



SUMMARY
1234 Main St. Lansdale Pennsylvania
19446
Buyer Name
02/08/2019 9:00AM

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It is recommended that any noted deficiencies be evaluated and repaired by a certified contractor of trade.

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2.2.1 Driveway, Walkway, Patio

TRIP HAZARD-SIDEWALK



Cracks, holes, settlement, heaving and/or deterioration resulting in trip hazards were found in the sidewalks or patios. For safety reasons, recommend that a qualified contractor repair as necessary to eliminate trip hazards.

Recommendation
Contact a qualified professional.



2.4.1 Electrical
GFCI MISSING



Modern building standards require GFCI protection at ALL kitchens, bathrooms, laundry areas, garages, and exterior areas. One or more locations at this property were noted as not having GFCI protection or the inspector was unable to verify if GFCI protection existed at these locations. Adoption of GFCI outlets was generally phased in over numerous years/decades. Recommend client evaluate upgrading these areas to GFCI protection at their discretion.

General guidelines for GFCI-protected receptacles include the following locations:

- Outdoors (since 1973)
- Bathrooms (since 1975)
- Garages (since 1978)
- Kitchens (since 1987)
- Crawl spaces and unfinished basements (since 1990)
- Wet bar sinks (since 1993)
- Laundry and utility sinks (since 2005)

Recommendation

Contact a qualified electrical contractor.

2.5.1 Windows and Door

TRIM ROTTED/DAMAGED

 Maintenance/Monitor

The trim at the base of the door frames damaged. This is a typical area of concern. This area should be sealed on all sides to prevent water wicking and further deterioration. The damaged wood should be repaired or replaced

Recommendation

Contact a qualified professional.



2.8.1 Vegetation and Grading

SURFACE TOWARD BUILDING

 Deficiencies

Surfaces sloped down towards building perimeters in one or more areas. This may result in water accumulating around building foundations or underneath buildings. Monitor these areas in the future, especially during and after periods of rain. If significant amounts of water are found to accumulate, then recommend that a qualified contractor evaluate and repair as necessary. For example, by installing drain(s) or removing old pavement and installing new.

Recommendation

Contact a qualified professional.



2.8.2 Vegetation and Grading

TREE NEAR FOUNDATION

Deficiencies

One or more large trees were very close to the foundation. Tree roots can cause significant structural damage to foundations. Recommend that a qualified tree service contractor or certified arborist remove trees as necessary to prevent damage to foundations.

Recommendation

Contact a qualified tree service company.



2.12.1 Stucco Walls

TRIM DAMAGED

Deficiencies

The trim at the base of the stucco walls are deteriorated. We recommend further investigation into the extent of damage and all damaged trim be replaced

Recommendation

Contact a qualified professional.



3.3.1 Shingles

MOSS ON SHINGLES



Maintenance/Monitor

Moss was growing on the roof. As a result, shingles can lift or be damaged. Leaks can result and/or the roof surface can fail prematurely. Efforts should be made to kill the moss during its growing season (wet months). Typically, zinc or phosphate-based chemicals are used for this and must be applied periodically.

Recommendation

Contact a qualified professional.



3.5.1 Gutters/drains

CLOGGED GUTTERS/DOWNSPOUTS

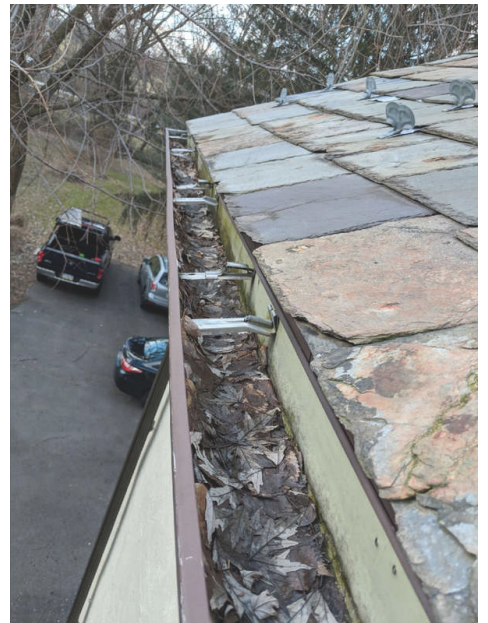


Maintenance/Monitor

Significant amounts of debris have accumulated in one or more gutters or downspouts. Gutters can overflow and cause water to come in contact with the building exterior, or water can accumulate around the foundation. This is a conducive condition for wood-destroying organisms. Recommend cleaning gutters and downspouts now and as necessary in the future.

