



## SUMMARY

1234 Main St. Vancouver WA 98663

Buyer Name  
07/12/2019 9:00AM

Will Graff



WA#1877|SPI#94289|OR#2099|CCB#218377

Northbank Home Inspection

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### 2.1.1 Coverings

## MULTIPLE LAYERS OF SHINGLES



Maintenance/Monitor Item

### ROOF

More than one layer of asphalt shingles was observed. This new layer of shingles may not last as long as single, new layer and it could void any warranty that came with the new shingles. Additionally, the original underlayment may fail before the latest layer. Recommend monitoring.

#### Recommendation

Contact a qualified roofing professional.



### 2.1.2 Coverings

## MOSS



Maintenance/Monitor Item

### ROOF

Moss was observed growing on portions of the roof. Moss can accelerate the deterioration of roof covering materials, lift shingles and lead to moisture intrusion. Leaks may result. Additionally, moss is a conducive condition for wood-destroying organisms. Recommend removal with a product such as, Moss Out, applied seasonally. Do not remove with a pressure washer, as this will dramatically shorten the life expectancy of the roof.

Here's a [helpful article on roof moss](#).

#### Recommendation

Contact a qualified professional.



### 2.1.3 Coverings

## COVERINGS DARKENED



### NEAR ROOF VENTS

Roof covering showed signs of darkening around roof vents. This is cosmetic and typically the result of excessive attic heat. Attic heat is largely driven by the color of the roof coverings - darker absorbs heat; lighter reflects heat. Recommend monitoring and evaluation by a qualified roofing contractor, if necessary.

#### Recommendation

Recommend monitoring.



### 2.2.1 Roof Drainage Systems

## DEBRIS



### BACK ROOF

Debris has accumulated in the gutters. Clogged gutters can overflow and cause water to drain near the foundation, increasing the chance of siding and foundation damage. Recommend cleaning to facilitate water flow.

[Here is a DIY resource](#) for cleaning your gutters.

#### Recommendation

Contact a qualified roofing professional.



### 2.2.2 Roof Drainage Systems

## DOWNSPOUTS DRAIN NEAR HOUSE



### FRONT PORCH

One or more downspouts drain too close to the home's foundation. This can result in excessive moisture in the soil at the foundation, which can lead to foundation/structural damage from soil movement. Recommend a qualified professional adjust downspout extensions to drain at least 6 feet from the foundation.

[Here is a helpful DIY link](#) and video on draining water flow away from your house.

#### Recommendation

Contact a qualified roofing professional.



### 2.2.3 Roof Drainage Systems

## UNDERGROUND STORM DRAINS



### MULTIPLE LOCATIONS

The roof drainage systems are connected to drains underground and I cannot verify if the discharge is an appropriate distance away from the foundation or if the drain lines are compromised. The minimum distance water should be diverted away from the foundation is 6 feet. Recommend monitoring.

Recommendation  
Contact a qualified general contractor.



### 2.3.1 Flashings

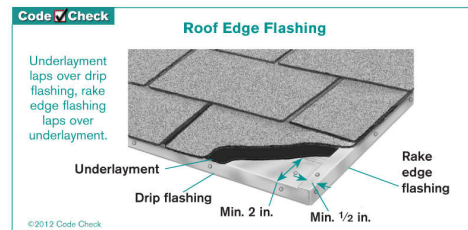
## MISSING DRIP AND RAKE EDGE FLASHING

ALL

Adequate drip and rake edge flashings were not installed at the time of inspection. These flashings help shed water and protect fascia and trim from water damage. Recommend a qualified roofing professional repair.

Recommendation  
Contact a qualified roofing professional.

 Maintenance/Monitor Item



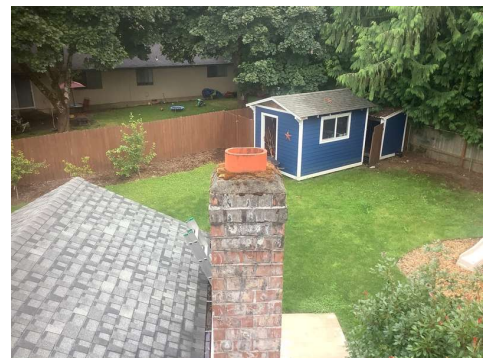
### 2.4.1 Chimneys, Skylights, & Other Roof Penetrations

## CHIMNEY CAP MISSING

CHIMNEY

No chimney cap was observed. This is important to protect from moisture intrusion, pests, and protect the chimney. Additionally, the chimney should be equipped with a spark arrestor, which protects against errant fireplace embers that may start fires after drifting out of the chimney. Recommend a qualified roofer or chimney expert install.

