



2.2.1 Vegetation, Grading, Drainage & Retaining Walls

**NEGATIVE GRADING**

 Defective

Grading is sloping towards the home in some areas. This could lead to water intrusion and foundation issues. Recommend qualified foundation contractor regrade so water flows away from home.

[Here is a helpful article](#) discussing negative grading.

Recommendation

Contact a qualified landscaping contractor



2.4.1 Siding, Flashing & Trim

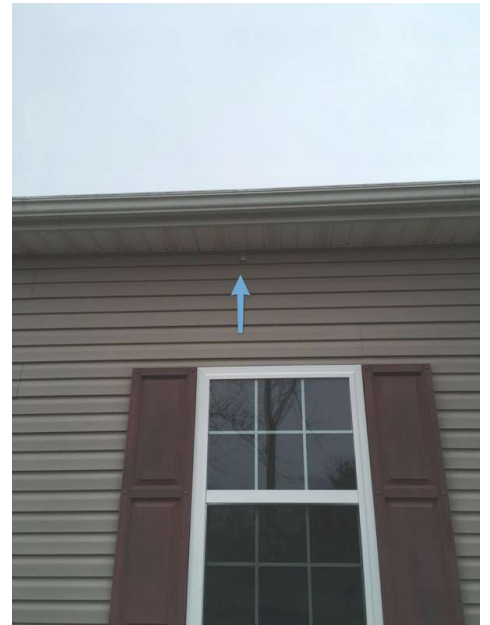
**LOOSE SIDING**

 Maintenance Item

One or more siding boards were loose, which could result in moisture intrusion. Recommend a qualified siding contractor secure and fasten.

Recommendation

Contact a qualified professional.



2.5.1 Soffits & Fascia

**FASCIA - DAMAGED**

 Defective

One or more sections of the fascia are damaged. Recommend qualified roofer evaluate & repair.

Recommendation

Contact a qualified roofing professional.



### 2.7.1 Exterior Doors

## DOOR SILL/TRIM

 Maintenance Item

Door sill and/or trim is loose, deteriorated or worn and repair (painted and caulked) or replacement should be considered.

Recommendation  
Contact a qualified door repair/installation contractor.



### 4.4.1 Exhaust Systems

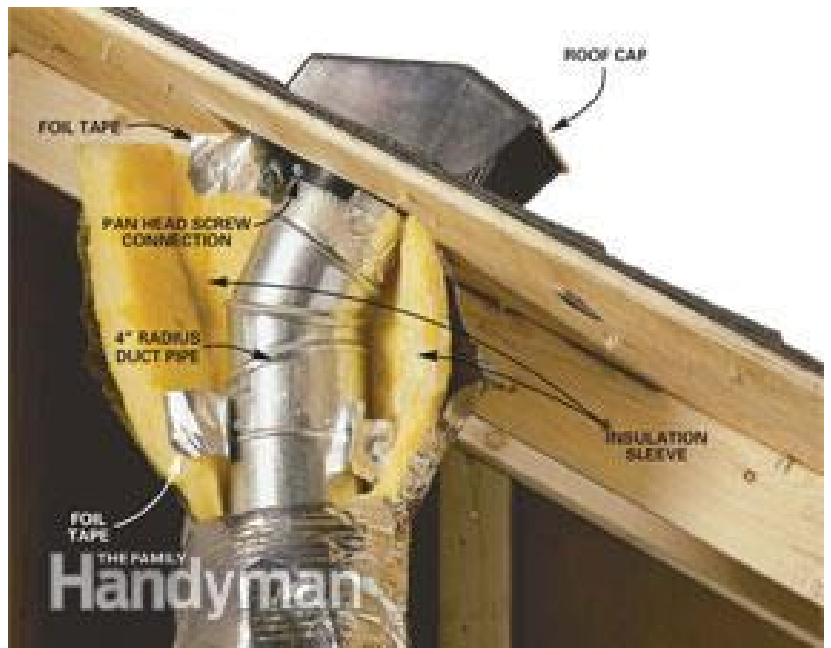
## BATHROOM VENTS INTO ATTIC

### ATTIC

 Defective

Bathroom fans vent into each other. Recommend venting to roof separately, with insulated duct so condensation doesn't occur on the duct which can cause moisture and mold. Recommend a qualified contractor properly install exhaust fan to terminate to the exterior.