Recommendation

Recommended DIY Project



3.6.1 Flashing/Vents

CHIMNEY FLASHING LEAKING (NOT INSPECTED)

Deficiencies

The chimney flashing appears to be leaking from a visual observation from inside the home. We we're not able to fully evaluate the flashing. We recommend the flashing be further evaluated and repaired by a qualified roofer

Recommendation

Contact a qualified roofing professional.

5.2.1 Foundation

MINOR WATER ENTRY

Deficiencies

Minor water entry was noted on the basement floor. This is typical in most basements and does not require immediate action.

Recommendation

Contact a qualified professional.



5.3.1 Floor Structure

JOISTS NEED REPAIR

Deficiencies

One or more floor joists were damaged or improperly installed. This can cause damage to the structural integrity of the home. Recommend a qualified structural engineer evaluate and advise on how to correct.



5.3.2 Floor Structure

WDI DAMAGE

Deficiencies

Wood destroying insects damage was noted. We recommend an invasive Inspection to determine the extent of damage. A qualified contractor should further evaluate and make necessary repairs

Recommendation

Contact a qualified professional.



6.2.1 Branch Wiring

KNOB AND TUBE-ENERGIZED

 Safety/Immediate Attention

This property has "knob and tube" wiring, which was commonly installed prior to 1950. It is ungrounded, and considered unsafe by today's standards. Over time, the wire's insulation may become brittle and fall apart or wear thin, resulting in exposed conductors and a risk of shock and/or fire. This wiring is also easily damaged by covering it with insulation (a common practice), and incorrectly tapping new wiring into it.

Some energized knob and tube wiring was found during the inspection. It is not within the scope of this inspection to determine what percentage of this property's wiring is of the knob and tube type, or to determine what percentage of the knob and tube wiring is energized vs. abandoned. A qualified electrician should evaluate this wiring and make repairs or replace wiring as necessary.

Note that some insurance companies may be unwilling to offer homeowner's insurance for properties with knob and tube wiring. Recommend that the client(s) consult with their insurance carrier regarding this.

Recommendation

Contact a qualified electrical contractor.



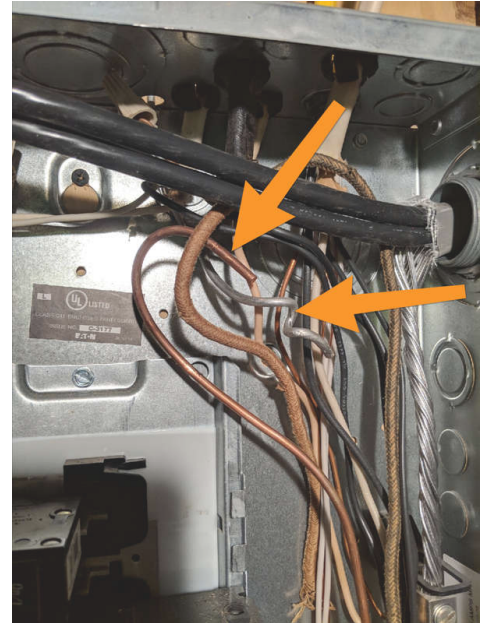
6.3.1 Circuit Breakers

GROUND DISCONNECTED

Deficiencies

The system ground has been disconnected inside the electrical panel. We recommend repair by a licensed electrician

Recommendation
Contact a qualified electrical contractor.



