



2.2.1 B. Grading and Drainage
NEGATIVE GRADE



Deficient: Front and right side of home has negative grade towards the home. Industry standards call for a minimum of 6" inch slope away from the foundation in the first 10 feet. Recommend having a landscaping specialist provide further evaluation and establish guidelines for achieving positive drainage in these areas.

Recommendation
Contact a qualified landscaping contractor



2.2.2 B. Grading and Drainage
**GUTTER DOWNSPOUT
DISCONNECTED**



Deficient: Down spout disconnected at bottom of gutter to the right of garage. Have a gutter specialist perform needed repairs.

Recommendation
Contact a qualified gutter contractor



2.3.1 C. Roof Covering Materials

EXCESSIVE DEBRIS



Deficient: Roof covering has excessive amount of debris such as pine needles collecting on the surface. Gutters are being clogged and this can cause rain water to back wash onto fascia and into soffit cavities causing rot and deterioration in these locations. Recommend regular cleaning to prevent water damage from occurring.

Recommendation

Contact a handyman or DIY project



2.4.1 D. Roof Structure & Attic

UN-INSULATED ATTIC COVER



Deficient: Drywall cover for attic opening in master bedroom closet is not insulated and is allowing conditioned air to escape into attic space resulting in higher utility bills. Recommend replacing drywall cover with insulated materials available at the local building supply.

Recommendation

Contact a handyman or DIY project

2.5.1 E. Walls (Interior and Exterior)

SUPPORT POST BASES:



Deficient: Support post on front porch should have metal post bases installed to prevent deterioration and rot from occurring from wood to concrete contact. Recommend having a carpentry specialist perform needed repairs.

Recommendation
Contact a qualified carpenter.



2.5.2 E. Walls (Interior and Exterior)

WALL DAMAGES

 Recommendation

Deficient: Exterior siding has one minor area with damage on the right side of the garage, and the interior wall of the garage has some sheet rock damage. Have a handyman provide needed repairs.

Recommendation
Contact a qualified handyman.



2.7.1 G. Doors (Interior and Exterior)

DOOR ISSUES:

 Recommendation

Deficient: The following issues were discovered regarding doors:

Door into garage from home must be a solid door with no openings. (Existing door has a doggie door installed) This opening is part of a fire rating between the home and the garage. It is also recommended that self-closing hinges be installed to complete this fire rating.

Double door from dining room into study is binding at the top and the latch located on the top of the second door does not catch as intended.

Door to underside of stairwell is binding at the top.

Double door from master bedroom into family room is not latching properly.

Deadbolt on upstairs balcony door not lining up and latching properly.

Door stops are missing in several locations, have these installed to protect wall finishes from the door hardware.

Have a carpenter or a good handyman perform needed repairs.

Recommendation

Contact a qualified carpenter.

2.7.2 G. Doors (Interior and Exterior)

KITCHEN CABINET DRAWERS



Recommendation

Deficient: Several kitchen cabinet drawers are binding/sticking and will need to be adjusted . Have a handyman provide needed repairs.

Recommendation

Contact a qualified handyman.

2.8.1 H. Windows

WINDOW ISSUES:



Recommendation

Deficient: The following issues were discovered with windows:

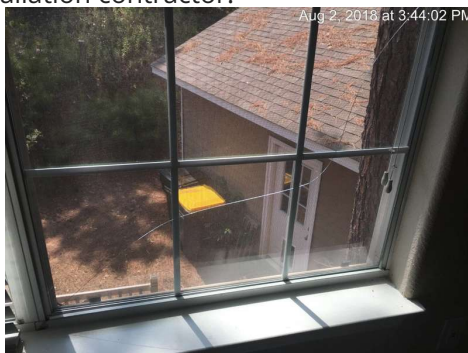
Latches are broken on downstairs front bedroom window.

Upstairs master bedroom window has a broken glass.

Have a window & glass specialist perform needed repairs.

Recommendation

Contact a qualified window repair/installation contractor.



2.11.1 K. Porches, Balconies, Decks, and Carports

LEDGER BOARD



Recommendation

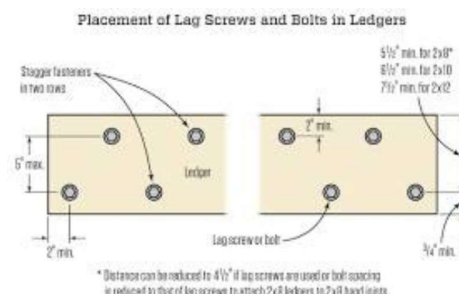
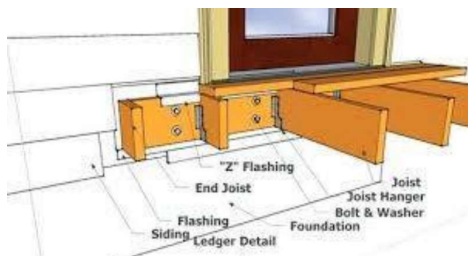
Deficient: Ledger board supporting back balcony deck is required to have specific fasteners installed in a specific pattern. (see attached diagram) Recommend adding wood supports under the outside band joist to add additional stability.