Recommendation  
Contact a qualified HVAC professional.



Red To Master Bath : Blue to Second Floor Main

6.3.1 Hot Water Systems, Controls, Flues & Vents

 Maintenance Item

**HIGH TEMPERATURE**

Temperature exceeds 120 Degrees which can cause tissue damage to some people.

Recommendation

Contact a handyman or DIY project



9.7.1 Lighting Fixtures, Switches & Receptacles

### **DAMAGED RECEPTACLE**

Damaged receptacle, recommend replacement.

Recommendation

Contact a qualified professional.



10.7.1 Lighting Fixtures, Switches & Receptacles

### **LOOSE RECEPTACLES**

One or more receptacles were loose in the outlet box. Recommend securing the receptacle by tightening the screws.

Recommendation

Contact a qualified professional.



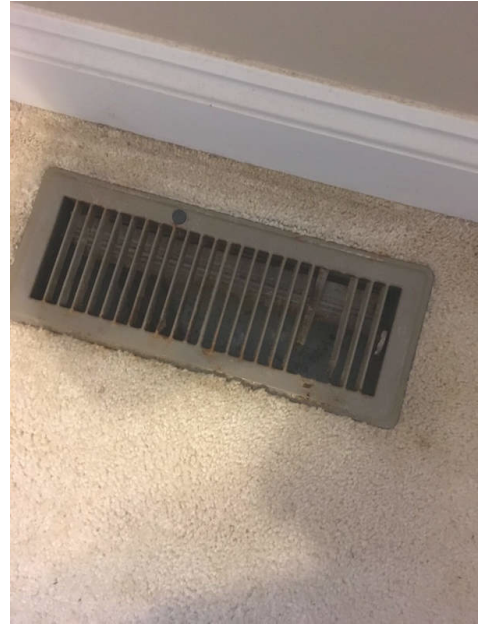
10.10.1 Heating/Cooling Source

### **DAMAGED COVER**

Damaged cover



Recommendation  
Contact a qualified professional.

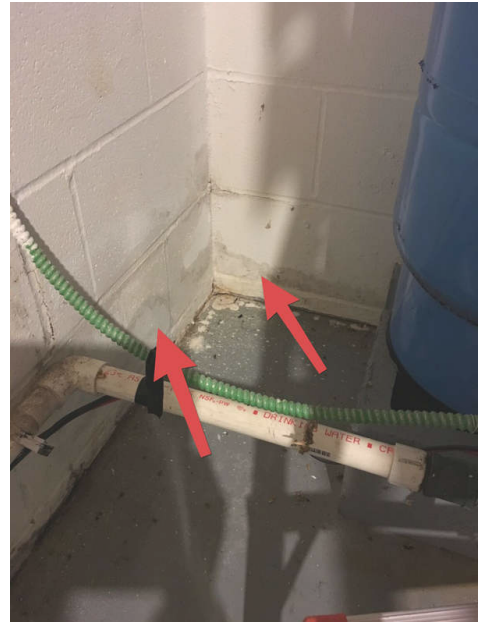


12.4.1 Foundation Wall Structure  
**EVIDENCE OF WATER INTRUSION**

 Defective

Wall structure showed signs of water intrusion, which could lead to more serious structural damage. Recommend a qualified contractor identify source or moisture and remedy. Source most likely the negative grade in rear of house.

Recommendation  
Contact a qualified structural engineer.



12.7.1 Lighting Fixtures, Switches & Receptacles  
**NO GFCI PROTECTION INSTALLED**

 Safety Hazard

No GFCI protection present in all locations. Recommend licensed electrician upgrade by installing ground fault receptacles in all locations.

[Here is a link](#) to read about how GFCI receptacles keep you safe.

Recommendation  
Contact a qualified electrical contractor.