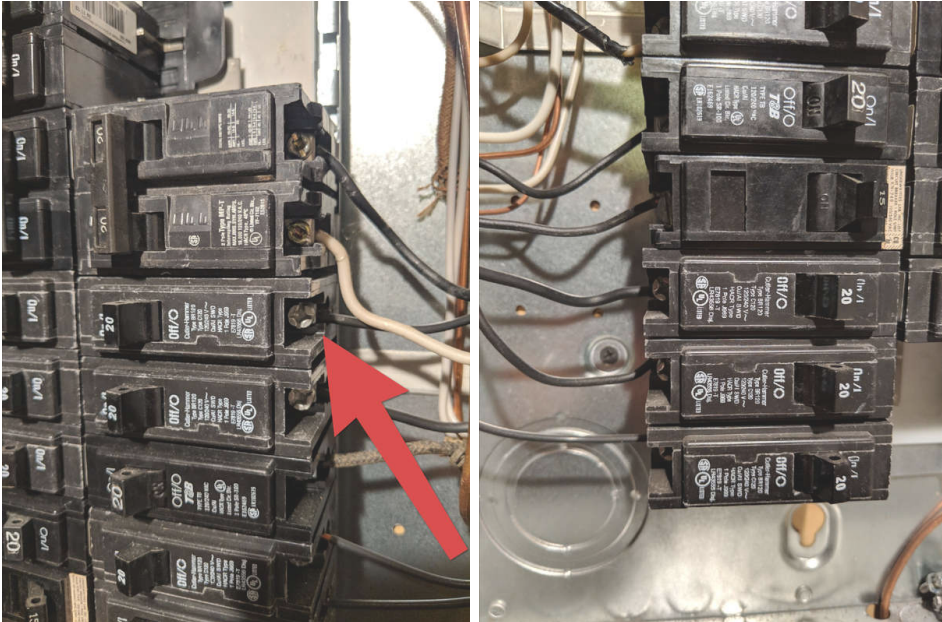
6.3.2 Circuit Breakers

OVER FUSED

Safety/Immediate Attention

We found over-fusing in the main service panel, meaning the fuse or breaker is not rated for the connected wire. This is a potential fire hazard. We recommend the circuit be equipped with an properly rated overcurrent protection device.

Recommendation
Contact a qualified professional.



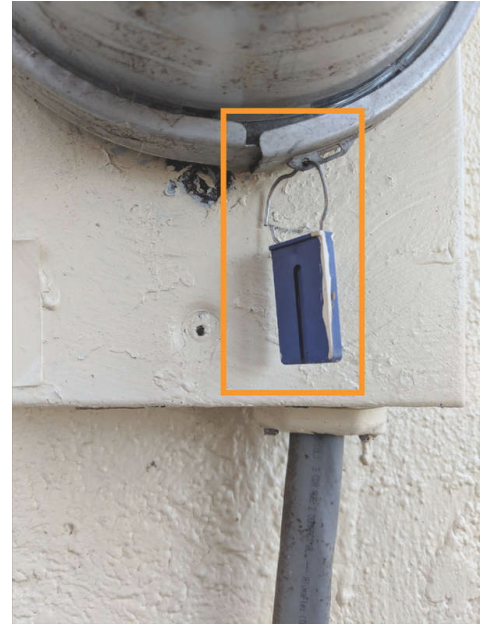
6.4.1 Meter

SEAL MISSING/BROKEN

Deficiencies

The seal for the metal ring securing the electric meter to its base is missing or broken. The utility company installs these seals. Recommend consulting with the property owner(s) about this and/or contacting the utility company to have one reinstalled.

Recommendation
Contact your local utility company



7.1.1 General

WATER STAINS

Deficiencies

The area around the plumbing vent had water stains. We indicated no active leaking. It is possible this leak has been addressed. We recommend monitoring during heavy rainfall.

Recommendation
Contact a qualified professional.



7.4.1 Insulation

MISSING

Deficiencies

Ceiling insulation is missing in some areas. Recommend installing insulation where missing for better energy efficiency.

Recommendation
Contact a qualified insulation contractor.



8.1.1 Cabinets

WATER DAMAGE MINOR

Water stains and/or minor water damage was found in the shelving or cabinet components below the sink. The client(s) should evaluate and consider having repairs made.

Recommendation

Contact a qualified cabinet contractor.



Kitchen

8.2.1 Countertops-Backsplash

CAULKING

One or more areas of the kitchen counter top(s) are recommended to be re-sealed (caulked) to keep any moisture and or water out and prevent future damage.

Recommendation

Recommended DIY Project



8.3.1 Electrical

Deficiencies

RECEPTACLE LOOSE

One or more electric receptacles and/or the boxes they are installed in are loose and/or not securely anchored. Wire conductors may be damaged due to repeated movement and/or tension on wires, or insulation may be damaged. This is a safety hazard due to the risk of shock and fire. A qualified electrician should evaluate and repair as necessary.

Recommendation

Contact a qualified electrical contractor.



9.2.1 Dishwasher

Deficiencies

DISHWASHER BRACKET

The bracket that attaches the dishwasher to the underside of the countertop is loose, missing or installed in a substandard way. Repairs should be made as necessary, such as installing or reinstalling the bracket, and by a qualified contractor if necessary.

Recommendation

Contact a qualified appliance repair professional.



9.2.2 Dishwasher

Deficiencies

DISHWASHER NO HIGH LOOP

The dishwasher drain line is not configured with a "high loop" or "air gap". A high loop is created by routing the drain line up to the bottom surface of the counter top above, and securely fastening it to that surface. It is meant to prevent water from siphoning out of the dishwasher, and to prevent water from the sink drain or food disposal from entering the dishwasher. Some dishwashers have a built-in high loop where one is not required to be configured in the drain line. The clients should try to determine if a high loop is required for this brand and model of dishwasher (review installation instructions, etc.). If one is required, or it cannot be determined if one is not required, then a qualified contractor should install a high loop as per standard building practices.

Also, no "air gap" is installed. Air gaps are another device meant to prevent water from the sink drain or food disposal from entering the dishwasher. These are required in some municipalities for new construction and when remodeling. The client(s) should consult with a qualified contractor to determine if an air gap should be installed.

