



2.4.1 Walkways, Patios & Driveways

DRIVEWAY CRACKING - MAJOR



Major cracks observed. Recommend concrete contractor evaluate and replace.

Recommendation
Contact a qualified concrete contractor.



2.4.2 Walkways, Patios & Driveways

DRIVEWAY CRACKING - MINOR



There are cracks that are typical for this age driveway. Repair as needed.

Recommendation
Contact a qualified concrete contractor.

2.6.1 Eaves, Soffits & Fascia

OPEN SOFFIT VENTS



There are soffit vent screens that are open to the attic. This may allow pests to enter the attic space. Repair to prevent this from happening.



3.4.1 Hot Water Systems, Controls, Flues & Vents

PAST LIFE



The water heater in this house is very old and past its expected life span. This may stop working at any time. Monitor and replace as needed.

Recommendation

Contact a qualified plumbing contractor.

4.2.1 Roof Drainage Systems (Gutters)

DEBRIS

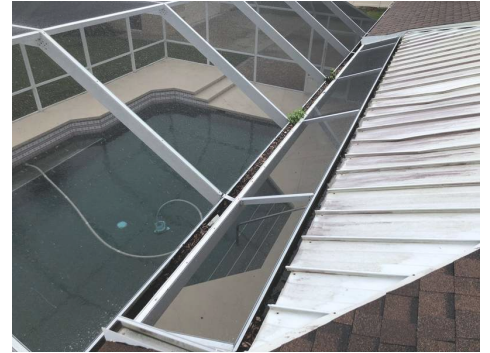
SEVERAL AREAS

Debris has accumulated in the gutters. I recommend cleaning to facilitate water flow.

[Here is a DIY resource](#) for cleaning your gutters.

Recommendation

Contact a qualified roofing professional.



5.2.1 Main & Subpanels, Service & Grounding, Main Overcurrent Device

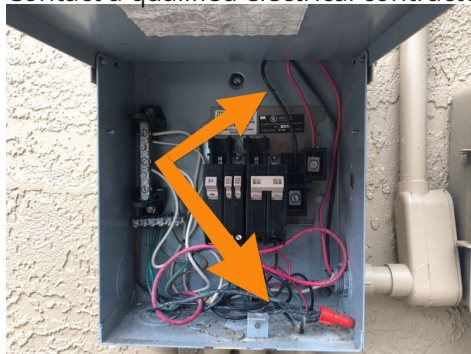
STRIPPED INSULATION

SUB PANEL 2

There are wires that have insulation that is stripped past where they should be. This can allow these wires to short out easier and therefore should be repaired by a licensed electrician.

Recommendation

Contact a qualified electrical contractor.



5.4.1 Lighting Fixtures, Switches & Receptacles

FAN TOO CLOSE TO DOOR

POOL DECK

And there is a ceiling fan that is very close to her door when the door is opened. Consider raising this fan to prevent damage.

Recommendation

Contact a qualified electrical contractor.



5.5.1 GFCI & AFCI

NO AFCI PROTECTION INSTALLED - OLDER HOUSE



This house was built before AFCI outlets were required and therefore, these types of outlets are not installed. These are outlets that sense an arc in them and shut down if this is sensed. Adding these will increase the safety of the home.

7.1.1 Cooling Equipment

OLD SYSTEM

 Safety/Expensive Item

The air conditioning system is older and at or past the end of its expected life span. I recommend a licensed HVAC contractor service and re-evaluate the system prior to the end of your inspection contingency to be sure there are no hidden surprises after closing.

Recommendation

Contact a qualified HVAC professional.

8.3.1 Floors

LOOSE CARPET

 Observations

EXERCISE ROOM

There are areas of loose carpet. Repair as needed.

Recommendation

Contact a qualified flooring contractor

8.5.1 Ceilings

SAGGING DRYWALL

 Observations

POOL DECK

Ceiling drywall sagged visibly at the time of the inspection. This appears to be due to leakage from above. The source of moisture intrusion should be identified and corrected, and the damaged section of drywall replaced.

Recommendation

Contact a qualified drywall contractor.



13.2.1 Body, Deck, Copings

MISSING DECK TILE

 Observations

There are tile(s) missing on the pool deck. Repair/replace as needed.

13.4.1 Pumps, Filter, Skimmer

SALT CHLORINE GENERATOR HAS ERROR



This is a saltwater pool. This uses salt and a chlorine generator to convert that salt into chlorine. There is a control box associated with this chlorine generator, and it has an error message on it. This should be reevaluated by a pool repair person and repaired as needed. There was a report from a company that services this pool that said that this was working properly. I suggest having a different company look at this so that you get an unbiased opinion of this.



Recommendation

Contact a qualified Swimming Pool Contractor

13.5.1 Electrical

LIGHT INOPERABLE



The underwater pool light was inoperable. Bulb(s) may be burned out or repairs may be needed. A qualified pool contractor/electrician should evaluate and repair.

13.6.1 Heater

CONTROLS DAMAGED/DETERIORATED



The controls on the front of the heater or difficult to read. I recommend repair in order to be able to read this and know what the controls are reading.