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13.10.1 Countertops & Cabinets

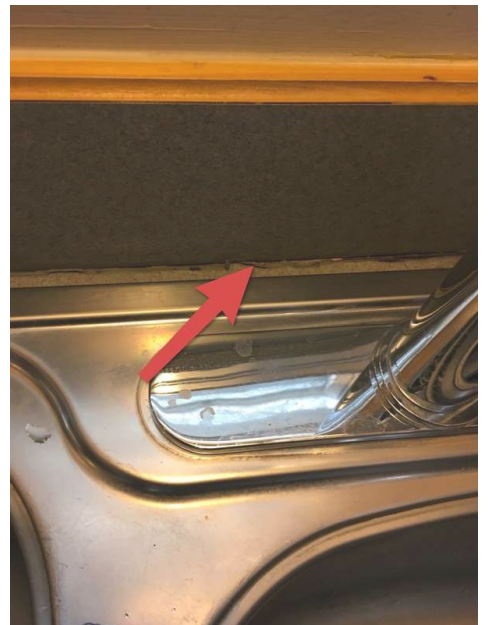
**POOR/MISSING CAULK**

 Maintenance Item

Bathroom countertop was missing sufficient caulk/sealant at the wall. This can lead to water damage. Recommend adding sealant at sides and corners where counters touch walls.

[Here is a helpful DIY video on caulking gaps.](#)

Recommendation  
Recommended DIY Project



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14.2.1 Toilet

**INCOMPLETE FLUSH**

 Maintenance Item

Needs adjusted, have to hold handle for complete flush.

Recommendation  
Contact a qualified professional.

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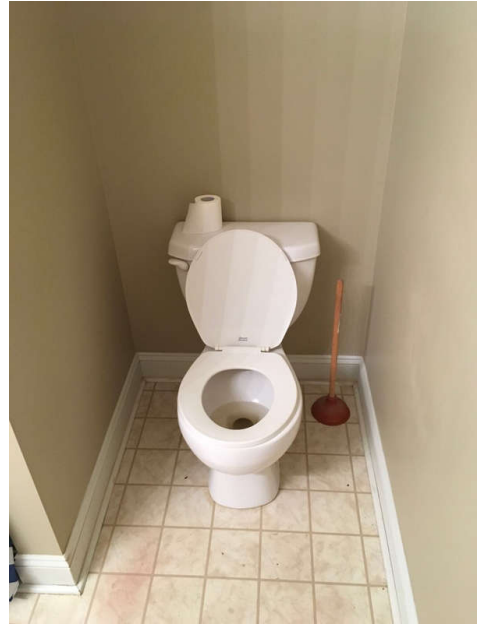
14.2.2 Toilet

**NO TOILET PAPER HOLDER**

 Maintenance Item

No toilet paper holder.

Recommendation  
Contact a qualified professional.



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14.8.1 Ventilation

### **MOISTURE STAINS**

 Maintenance Item

Moisture stains around fan. See "attic exhaust systems" for issue.

Recommendation

Contact a qualified professional.



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15.5.1 Tub

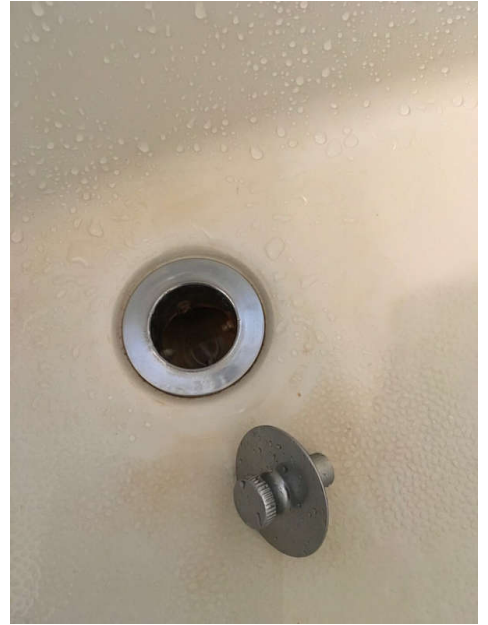
### **DRAIN FIXTURE DAMAGED**

 Maintenance Item

Drain fixture damaged/broken. Recommend replacement for ease of use when stopping up the drain to use the tub.