Recommendation

Contact a qualified appliance repair professional.



9.6.1 Range-Cooktop-Oven

NO SHUT OFF



There was no shut off present for the gas operated stove/oven/range cooktops. This may have been standard practice when the home was built. We recommend consideration be given to install shut off valve in accordance with current building standards

Recommendation

Contact a qualified professional.



10.1.1 General

FOIL-PLASTIC DUCT



The clothes dryer is equipped with a vinyl or foil, accordion-type, flexible exhaust duct. The U.S. Consumer Product Safety Commission considers these types of ducts to be unsafe, and a fire hazard. These types of ducts can trap lint and are susceptible to kinks or crushing, which can greatly reduce the air flow. This duct should be replaced with a rigid or corrugated semi-rigid metal duct, and by a qualified contractor if necessary. Most clothes dryer manufacturers specify the use of a rigid or corrugated semi-rigid metal duct.

Recommendation

Contact a qualified appliance repair professional.

10.1.2 General

KINKED DRYER VENT



Maintenance/Monitor

The clothes dryer exhaust duct is kinked, crushed and/or damaged. Air flow is restricted as a result. This is a safety hazard due to the risk of fire. The exhaust duct should be replaced or repaired, and by a qualified contractor if necessary.

Recommendation

Contact a qualified appliance repair professional.



11.1.1 Electrical

2 SLOT



Safety/Immediate Attention

2-slot receptacles rather than 3-slot, grounded receptacles were installed in one or more areas. These do not have an equipment ground and are considered unsafe by today's standards. Appliances that require a ground should not be used with 2-slot receptacles. Examples of such appliances include computers and related hardware, refrigerators, freezers, portable air conditioners, clothes washers, aquarium pumps, and electrically operated gardening tools. The client should be aware of this limitation when planning use for various rooms, such as an office. Upgrading to grounded receptacles typically requires installing new wiring from the main service panel or sub-panel to the receptacle(s), in addition to replacing the receptacle(s). Consult with a qualified electrician about upgrading to 3-wire, grounded circuits.

Recommendation

Contact a qualified electrical contractor.

11.1.2 Electrical

EXTENSION CORDS



Maintenance/Monitor

Extension cords were being used as permanent wiring at one or more locations. They should only be used for portable equipment on a temporary basis. Using extension cords as permanent wiring is a potential fire and shock hazard, and indicates that wiring is inadequate and needs updating. Extension cords may be undersized. Connections may not be secure resulting in power fluctuations, damage to equipment, overheating and sparks that could start a fire. Recommend that a qualified electrician repair per standard building practices and eliminate extension cords for permanently installed equipment.

Recommendation

Contact a qualified electrical contractor.



Basement



Living Room



Attic

11.1.3 Electrical

OPEN GROUND



One or more modern, 3-slot electric receptacles were found with an open ground. This is a shock hazard when appliances that require a ground are used with these receptacles. Examples of such appliances include computers and related hardware, refrigerators, freezers, portable air conditioners, clothes washers, aquarium pumps, and electrically operated gardening tools. Recommend that a qualified electrician repair as necessary so all receptacles are grounded per standard building practices.

Recommendation

Contact a qualified electrical contractor.





11.1.4 Electrical

SPLICES NOT IN BOX



Wire splices were exposed and were not contained in a covered junction box. This is a potential shock or fire hazard. Recommend that a qualified electrician repair per standard building practices. For example, by installing permanently mounted junction boxes with cover plates where needed to contain wiring splices.

Recommendation

Contact a qualified electrical contractor.



Basement



Attic

11.1.5 Electrical

COVER PLATE MISSING



Cover plate(s) are missing from one or more electric boxes, such as for receptacles, switches and/or junction boxes. They are intended to contain fire and prevent electric shock from exposed wires. This is a safety hazard due to the risk of fire and shock. Cover plates should be installed where missing.

Recommendation
Contact a qualified electrical contractor.



Basement

11.2.1 Floors, Walls, Ceilings

CEILING-WET STAIN

Stains and elevated levels of moisture were found in one or more ceiling areas. A qualified contractor should evaluate and repair as necessary.

Recommendation
Contact a qualified professional.

 Safety/Immediate Attention





11.2.2 Floors, Walls, Ceilings

WALL- WET STAIN



Stains and elevated levels of moisture were found in one or more wall areas. A qualified contractor should evaluate and repair as necessary. The wall was crumbling. All damaged material should be replaced and the source of the problem be addressed by a qualified contractor

Recommendation

Contact a qualified professional.



