



SUMMARY
1234 Main St. Ammon ID 83406
Buyer Name
10/10/2018 9:00AM

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It is recommended that any noted deficiencies be evaluated and repaired by a certified contractor of trade.

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1.1.1 Structure Details

CHANGE LOCKS



High Mark Home Inspection recommends that ALL locks and Security codes be changed before moving into the house.

Recommendation
Recommended DIY Project

2.1.1 General

HIGH MAINTENANCE



One or more roof surface sections were designed so as to be prone to accumulating debris and/or snow. For example, where *two slopes converged / a slope descended to a vertical wall / a steeper slope met a shallow slope / a slope descends to a flat section of roof*. Accumulated debris in these areas can result in leaks. At a minimum, monitor such areas for accumulated debris in the future and clean as necessary. Consult with a qualified contractor to determine what repairs or modifications may be possible to prevent leaks.

Recommendation
Contact a qualified professional.



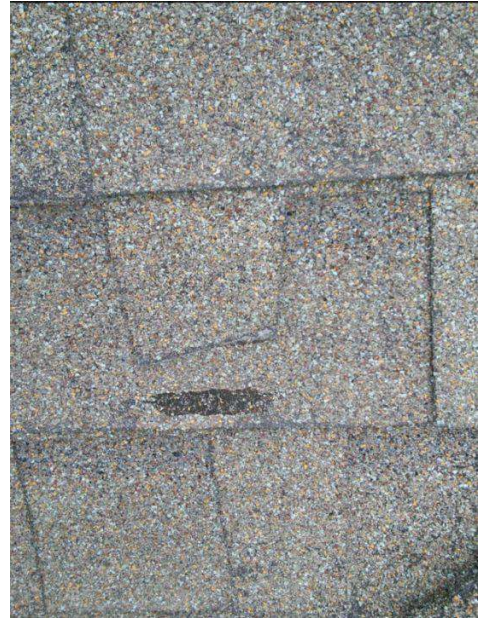
2.1.2 General

TORN SHINGLE



One or more areas were found to have a torn shingle. This will increase the chance of water penetration in those locations resulting in further roof damage. Recommend the shingles be replaced by a qualified roofing contractor.

Recommendation
Contact a qualified professional.



2.2.1 Gutters/drains

OPEN END GUTTER



It is common practice for a builder or rain gutter contractor to install rain gutters that are open at one end and drain directly onto another area of the roof. Installation of this sort causes water to run back onto the the roof and cause the fascia, shingles, tiles or the surface under the covering to deteriorate prematurely and possibly leak. It is recommended to have the end cap installed and a downspout installed to drain into an existing gutter.

Recommendation

Contact a qualified professional.



3.2.1 Driveway, Walkway, Patio

CRACKED PAVERS- SIDEWALK/PATIO



One or more of the sidewalk or patio pavers are chipped or cracked. Any paver with a deficiency should be replaced by a certified contractor to help prevent future deterioration.

Recommendation
Contact a qualified professional.



