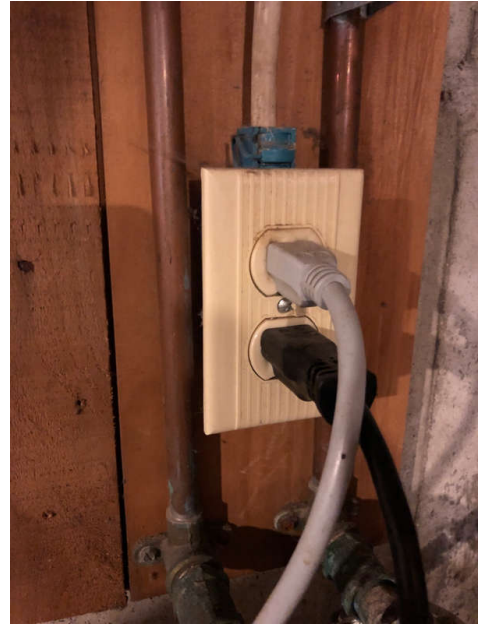
LAUNDRYROOM ELECTRICAL RECEPTACLES NOT TO CURRENT STANDARDS

 Recommendation / Improvement

Laundry room electrical receptacles do not meet current safety standards, they are currently non-GFCI type. Recommend licensed electrician to repair to current standards to prevent possible injury.

Recommendation

Contact a qualified electrical contractor.



13.3.1 Electrical Components

KITCHEN ELECTRICAL RECEPTACLES NOT TO CURRENT STANDARDS

 Observation/Concerns

Kitchen electrical receptacles do not meet current safety standards. Recommend licensed electrician to repair to current standards to prevent possible injury.

Recommendation

Contact a qualified electrical contractor.

13.3.2 Electrical Components

REVERSE POLARITY

 Observation/Concerns

Kitchen receptacles have reverse polarity. This is a potential safety hazard, recommend licensed electrician to repair to current safety standards.

Recommendation

Contact a qualified electrical contractor.



14.3.1 Dishwasher

DISHWASHER NOT ATTACHED PROPERLY

 Recommendation / Improvement

Recommendation
Contact a qualified professional.



DW not attached to cabinets