Recommendation

Contact a qualified professional.



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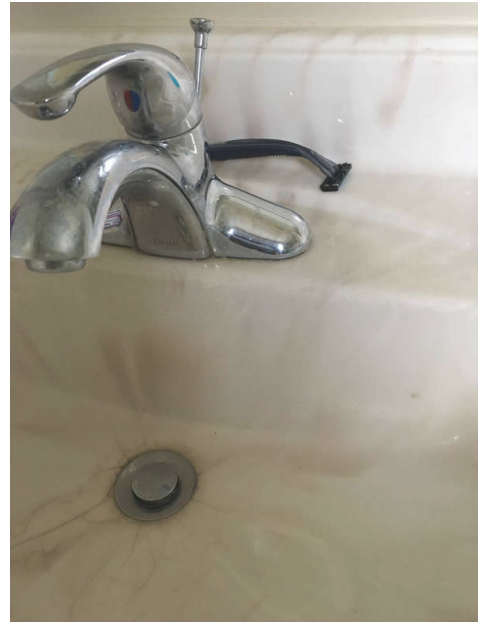
15.6.1 Sink, Trap & Fixtures

**DRAIN STOPPER DOES NOT CLOSE ALL THE WAY**

Drain stopper does not close all the way.

Recommendation

Contact a qualified professional.



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16.1.1 Doors

**DOOR DOESN'T LATCH**

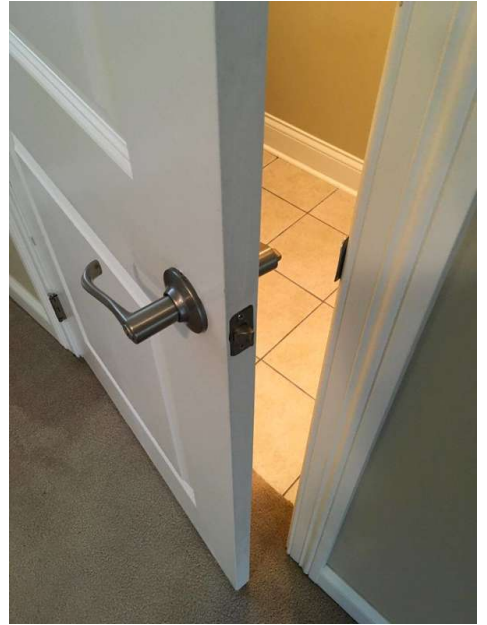
Door doesn't latch properly. Recommend handyman repair latch and/or strike plate.

Recommendation

Contact a qualified handyman.







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16.5.1 Countertops & Cabinets

**CABINET HINGE LOOSE**

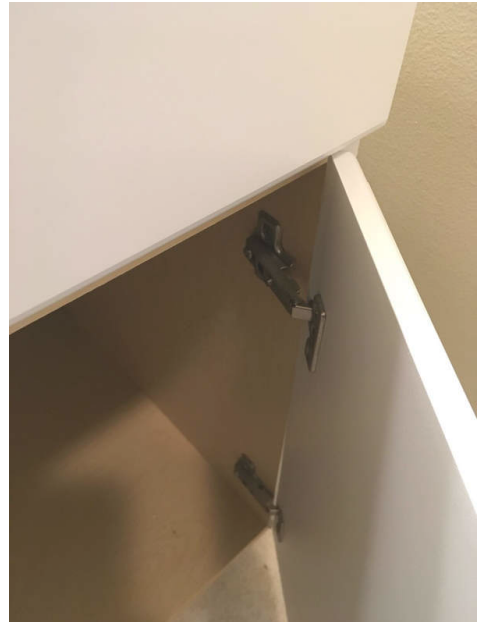


One or more cabinet hinges were loose. Recommend a qualified handyman or cabinet contractor repair.