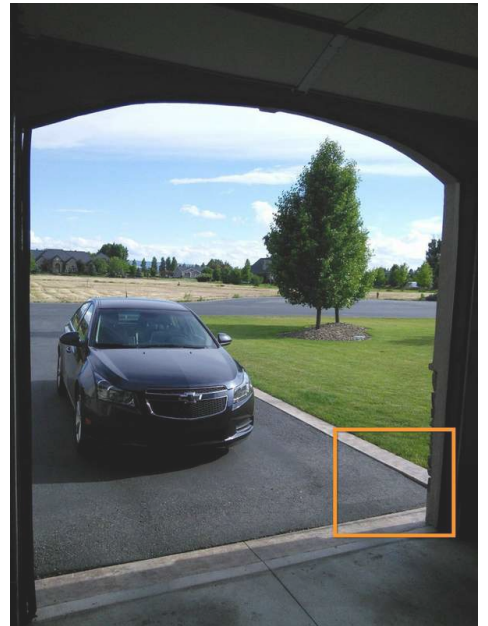
3.2.2 Driveway, Walkway, Patio

SLOPE-DRIVEWAY

Deficiencies

The driveway lacked slope or was sloped down towards the garage or house. This may result in water accumulating in the garage, around building foundations or underneath buildings. Monitor these areas in the future, especially during and after periods of rain. Some type of sealant may need to be applied to keep additional water from penetrating and making the issue worse. If significant amounts of water are found to accumulate, then recommend that a qualified contractor evaluate and repair as necessary. For example, by installing drain(s) or removing and installing new pavement.

Recommendation
Contact a handyman or DIY project



3.2.3 Driveway, Walkway, Patio

PAVER SETTLEMENT-SIDEWALK/PATIO

Deficiencies

Recommendation
Contact a qualified professional.



3.3.1 Exterior issues

EXHAUST VENT DAMAGE

Deficiencies

One or more exhaust duct end caps were *missing / loose / damaged / deteriorated*. Their purpose is to prevent unconditioned air from entering the building, and keep out birds, rodents and bugs. Blocked ducts can cause fan motors and/or clothes dryers to overheat and can pose a fire hazard. Recommend that a qualified person repair or replace covers as necessary.

Recommendation

Contact a qualified professional.



3.3.2 Exterior issues

DOOR- BINDS IN JAMB

Maintenance/Monitor

GARAGE MAN DOOR TO EXTERIOR FROM GARAGE.

One or more doors bind in their jamb and cannot be closed and latched, or are difficult to open and close. A qualified contractor should evaluate and repair as necessary. For example, adjusting jambs or trimming doors.

Recommendation

Contact a handyman or DIY project



3.3.3 Exterior issues

MINOR CEILING CRACK

Maintenance/Monitor

DECK CEILING

Minor cracks were found in ceilings in one or more areas. They do not appear to be a structural concern, but the client(s) may wish to repair these for aesthetic reasons.

Recommendation

Contact a qualified painter.



3.3.4 Exterior issues

LOOSE HOSE BIBB

 Deficiencies

One or more hose bibs weren't anchored securely to the structure's exterior. Water supply pipes can be stressed when hose bibs are turned on and off and when hoses are pulled. Leaks may occur as a result. Recommend that a qualified person install fasteners per standard building practices.

Recommendation

Contact a qualified professional.



3.3.5 Exterior issues

SEALANT DETERIORATED AROUND EXTERIOR FIXTURES

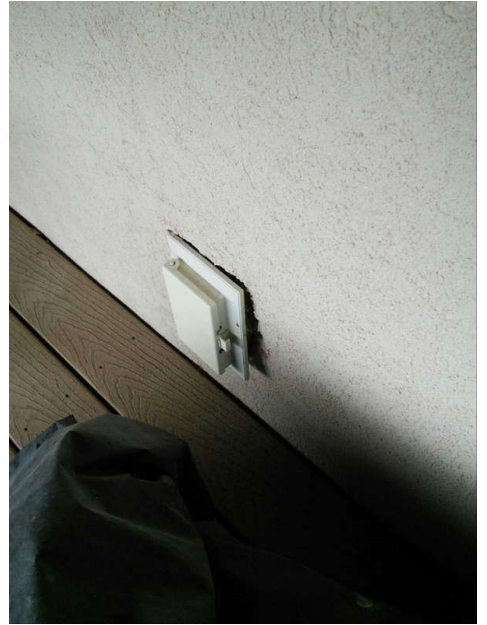
 Maintenance/Monitor

BACK DECK/ALL LOCATIONS SHOULD BE CHECKED

Sealant is deteriorated around exterior fixtures where they exit the wall (i.e. Hose faucets, conduit, lights, wires). These areas should be properly sealed to help prevent moisture intrusion.

