

## SUMMARY

1234 Main St. Weaverville NC 28787

Buyer Name  
07/09/2018 9:00AM

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WNC



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This summary page is not the entire report. The complete report may include additional information of interest or concern to you. It is strongly recommended that you promptly read the complete report. For information regarding the negotiability of any item in this report under the real estate purchase contract, contact your North Carolina real estate agent or an attorney.

### 2.5.1 Skylights, Chimneys & Other Roof Penetrations

#### **PAST SKYLIGHT WATER PENETRATION**

MAIN BATHROOM/CENTER ROOF/ATTIC



Monitor Items

There are signs of past moisture penetration at or near one or more skylights as evidenced by skylight caulking on the roof and water stains running down the boxed out sheetrock enclosure in the attic behind the insulation. Moisture penetration into the building envelope can cause structural damage and undesirable environmental conditions. Monitoring is recommended. If signs of moisture penetration appear in the future, a Licensed Roofing Contractor should be consulted for evaluation and repair.

#### Recommendation

Contact a qualified roofing professional.





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### 3.1.1 Wall Cladding, Flashing & Trim

#### **STUCCO CRACKING OF LESS THAN MEASURABLE WIDTH**

 General Recommendations

##### NUMEROUS AREAS

The Stucco has cracking of less than measurable width in one or more places. If the cracks were to widen over time, they could allow moisture penetration into the building envelope, structural damage and undesirable environmental conditions. A Licensed Stucco Contractor should be consulted for further evaluation and repair if deemed necessary.

##### Recommendation

Contact a stucco repair contractor



Under screened in patio

### 3.1.2 Wall Cladding, Flashing & Trim

#### **DETERIORATING TRIM**

##### BASEMENT DOUBLE DOOR TRIM

One or more areas of exterior trim are deteriorating. Deteriorated wood trim can lead to moisture penetration into the building envelope, structural damage, and undesirable environmental conditions. A Licensed General Contractor should be consulted for evaluation and repair.

##### Recommendation

Contact a qualified general contractor.





### 3.1.3 Wall Cladding, Flashing & Trim

#### **SIDING DAMAGED**

FRONT CENTER/LEFT

One or more areas of siding appeared to have been damaged/cut. Damaged siding can allow moisture penetration into the building envelope from wind driven rain, structural damage and undesirable environmental conditions. A Licensed Siding Contractor should be consulted for evaluation and repair.

Recommendation

Contact a qualified siding specialist.

 General Recommendations



### 3.1.4 Wall Cladding, Flashing & Trim

#### **HEAVY CAULKING**

BACK RIGHT NEAR DOORS

There is heavy caulking in one or more places evidencing past moisture penetration. Heavy caulking is not a permanent fix. Moisture penetration into the building envelope can cause structural damage over time and undesirable environmental conditions. A Licensed General Contractor should be consulted for evaluation and repair.

Recommendation

Contact a qualified general contractor.





### 3.1.5 Wall Cladding, Flashing & Trim

## VINYL SIDING DISCOLORATION

RIGHT SIDE MOST PREVALENT

The siding in one or more places shows signs of discoloration. Discoloration of vinyl siding can occur from many causes. A Licensed Siding Contractor should be consulted for evaluation and repair if deemed necessary.

Recommendation  
Contact a qualified siding specialist.

 General Recommendations



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3.5.1 Decks, Balconies, Stoops, Steps, Areaways, Porches, & Railings

 Safety Hazards

### **JOIST HANGERS MISSING OR IMPROPERLY INSTALLED**

BACK

One or more areas of the deck have missing or improperly installed joist hangers, or lack of ledger boards, relying on nail connections only. This could cause the deck to collapse under load. A Licensed Deck Contractor should be consulted for evaluation and repair.

Recommendation

Contact a qualified deck contractor.



3.5.2 Decks, Balconies, Stoops, Steps, Areaways, Porches, & Railings

 Safety Hazards

### **DECK CONNECTION**

BACK

The deck appears to be nailed to the home with no other visible means of attachment. Nails can corrode and fail behind the deck band causing the deck to collapse. Concealed damage to framing and/or siding behind the deck can also result in deck collapse. Unless it can otherwise be demonstrated that the deck attachment to the house is secure, the deck should be directly supported from below or bolted to the house. A Licensed General Contractor or Licensed Structural Engineer should be consulted for a full evaluation of the deck attachment and modify or repair as deemed necessary.

Recommendation

Contact a qualified general contractor.



4.6.1 Foundation, Basement & Crawlspace

 General Recommendations

### **INTERMITTENT EXCESSIVE MOISTURE CONDITIONS**

CRAWLSPACE





There is evidence of intermittent excessive moisture conditions in the crawlspace. Excessive moisture in the crawlspace can lead to undesirable environmental conditions, wood destroying organism growth, structural damage and rusting of metal components of the HVAC systems. A License General Contractor should be consulted for evaluation and repair.