[Here is a helpful DIY article on cabinet repairs.](#)

Recommendation

Contact a qualified cabinet contractor.



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16.10.1 Walls

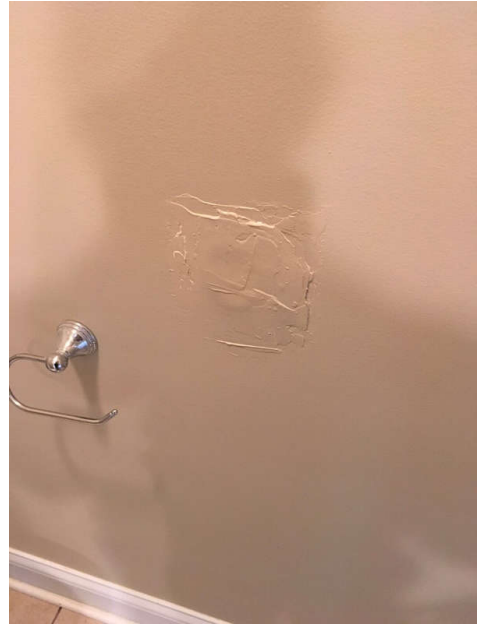
**POOR PATCHING**



Sub-standard drywall patching observed at time of inspection. Recommend re-patching.

Recommendation

Contact a qualified drywall contractor.



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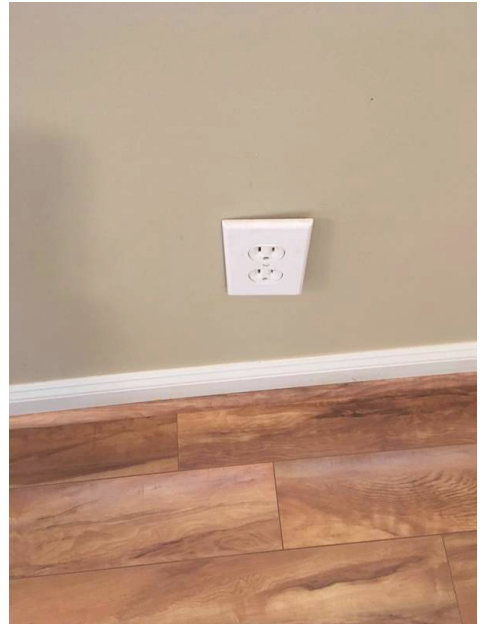
17.6.1 Lighting Fixtures, Switches & Receptacles

 Maintenance Item

**LOOSE RECEPTACLE**

One or more receptacles were loose in the outlet box. Recommend securing the receptacle by tightening the screws.

Recommendation  
Recommended DIY Project



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18.1.1 Doors

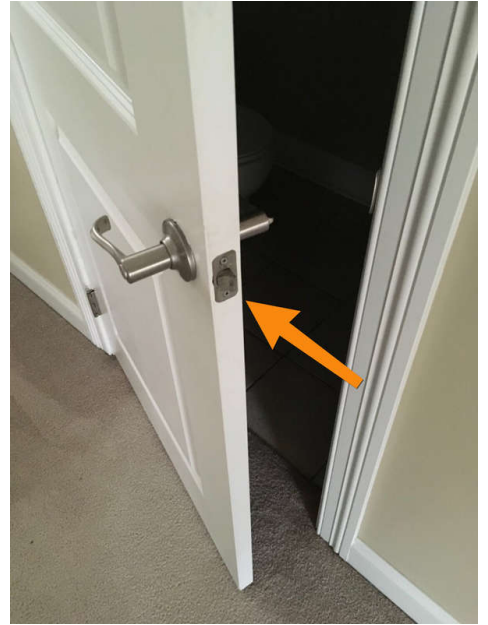
 Maintenance Item

**DOOR DOESN'T LATCH**

HALF BATH

Door doesn't latch properly. Recommend handyman repair latch and/or strike plate.

Recommendation  
Contact a qualified handyman.



18.1.2 Doors

**WATER STAINING**

 Defective

Door shows noticeable water staining, which could lead to further deterioration. Monitor for future repair or replacement.