Recommendation

Contact a handyman or DIY project



3.3.6 Exterior issues

WOOD DESTROYING ORGANISM EVIDENCE

Deficiencies

At various locations of the exterior of the home there are areas that show past wood destroying organism damage. It is unknown if this activity is current, as High mark Home Inspection is not a pest control company. These areas should be evaluated and treated and repaired as necessary.

Recommendation
Contact a qualified professional.



3.5.1 Windows and Door

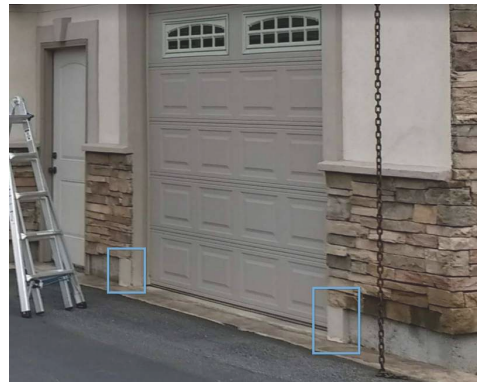
DOOR JAMB ROT

GARAGE DOORS

Maintenance/Monitor

Water penetration was found at one or more *door jambs*. Recommend that a qualified person repair as necessary. All rotten wood should be replaced.

Recommendation
Contact a qualified siding specialist.



3.7.1 Gutters and Flashing

LEAKING GUTTER

BACKYARD DECK BY THE STAIRS

One or more gutters were leaking. Rainwater may come in contact with the building exterior or accumulate around the foundation as a result. Recommend that a qualified person repair as necessary.

Recommendation

Contact a qualified professional.



3.7.2 Gutters and Flashing

NO DOWNSPOUT



There is no downspout installed at the gutter system (In multiple locations). This can cause water to accumulate around the homes foundation and cause soil a erosion. Also standing water could occur as well as low spots around the home. Downspouts should be installed as needed. There are currently chains in the place of downspouts, however to get the water away from the home an actual downspout system would need to be installed. No underground drain system was observed where the chains meet the ground.

Recommendation

Contact a qualified professional.



4.2.1 Floors, Walls, Ceilings

SQUEAKY FLOOR

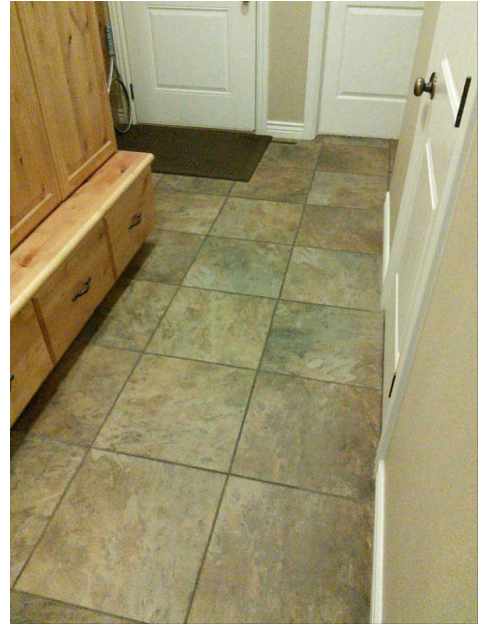
HALLWAY LEADING TO THE GARAGE

While walking on this floor, small noises were coming from it. Upon further investigation the tile appeared to be installed well and no cracks were present. Recommend monitoring the area for future deterioration.

Recommendation

Contact a qualified flooring contractor





4.2.2 Floors, Walls, Ceilings

WALL DAMAGE

There is damage to the drywall under a vanity. It's recommended to have this evaluated and repaired by a certified contractor or handyman.

Recommendation

Contact a qualified drywall contractor.



4.2.3 Floors, Walls, Ceilings

FLOOR - STANDING WATER

BASEMENT ROOM UNDER FRONT PATIO

One or more areas show evidence of standing water. The cause could be a variant of things, however it appears to be coming from the bottom up. It is possible that there is too much moisture being deposited too close to the house. Recommend a qualified professional evaluate and take the necessary steps to correct.