 General Repair Item



[Read more about chimney caps and crowns here.](#)

Recommendation  
Contact a qualified roofing professional.

**PLUMBING VENT COMPRESSED**

BACK RIGHT ABOVE GARAGE, BACK UPPER ROOF

Plumbing vent and boot is installed in a substandard manner -- the gasket is compressed. This could create gaps that can allow moisture to enter or lead to gasket damage. Recommend a qualified contractor repair.

Recommendation

Contact a qualified roofing professional.



**CHIMNEY NEEDS MAINTENANCE**

CHIMNEY

The chimney is in need of maintenance -- moss and cracks were observed. If not maintained, additional deterioration may result, which could lead to leaks. Recommend a qualified contractor repaired.

Recommendation

Contact a qualified chimney contractor.



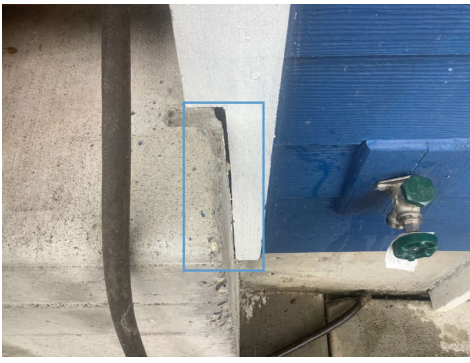
**SEALANT DETERIORATED**

FRONT

The siding sealant is deteriorated in one or more areas. This can allow water intrusion, which could lead to underlying wall component damage. Recommend a qualified contractor repair sealant or install flashing in these areas.

Recommendation

Contact a qualified siding specialist.



### 3.1.2 Siding, Flashing & Trim

## MISSING FLASHING

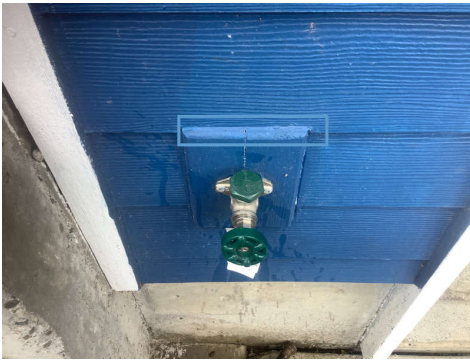
FIXTURES, BACK PATIO

 Maintenance/Monitor Item

Flashing is not installed where its needed. This can allow water to damage the siding, windows, fixtures, or other components, and lead to multiple issues, including rot of wooden components. Appropriate flashings can help extend the life of building components. Recommend a qualified contractor install flashing where needed.

Recommendation

Contact a qualified siding specialist.



### 3.1.3 Siding, Flashing & Trim

## TRIM NEEDS PAINTING

BACK LOWER ROOF

 Maintenance/Monitor Item

Trim around the home has deteriorated paint. This can expose it to water damage, which can lead to rot. Recommend a qualified painter paint trim around the home.

Recommendation

Contact a qualified painting contractor.