11.2.3 Floors, Walls, Ceilings

ORGANIC GROWTH

Deficiencies

Organic growth was noted on drywall in the basement. We recommend all organic growth be removed

Recommendation
Contact a qualified professional.



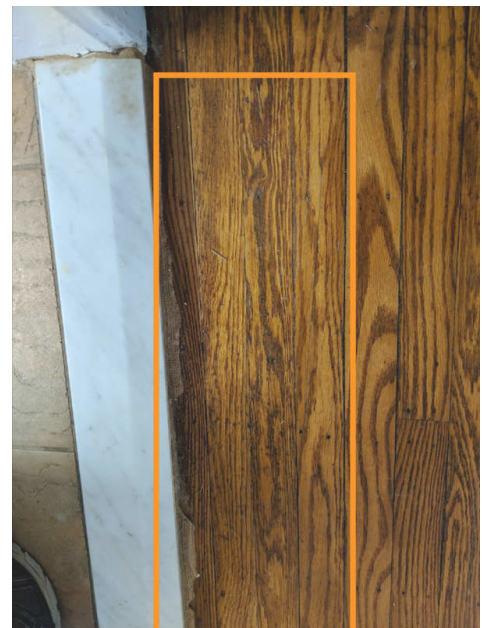
11.2.4 Floors, Walls, Ceilings

FLOOR DAMAGED

Deficiencies

The floor was soft in areas. Repair or replacement is considered optional

Recommendation
Contact a qualified professional.



Dining Room

11.3.1 Smoke and CO alarms

CO ALARMS MISSING

Safety/Immediate Attention

Carbon monoxide alarms were missing from one or more sleeping areas / on one or more levels. This is a potential safety hazard. Some states and/or municipalities require CO alarms to be installed in the vicinity of each sleeping area, on each level and in accordance with the manufacturer's recommendations. Recommend installing additional carbon monoxide alarms per these standards.

Recommendation
Contact a qualified electrical contractor.

11.4.1 Stairs/Handrails/Guardrails

GUARDRAIL MISSING 30"



Guardrails at one or more locations with drop-offs higher than 30 inches were missing. This poses a fall hazard. Guardrails should be installed where walking surfaces are more than 30 inches above the surrounding grade or surfaces below. Recommend that a qualified contractor install guardrails where missing and per standard building practices.

Recommendation

Contact a qualified professional.



11.4.2 Stairs/Handrails/Guardrails

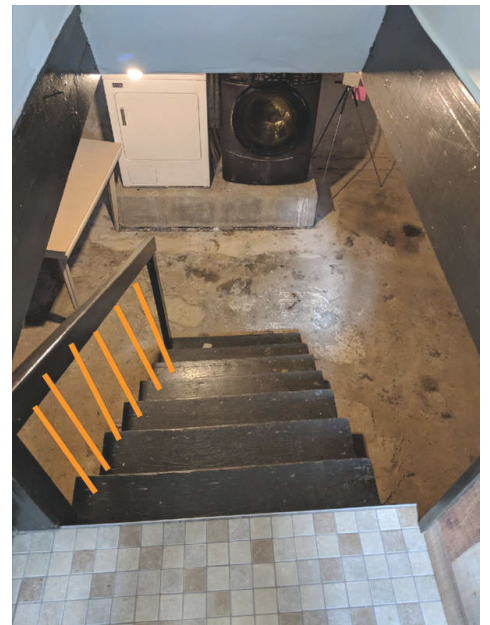
RISER OPENING GREATER 4"



Openings at stair risers were greater than 4 inches. This is a potential safety hazard for children (e.g. falling through, getting stuck in gaps). Recommend that a qualified contractor repair per standard building practices. For example, by enclosing stair risers.

Recommendation

Contact a qualified professional.



11.4.3 Stairs/Handrails/Guardrails

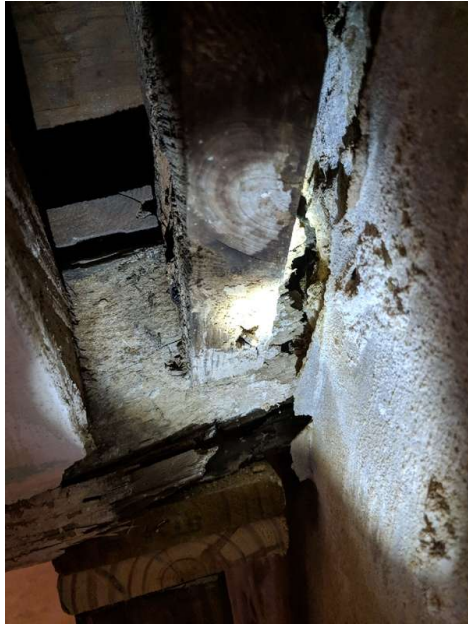
WDI DAMAGE



Wood destroying insect damage was noted on the stair string/supports. We recommend an invasive inspection by a qualified contractor and all necessary repairs be made.