Recommendation

Contact a qualified professional.





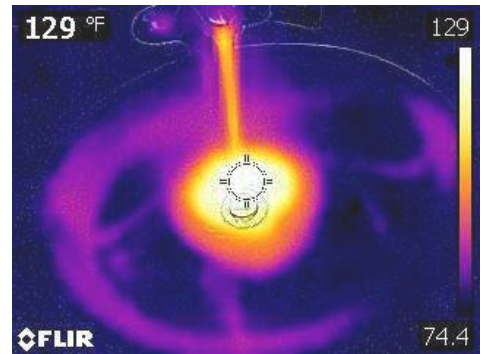
6.1.1 Water Heater

TEMPERATURE >120

The hot water temperature is greater than 120 degrees Fahrenheit. This is a safety hazard due to the risk of scalding. The thermostat should be adjusted so the water temperature doesn't exceed 120 degrees.

Recommendation

Contact a qualified plumbing contractor.



8.3.1 Air Handler

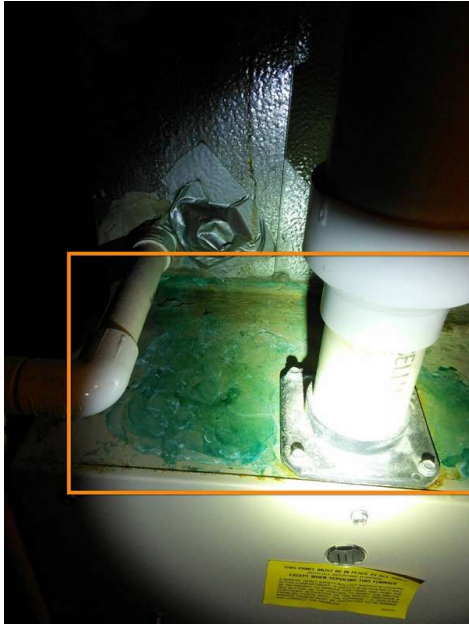
STAINS BELOW MAIN CONDENSATE DRAIN LINE

There were stains below the air handler units main condensate drain line. This would indicate there is a leak somewhere in the system.

Recommendation

Contact a qualified professional.





8.4.1 Duct Work

RETURN AIR IMPEDANCE

BASEMENT BEDROOM CLOSET

Return air grill has some type of blockage present. Recommend blockage be removed by a qualified professional or handy man.

Recommendation

Contact a qualified professional.



11.1.1 Interior-Exterior doors-Windows

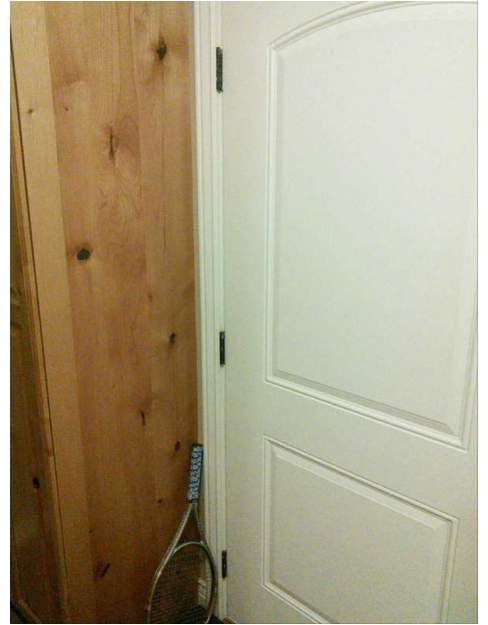
NO SELF-CLOSING

The garage-house door isn't equipped with an automatic closing device such as sprung hinges. This door should close and latch automatically to prevent vehicle fumes from entering living spaces and/or to slow the spread of fire from the garage to living spaces. A qualified contractor should install automatic closing device(s) as necessary, and as per standard building practices, so this door closes and latches automatically.

Recommendation

Contact a qualified door repair/installation contractor.