For additional information and instructions regarding deck and balcony construction practices please visit this website:

<http://stonedeks.com/wp-content/uploads/2018/02/DesignForCode.pdf>

Recommendation

Contact a qualified carpenter.



2.11.2 K. Porches, Balconies, Decks, and Carports

FRONT PATIO

Deficient: Front patio area does not have any drains to allow rain water to escape. Recommend having a handyman provide needed repairs.

Recommendation

Contact a qualified handyman.



3.1.1 A. Service Entrance and Panels

SERVICE PANEL ISSUES:

Deficient: The following deficiencies were discovered with the service panels:

Panel located right below meter with the main disconnect is not sealed. There are openings in the bottom of the panel allowing insects such as wasp to build nest inside the panel. This can very easily cause a short and can be very dangerous. Recommend having an electrical specialist perform needed repairs.

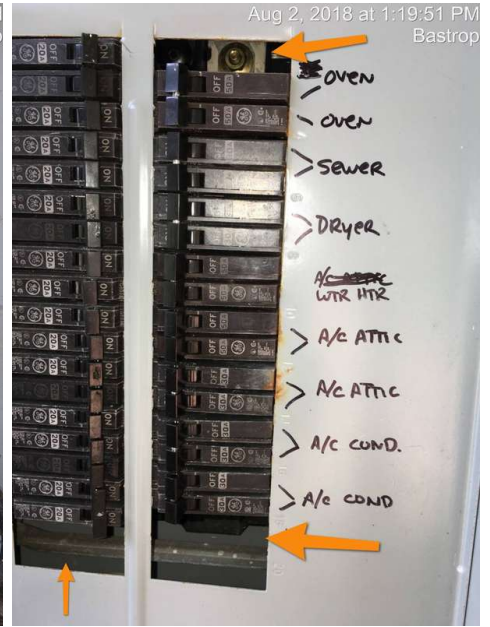
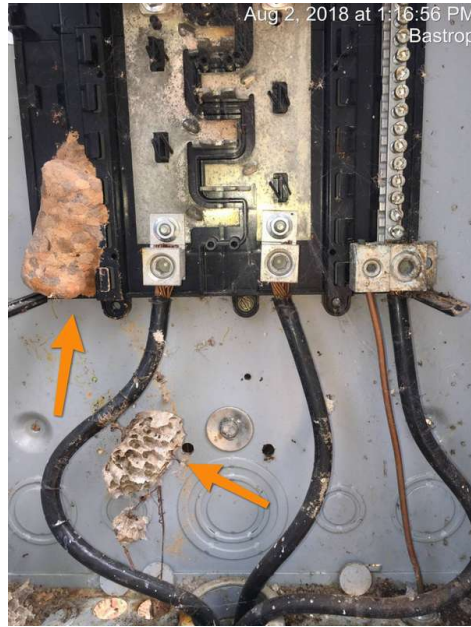
Sub-panel located on exterior of wall does not have the required space in front of the panel to allow for a safe environment when working on the panel. Industry standards call for a minimum of 36" inches in front of the panel with 30" inches free space on either side of the panel. Recommend cutting tree that is obstructing this space back to allow for proper access.

Sub-panel has knock-out covers missing on panel cover to protect live wiring on the inside of the panel. Have an electrical specialist perform needed repairs.

Recommendation

Contact a qualified electrical contractor.





3.2.1 B. Branch Circuits, Connected Devices, and Fixtures

EXPOSED LIGHT BULBS:

Deficient: All exposed light bulbs are required to have a shatterproof globe as protection. Have a handyman provide needed repairs.

Recommendation
Contact a qualified handyman.

 Safety Hazard



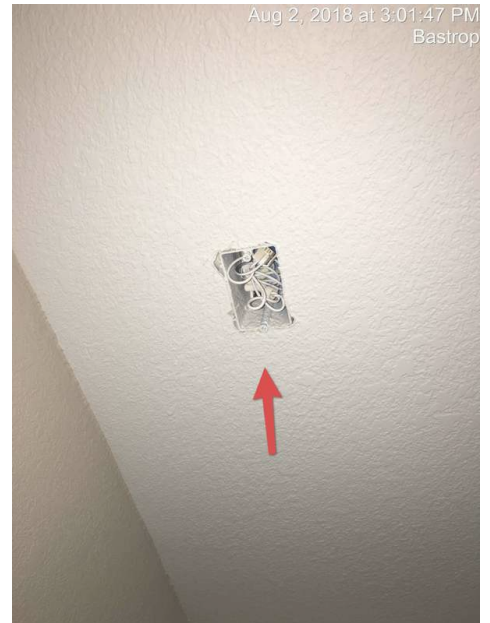
3.2.2 B. Branch Circuits, Connected Devices, and Fixtures

MISSING SMOKE DETECTORS

Deficient: Two bedrooms have missing smoke detectors, hallway outside of bedrooms does not have a smoke detector as required. Have an electrician install all new combination smoke /carbon monoxide detectors as now required.