Recommendation

Contact a qualified professional.



11.4.4 Stairs/Handrails/Guardrails **SUPPORT SUBSTANDARD**

Deficiencies

The support most for the stairs was free floating and not properly secured to the landing. We recommend it be fastened to prevent the support from shifting and becoming loose.

Recommendation
Contact a qualified professional.



11.5.1 Windows and Door **DOOR RUBS**

Deficiencies

One or more doors bind in their jamb, or are difficult to open and close. A qualified contractor should evaluate and repair as necessary. For example, adjusting jambs or trimming doors.

Recommendation
Contact a qualified door repair/installation contractor.



11.5.2 Windows and Door

LOCKSET-DAMAGED



One or more locksets are damaged and/or deteriorated. Locksets should be replaced as necessary.

Recommendation

Contact a qualified handyman.



11.5.3 Windows and Door

WINDOW-BROKEN



Glass in one or more windows is broken. A qualified contractor should replace glass where necessary.

Recommendation

Contact a qualified window repair/installation contractor.

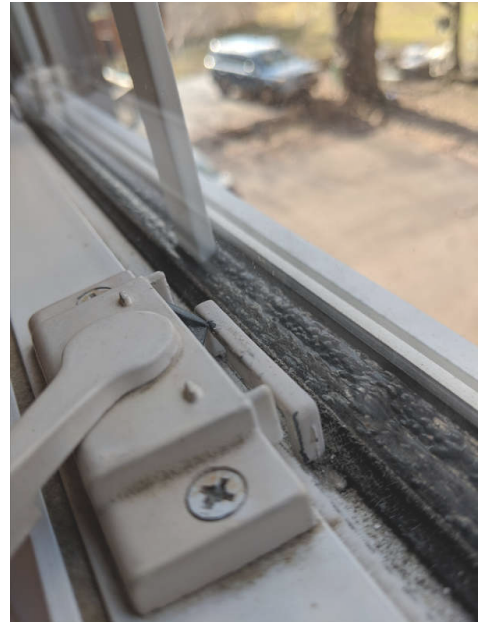


11.5.4 Windows and Door
WINDOW-LOCK ISSUE

 Maintenance/Monitor

Lock mechanisms on one or more windows are missing and/or damaged so that they are inoperable. Repairs should be made by a qualified contractor or service technician so that windows lock and unlock easily.

Recommendation
Contact a qualified window repair/installation contractor.

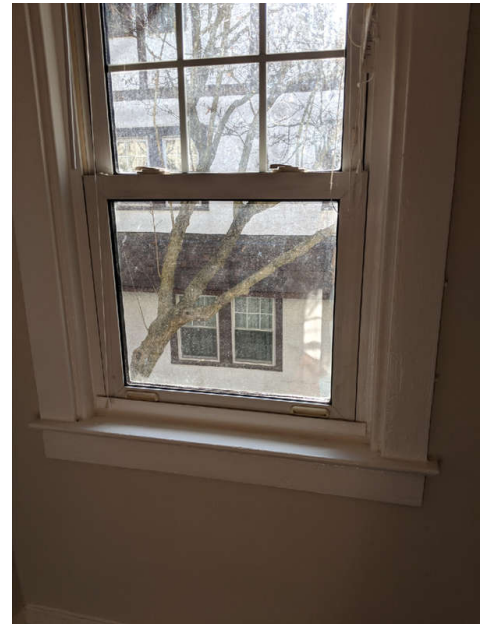


11.5.5 Windows and Door
WINDOW-SCREENS MISSING

 Maintenance/Monitor

Screen(s) in one or more windows are missing. The client(s) should ask the property owner(s) about this. Screens are often removed for window cleaning and they may be stored somewhere. If not, then recommend installing screens where missing.

Recommendation
Contact a qualified window repair/installation contractor.



11.5.6 Windows and Door

WINDOW-WON'T OPEN



One or more windows that were built to open, will not open, or open only minimally due to their being painted shut, damaged and/or deteriorated in some way. Repairs should be made as necessary, and by a qualified contractor if necessary so windows open fully, and open and close easily.

Recommendation

Contact a qualified window repair/installation contractor.



11.5.7 Windows and Door

DOOR CLOSER DAMAGED



The door closer is damaged. We recommend it be repaired or replaced

Recommendation

Contact a qualified professional.



11.5.8 Windows and Door

EGRESS- BEDROOMS OLD

 Deficiencies

The window sash is small and may not be useful in an emergency. Present standards require that each sleeping area have an operable window of certain minimum dimensions to provide a means of a secondary egress in the event of a fire.