11.4.1 Vehicle door

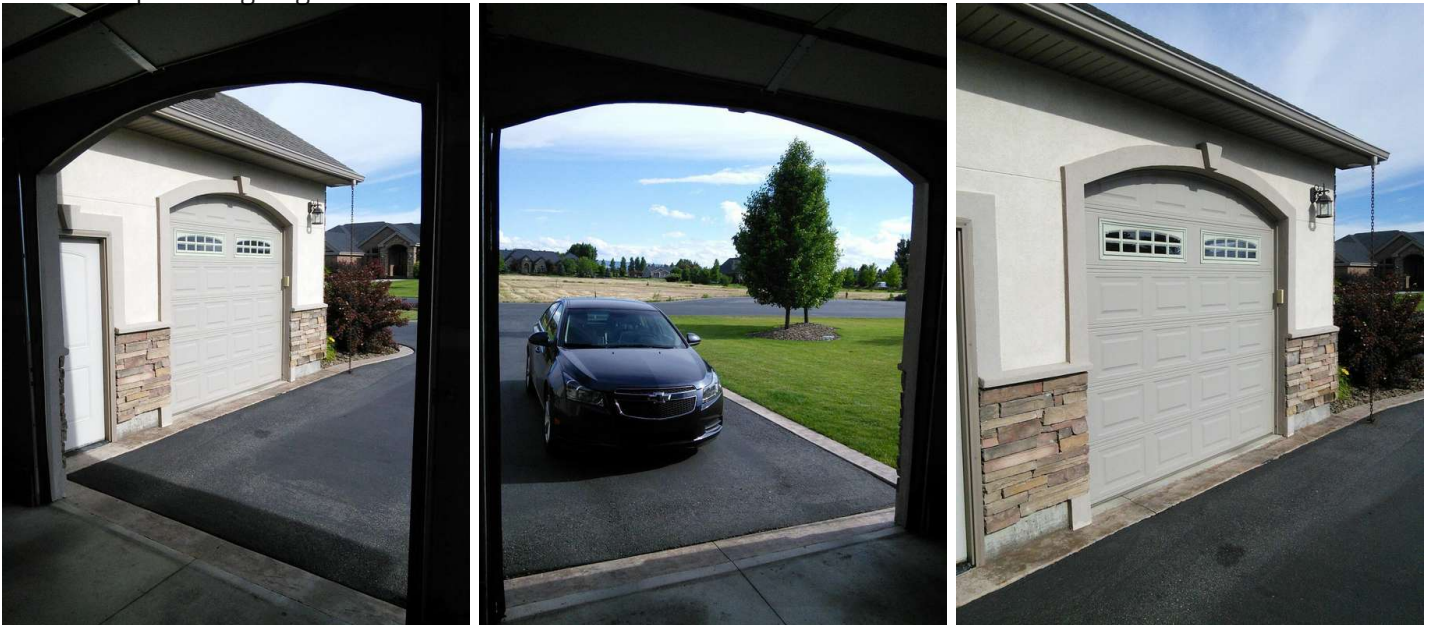
MECHANICAL REVERSE

GARAGE VEHICLE DOORS

The auto-reverse mechanism on the vehicle door opener is inoperable or requires too much force to activate. This is a safety hazard, especially for small children. A qualified contractor should evaluate and repair as necessary.

Recommendation

Contact a qualified garage door contractor.



12.2.1 Attic Hatch

NO WEATHERSTRIP-GARAGE

No weatherstrip is installed around the attic access hatch. Weatherstrip should be installed around the hatch to prevent gases and fumes from the garage from entering attic.

Recommendation

Contact a qualified handyman.



12.2.2 Attic Hatch

NO ACCESS COVER

 Safety/Immediate Attention

There is no attic access cover installed at the attic access opening. The proper cover should be installed at the attic access opening. This could also pose a fire hazard because there is no firewall between the garage and the living space of the house in the attic space.

Recommendation

Contact a qualified professional.