### 3.1.4 Siding, Flashing & Trim

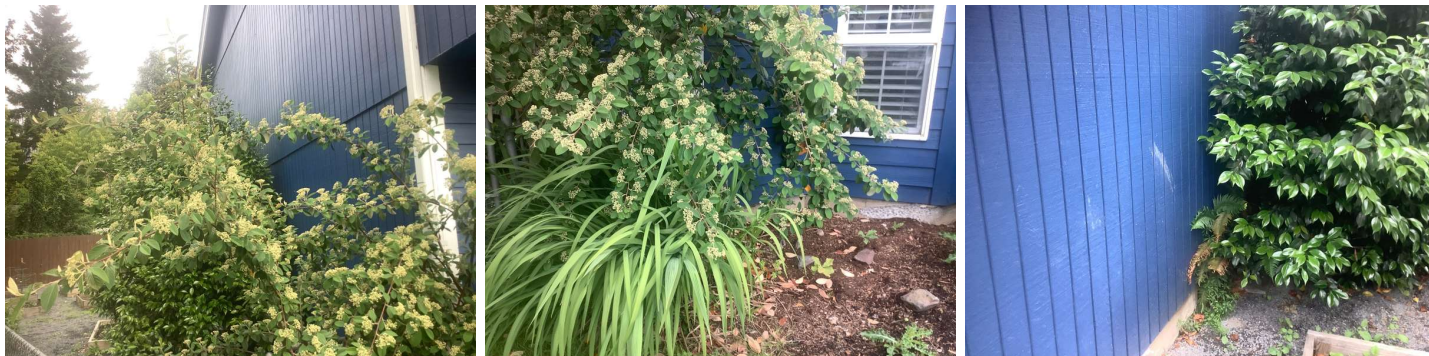
## VEGETATION

LEFT SIDE

 Maintenance/Monitor Item

Vegetation was in contact with the exterior siding. This condition allows moisture to wick into wooden components or beneath siding, which may lead to moisture damage to structural members behind the siding in time. Additionally, it also provides an avenue into the home for wood-destroying organisms. Recommend trimming or removing vegetation in contact with the siding by a qualified and licensed landscaper.

Recommendation  
Contact a qualified landscaping contractor



### 3.1.5 Siding, Flashing & Trim

## **WINDOW EXTERIOR SEAL CRACK**

MULTIPLE LOCATIONS

The sealant around the windows in one or more areas is cracked or deteriorated. This can lead to moisture intrusion. Recommend a qualified contractor repair.

Recommendation  
Contact a qualified handyman.

 Maintenance/Monitor Item



### 3.1.6 Siding, Flashing & Trim

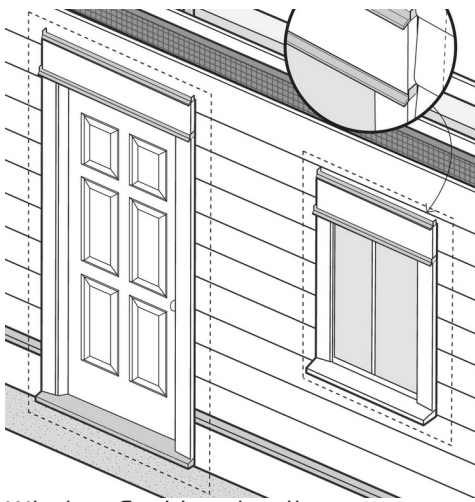
## **WINDOW/DOOR HEAD FLASHING**

WINDOWS, SIDE GARAGE DOOR

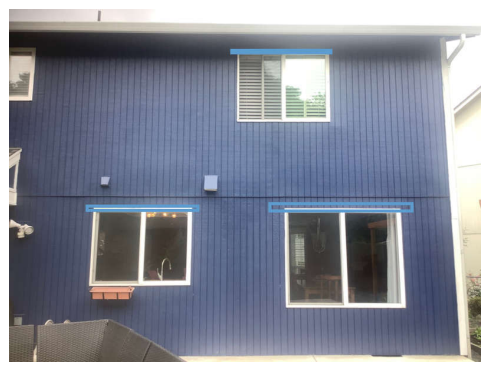
Windows and/or doors in one or more areas are missing flashing. This can lead to water intrusion and damage if exterior seals fail. Windows and doors should have flashing installed above them to help shed water. This is a modern building standard. Recommend monitoring and maintaining sealant or installation of flashing by a qualified contractor if needed.

Recommendation  
Contact a qualified siding specialist.

 Maintenance/Monitor Item



Window flashing detail

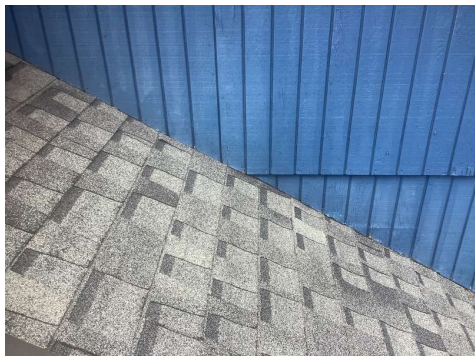


### 3.1.7 Siding, Flashing & Trim **SIDING ROOF CLEARANCE**

 Maintenance/Monitor Item

Siding is near or touching roof coverings. Without a larger clearance, rain water can wick up into siding and cause damage. This may lead to siding deterioration and rot. Recommend a qualified contractor repair.