Recommendation

Contact a qualified professional.



12.1.1 Bathub

CAULKING AT SURROUND

 Maintenance/Monitor

Caulk is missing or deteriorated above one or more bathtubs, where the tub surround meets the tub. It should be replaced where deteriorated and/or applied where missing to prevent water intrusion and damage to the wall structure.

Recommendation

Recommended DIY Project



Bathroom 2nd Floor

12.1.2 Bathub

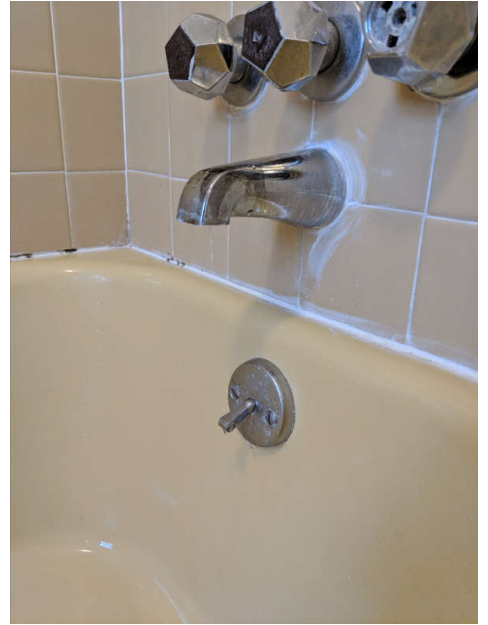
FAUCET LEAKS OFF

 Deficiencies

One or more faucets leak or drip when turned off. A qualified plumber should evaluate and repair as necessary.

Recommendation

Contact a qualified plumbing contractor.



Bathroom 2nd Floor

12.3.1 Electrical

GFCI MISSING

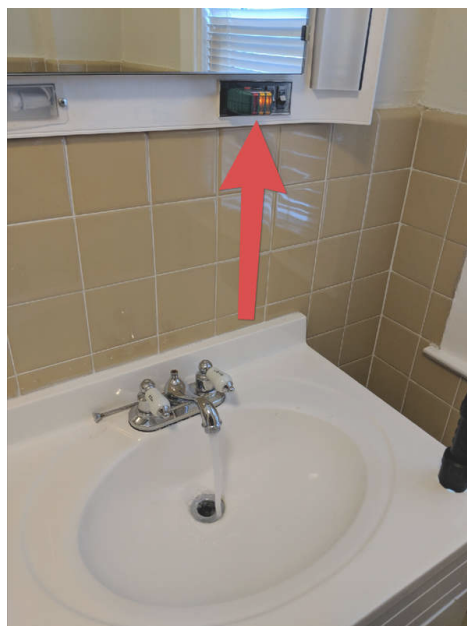


One or more electric receptacles at the bathroom(s) had no visible ground fault circuit interrupter (GFCI) protection, or the inspector was unable to determine if GFCI protection was present. If not GFCI-protected, receptacles in wet areas pose a shock hazard. Recommend that a qualified electrician evaluate and install GFCI protection if necessary and per standard building practices. General guidelines for GFCI-protected receptacles include the following locations:

- Outdoors (since 1973)
 - Bathrooms (since 1975)
 - Garages (since 1978)
 - Kitchens (since 1987)
 - Crawl spaces and unfinished basements (since 1990)
 - Wet bar sinks (since 1993)
 - Laundry and utility sinks (since 2005)
- Recommendation
Contact a qualified electrical contractor.



Bathroom 3rd Floor



Bathroom 2nd Floor



3rd Floor Bathroom

12.6.1 Shower

CAULKING AT SURROUND

 Maintenance/Monitor

Caulk is missing or deteriorated around the shower surround. It should be replaced where deteriorated and/or applied where missing to prevent water intrusion and damage to the wall structure.

Recommendation

Recommended DIY Project



Bathroom 3rd Floor

12.6.2 Shower

HARDWARE MISSING

 Maintenance/Monitor

The shower door is very loose and the hardware is missing. This is causing a rough operation. We recommend the door be repaired

Recommendation

Contact a qualified professional.



12.6.3 Shower

PAST WATER DAMAGE

 Deficiencies

Evidence of past water damage was noted on the floor around the shower. We recommend monitoring and repairing if needed

Recommendation

Contact a qualified professional.



Bathroom 3rd Floor

12.7.1 Sink/countertop

FAUCET LEAKS ON

Deficiencies

One or more faucets leak by handle(s) or at their base when turned on. A qualified plumber should evaluate and repair as necessary.

Recommendation

Contact a qualified plumbing contractor.