Recommendation  
Contact a qualified handyman.



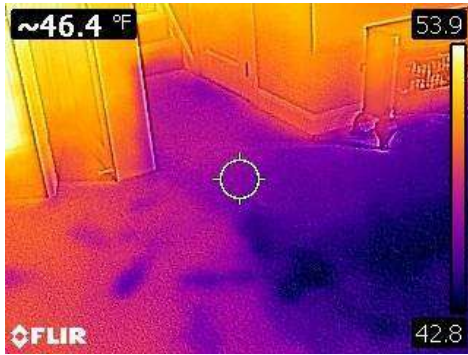
18.3.1 Floors

**MOISTURE DAMAGE**

 Defective

Floors had areas of visible moisture damage. Recommend a qualified flooring contractor evaluate & repair areas of moisture.

Recommendation  
Contact a qualified flooring contractor



#### 18.4.1 Walls

### MOISTURE DAMAGE

 Defective

Stains on the walls visible at the time of the inspection appeared to be the result of moisture intrusion. The source of moisture may have been corrected. Recommend further examination by a qualified contractor to provide confirmation. Can not verify if water damaged drywall and insulation.

#### Recommendation

Contact a qualified professional.



#### 19.3.1 Washer Hook Ups

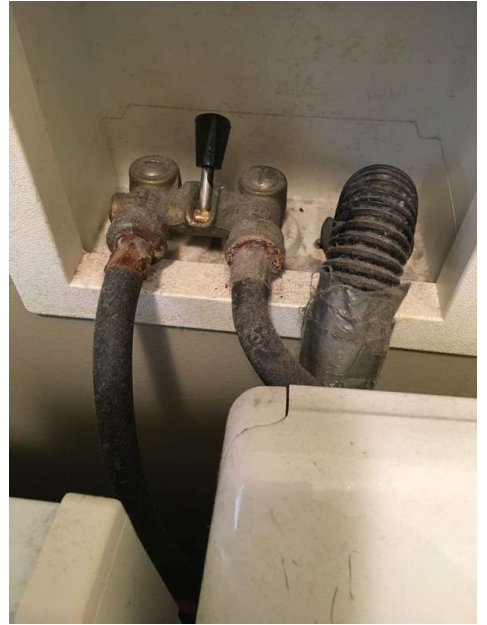
### WASHER HOOK UP TYPE

 Maintenance Item

Hose connections have started to rust, monitor or replace.

#### Recommendation

Contact a qualified professional.



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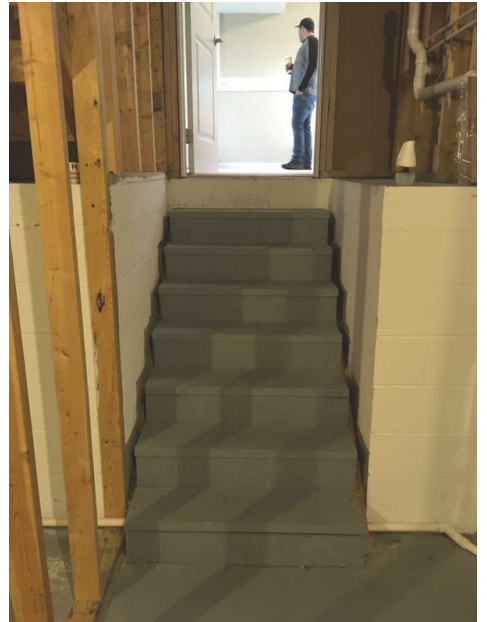
### 20.1.1 Steps, Stairways & Railings

#### **NO HANDRAIL**

Staircase had no handrails. This is a safety hazard. Recommend a qualified handyman install a handrail.

Recommendation

Contact a qualified handyman.



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### 20.1.2 Steps, Stairways & Railings

#### **WATER DAMAGE**

Stair stringers had areas of visible moisture. Recommend a qualified contractor evaluate & remove saturated materials on and around.

Recommendation

Contact a qualified professional.