Recommendation

Contact a qualified general contractor.

#### 5.1.1 Doors

### **DOOR DOES NOT LATCH**

MASTER BATHROOM SLIDING DOOR

One or more interior doors do not latch properly. A Door Repair and Installation Contractor should be consulted for evaluation and repair.

Recommendation

Contact a qualified door repair/installation contractor.



General Recommendations



#### 5.2.1 Floors

### **FLOOR NOT INSTALLED TO INDUSTRY STANDARDS**

LOWER LEVEL BATH AND HALLWAY

One or more areas of the flooring are not installed to industry standards with gaps between pieces and overlapping of pieces. A Licensed Flooring Contractor should be consulted for evaluation and repair.

Recommendation

Contact a qualified flooring contractor



General Recommendations



### 5.2.2 Floors

## **LOOSE VINYL TRIM**

### KITCHEN FLOOR

The vinyl trim is loose in one or more places. A Licensed Flooring Contractor should be consulted for evaluation and repair.

#### Recommendation

Contact a qualified flooring contractor





5.2.3 Floors

**TILE NOT INSTALLED TO INDUSTRY STANDARDS**

KITCHEN BACKSPLASH

The tile has not been grouted to industry standards. A Licensed Tile Contractor should be consulted for evaluation and repair.

Recommendation

Contact a qualified tile contractor

 General Recommendations



5.4.1 Ceilings

**LOOSE TAPE**

MASTER BATHROOM

One or more areas of the sheet rock taping are coming loose. A Drywall Contractor should be consulted for evaluation and repair.

Recommendation

Contact a qualified drywall contractor.

 General Recommendations



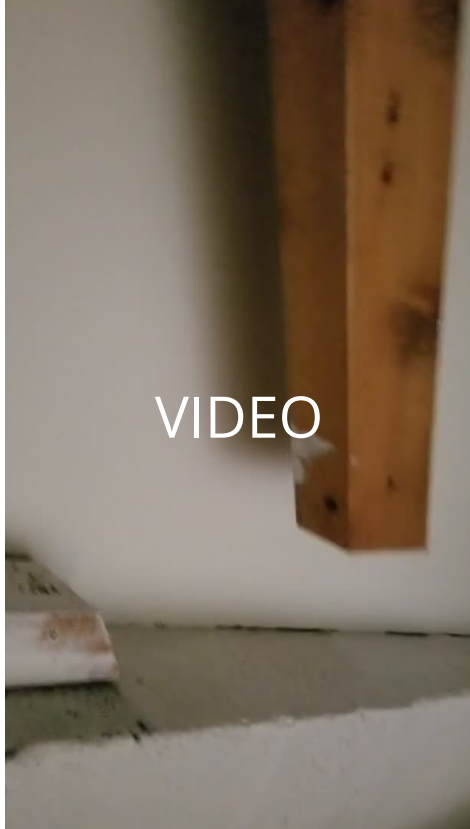
**LOOSE HANDRAIL**

LOWER LEVER STAIRWAY

The stair handrail is loose in one or more places. Loose handrails are a safety hazard and should be repaired as soon as possible. A Licensed General Contractor should be consulted for evaluation and repair.

Recommendation

Contact a qualified general contractor.



**EVIDENCE OF PAST LEAKING**

KITCHEN SINK BASE

There is evidence of past leaking in one or more cabinet sink bases. This may be from a plumbing leak or from leaking bottles that have been stored under the sink. Recommend continued monitoring.

Recommendation

Recommend monitoring.





### 5.6.2 Countertops & Cabinets

#### **CABINET KICK PLATE MISSING**

 General Recommendations

The main bathroom sink cabinet is missing its kick plate. This plate should also have a duct register in it as the HVAC is venting out the front of the cabinet. A Licensed cabinet contractor should be consulted for evaluation and repair.

#### Recommendation

Contact a qualified cabinet contractor.



### 6.1.1 Range(s)/Oven(s)/Cooktop(s)

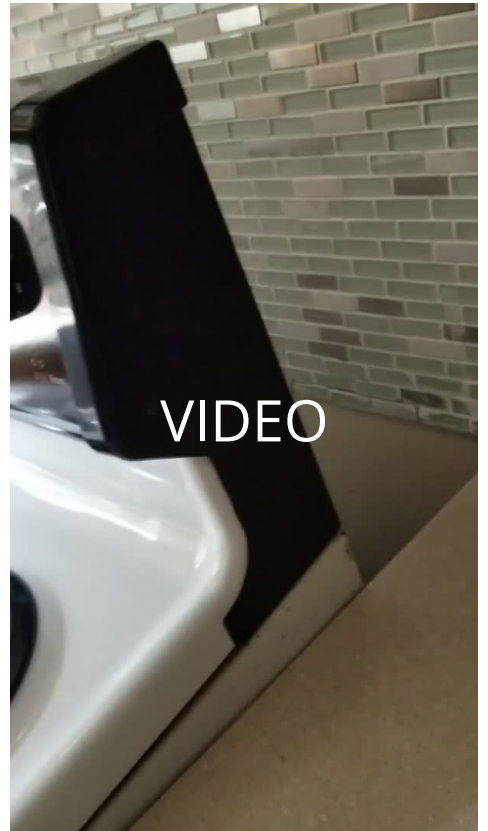
#### **RANGE NOT FASTENED WITH ANI-TILT DEVICE**

 Safety Hazards

The range was not securely fastened to an anti tilt device. This poses a safety hazard, especially to children. A Qualified Professional should be consulted for evaluation and repair or installation of an approved anti tilt device.