Bathroom 3rd Floor shower

12.7.2 Sink/countertop

SINK DRAIN LEAK

Deficiencies

One or more sink drains have an active leak. For example, at pipe fittings and/or junctions between pipe and sink. A qualified plumber should evaluate and repair as necessary.

Recommendation

Contact a qualified plumbing contractor.



12.7.3 Sink/countertop

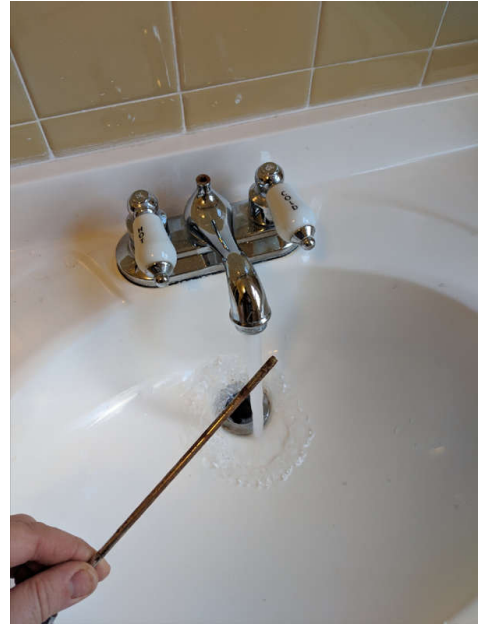
STOPPER ISSUE

Deficiencies

One or more sink stopper(s) mechanisms are missing, or need adjustment or repair. Stopper mechanisms should be installed where missing and/or repairs should be made so sink stoppers open and close easily.

Recommendation

Contact a qualified plumbing contractor.



Bathroom 2nd Floor

14.3.1 Drain and Waste

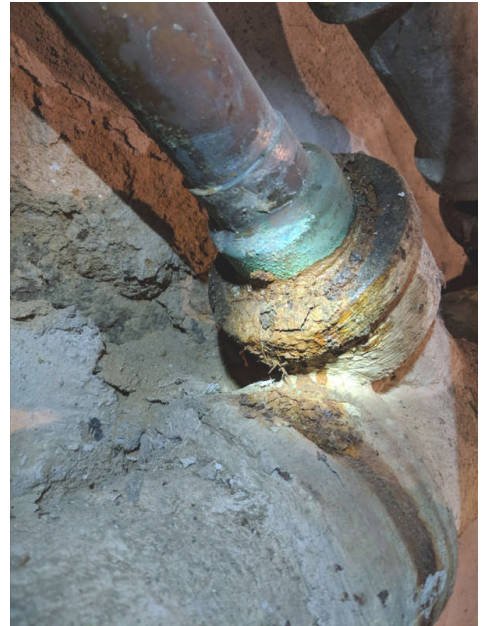
PAST LEAKING-NOT OCCUPIED

Deficiencies

The home is vacant at the time of our inspection. With a change in occupancy some dormant leaks may become apparent. We noted areas of past leakage. The system should be monitored for active leaks after a change in occupancy

Recommendation

Contact a qualified professional.



Basement

14.5.1 Sump pump

GFCI MISSING

Deficiencies

The sump pump electrical connection is not ground fault protected, as would be required today. GFI protection for the sump pump would provide a higher margin of safety and is recommended as an optional upgrade.

The outlet is not properly fastened to the wall. We recommend it be anchored to the wall to prevent damage to the wiring.

Recommendation

Contact a qualified professional.



15.1.1 Water Heater

EXCEEDS LIFE EXPECTANCY

 Safety/Immediate Attention

The estimated useful life for most water heaters is 8 to 12 years. This water heater appears to be at this age or older and may need replacing at any time. Recommend budgeting for a replacement in the near future.

Recommendation

Contact a qualified plumbing contractor.

16.2.1 Flue and damper

DAMPER STUCK

 Deficiencies

The damper in one or more fireplaces is stuck and cannot be opened or closed. A qualified chimney service contractor should evaluate and make repairs as necessary.

Recommendation

Contact a qualified chimney contractor.



16.3.1 Hearth

DETERIORATED

 Deficiencies

One or more fireplace and/or woodstove hearths are damaged and/or deteriorated. For example, loose or broken tiles and/or bricks. A qualified contractor should evaluate and make repairs as necessary.

Recommendation

Contact a qualified fireplace contractor.



16.4.1 Liner, Firebricks, Panels

REPAIR, REPLACE BRICKS

Fire bricks in one or more fireplace fireboxes are loose and/or significantly deteriorated or pitted. This is a fire hazard. A qualified chimney service contractor should evaluate and repair as necessary.

Recommendation

Contact a qualified fireplace contractor.

 Safety/Immediate Attention