Recommendation
Contact a qualified electrical contractor.

 Safety Hazard



RECEPTACLE ISSUES:

 Recommendation

Deficient: The following receptacle issues were discovered:

Receptacle in dining room is not fitting tight to the wall as required.

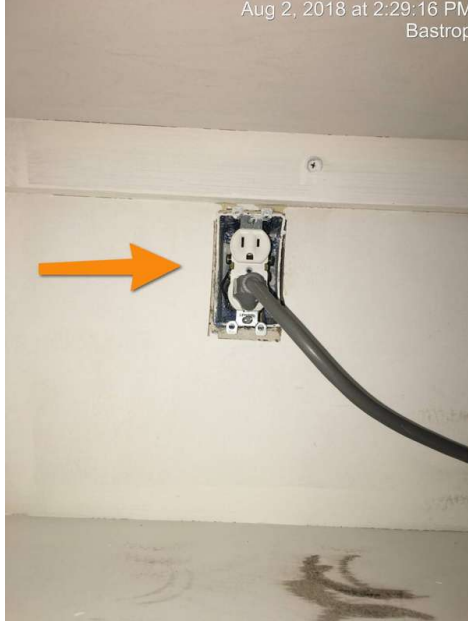
Receptacle in upstairs front bedroom has no power to top plug.

Receptacle cover damaged in upstairs bedroom.

Receptacle cover missing in cabinet above microwave.

Recommendation

Contact a qualified electrical contractor.



4.1.1 A. Heating Equipment

RECOMMEND SERVICING/CLEANING

 Recommendation

Furnace should be cleaned and serviced annually. Recommend a qualified HVAC contractor clean, service and certify furnace.

Here is a resource <https://blackdiamondtoday.com/article/annual-hvac-system-maintenance> on the importance of furnace maintenance.

Recommendation

Contact a qualified HVAC professional.

4.2.1 B. Cooling Equipment

UNIT NOT LEVEL

 Recommendation

Deficient: Concrete pad supporting one of the outdoor condensing units is not level. This can cause accelerated deterioration of components. Recommend licensed HVAC contractor level the unit.

Recommendation

Contact a qualified HVAC professional.



BATHTUB STOPPER

Recommendation

Deficient: Bathtub stopper not closing in hall bathtub. Have a plumbing specialist perform needed repairs.

Recommendation

Contact a qualified plumbing contractor.

TOILET SEAT LOOSE

Recommendation

Deficient: Toilet seat on upstairs front bathroom is not properly secured . Have a handyman provide needed repairs.

Recommendation

Contact a handyman or DIY project

NO CUT-OFF VALVE

Recommendation

Deficient: Cold water supply line for the water heater does not have a cut-off valve at the entrance to the tank as required. Cold water line into water heater should have a cut-off valve to allow water supply to be turned off for service or in an emergency event.

Deficient: Drain line terminations should have a 90 degree turn-down installed that terminated approx. six inches above grade.

Note: It is also recommended that hot water line be insulated.

Have a plumbing specialist perform needed repairs.

Recommendation

Contact a qualified plumbing contractor.



HYDRO-MASSAGE TUB SUPPORT

Safety Hazard

Observation: Determination could not be made if existing second floor framing is sufficient to support hydro-massage tub. I did not see any evidence of modifications being made to structure to provide added support. Recommend having a structural engineer provide further evaluation.

Recommendation

Contact a qualified structural engineer.

6.2.1 B. Food Waste Disposers

NO POWER SUPPLY



Recommendation

Deficient: Disposer is in place with power supply hooked up to it. Have an electrical specialist perform needed repairs.

Recommendation

Contact a qualified electrical contractor.



6.4.1 D. Ranges, Cooktops, and Ovens

ANTI-TIP DEVICE NOT INSTALLED:



Recommendation

Deficient: Stove does not have an anti-tip device installed as required. Have a handyman provide needed repairs.

Recommendation

Contact a handyman or DIY project

6.5.1 E. Microwave Ovens

MICROWAVE DOOR HANDLE



Recommendation

Deficient: Microwave door handle is missing. A replacement may be available through manufacturer.

Recommendation

Contact a qualified professional.

6.6.1 F. Mechanical Exhaust Vents and Bathroom Heaters

IMPROPER VENTING



Recommendation

Deficient: Improper venting practices were noted. All bathroom exhaust fans are terminated into attic space and are required to vented to the exterior of the home. Have a plumbing specialist provide needed repairs.

Recommendation

Contact a qualified plumbing contractor.



6.8.1 H. Dryer Exhaust Systems DRYER VENT EXHAUST DIRTY

Deficient: Dryer vent exhaust pipe is clogged with lint and will need to be cleaned by a professional. Annual cleaning is recommended to prevent build-up of lint.

Here is a link to more information about the hazards of dryer lint:

<https://www.thespruce.com/dryer-vent-lint-fire-hazard-2145839>

Recommendation
Contact a qualified professional.

 Recommendation