#### Recommendation

Contact a qualified professional.



7.4.1 Lighting Fixtures, Switches & Receptacles

General Recommendations

**LIGHT INOPERABLE**

MASTER BATHROOM

One or more lights were not operational at the time of inspection. The light bulb(s) should be replaced and the light fixtures retested. If the light still does not operate, a Licensed Electrical Contractor should be consulted for evaluation and repair.

Recommendation

Contact a qualified electrical contractor.



7.4.2 Lighting Fixtures, Switches & Receptacles

General Recommendations

**LOOSE LIGHT FIXTURE**

LIVING ROOM

One or more can light fixtures are loose in the ceiling. A Licensed Electrical Contractor should be consulted for evaluation and repair.

Recommendation

Contact a qualified electrical contractor.



7.4.3 Lighting Fixtures, Switches & Receptacles

General Recommendations

**INACCESSIBLE LIGHT SWITCH**

FRONT LEFT BASEMENT

The light switch to the front right basement store room is inaccessible since it is located in the area where the HVAC air handler and water heater are located (under the stairs). A chalk board panel must be removed to access the switch to this light as well as the air handler and water heater.

Recommendation

Contact a qualified electrical contractor.



Chalkboard panel must be removed to access light switch as well as the HVAC air handler and water heater.

7.5.1 GFCI Receptacles

**NO GFCI PROTECTION INSTALLED**

LOWER BATHROOM

Safety Hazards

The outlet in the lower bathroom does not appear to be GFCI protected. This is a shock hazard. A Licensed Electrical Contractor should be consulted for evaluation and repair.

Recommendation

Contact a qualified electrical contractor.



#### 7.5.2 GFCI Receptacles

### OUTLET(S) NOT GFCI PROTECTED

KITCHEN LEFT AND RIGHT OF RANGE

This is for your information. One or more outlets within 6 feet of a water source are not GFCI protected. Although this may not have been required at the time of construction, it is now considered standard building practice. Outlets that are not GFCI protected within 6 feet of a water source is considered a shock hazard. A Licensed Electrical Contractor should be consulted for evaluation and repair.

Recommendation

Contact a qualified electrical contractor.



#### 8.2.1 Drain, Waste, & Vent Systems

### LEAKING PIPE

WATER HEATER AREA/BEHIND COUNTER

A drain pipe shows signs of a past leak. This piping does not appear to be connected to anything at this time. If the pipe is put in use in the future, a Licensed Plumbing Contractor should be consulted for evaluation and repair.

Recommendation

Contact a qualified plumbing contractor.







### 8.3.1 Water Supply, Distribution Systems & Fixtures

#### **POLYBUTYLENE DISTRIBUTION LINES**

General Recommendations

This home has a plumbing supply system that uses polybutylene plastic distribution lines and compression band fittings. Even though this plumbing system was installed in many homes from 1978 until mid-1990s, it is no longer an approved plumbing system due to a history of material failures. The failures were related to improper installation, improper handling, improper storage, and plastic deterioration due to chemical reactions with the water supply. Due to the nature of this latent defect, it was not possible to adequately assess the condition of the plumbing system during the home inspection. A Licensed Plumbing Contractor should be consulted for a complete evaluation of the plumbing system to determine the significance of this concern.

#### Recommendation

Contact a qualified plumbing contractor.



### 9.3.1 Kitchen, Bath, & Laundry Venting Systems

#### **BATHROOM VENTILATION FAN NOT PRESENT**

LOWER LEVEL BATHROOM

General Recommendations

There is no ventilation fan in one or more bathrooms without windows. This is not to industry standards. A Licensed General Contractor should be consulted for evaluation and repair.

Recommendation

Contact a qualified general contractor.

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#### 9.4.1 Radon Mitigation Systems

### **RADON MITIGATION SYSTEM IS INSTALLED IN THIS HOME**

 General Recommendations

Similar to a HVAC system, radon mitigation systems require annual maintenance and fan service/replacement every 5 years. The inspection of the mitigation system, including the determination of the functionality and or the effectiveness, is beyond the scope of the home inspection. The homeowner should be asked for more information concerning system warranties and maintenance history. A qualified radon mitigation specialist should be consulted for a complete system evaluation.

Recommendation

Contact a qualified professional.

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