Recommendation  
Contact a qualified siding specialist.



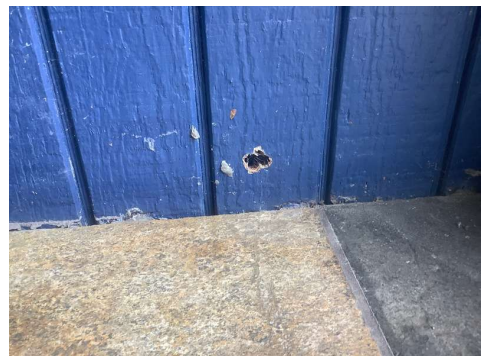
### 3.1.8 Siding, Flashing & Trim **SIDING/TRIM GAPS**

 Maintenance/Monitor Item

BACK PATIO

Gaps in the siding and trim were observed. This can allow moisture and pest intrusion. Gaps should be sealed appropriately with sealant or flashing. Recommend a qualified contractor repair.

Recommendation  
Contact a qualified handyman.



3.1.9 Siding, Flashing & Trim

**SIDING PENETRATION NOT SEALED**

BACK HOSE BIB

 Maintenance/Monitor Item

Siding penetrations are not sealed or flashed properly in one or more areas. This can lead to water intrusion, which can potentially cause damage, including rot, of siding and framing components. Recommend a qualified contractor repair with appropriate sealant and/or flashing.

Recommendation

Contact a qualified siding specialist.



3.1.10 Siding, Flashing & Trim

**TRIM GROUND CLEARANCE**

FRONT POSTS, GARAGE DOOR, SIDE GARAGE DOOR, BACK PATIO

 Maintenance/Monitor Item

Trim in one or more areas does not have enough clearance from the ground. Trim should be a minimum of 1-2 inches above hardscape, ie concrete, or 6-8 inches above soil to prevent water wicking up into the trim and causing damaged. Recommend a qualified contractor repair.

Recommendation

Contact a qualified handyman.







3.2.1 Exterior Doors

**PET DOOR INADEQUATE**

BACK LIVING ROOM

The pet door does not appear to be equipped with a weather door. This can be a significant source of energy loss. Recommend a qualified contractor evaluate and repair.

Recommendation

Contact a handyman or DIY project

 Maintenance/Monitor Item



3.2.2 Exterior Doors

**DOOR NEEDS ADJUSTMENT**

SIDE GARAGE DOOR

An exterior door and trim are not properly aligned and need adjustment - the door does not close and gaps near the trim are present. Recommend a qualified millworks contractor repair.

Recommendation

Contact a qualified door repair/installation contractor.

 General Repair Item



3.3.1 Walkways, Patios & Driveways

 Maintenance/Monitor Item

**DRIVEWAY CRACKING**

DRIVEWAY

Cracks were observed in the driveway. These cracks are typical of settling concrete of this age. Recommend monitoring for widening cracks this -- could indicate more serious soil movement -- and patch or seal, if needed, by a qualified contractor.

Recommendation

Contact a qualified concrete contractor.



3.3.2 Walkways, Patios & Driveways

 Maintenance/Monitor Item

**WALKWAY CRACKING - LARGE**

FRONT RIGHT

Large cracks and damage were observed on portions of the exterior walkways. These cracks could be related to inadequate site drainage in this area, which can lead to settling and damage. Recommend concrete contractor evaluate and correct to prevent trip hazard and preserve appearance.

Recommendation

Contact a qualified concrete contractor.



3.4.1 Decks, Balconies, Porches & Steps

 Maintenance/Monitor Item

**GRASPABLE HANDRAIL**

FRONT EXTERIOR STAIRS

One or more exterior stairways do not have a graspable handrail. Stairways having four or more risers or rising more than 30 inches (76 cm), whichever is less, should be equipped with a graspable handrail, according to Washington state guidelines. Recommend installation of appropriate railing by a qualified contractor. Consider your own needs and safety requirements when deciding whether upgrading to these modern standards is necessary for your family.

Recommendation

Contact a qualified general contractor.



3.4.2 Decks, Balconies, Porches & Steps

 Maintenance/Monitor Item

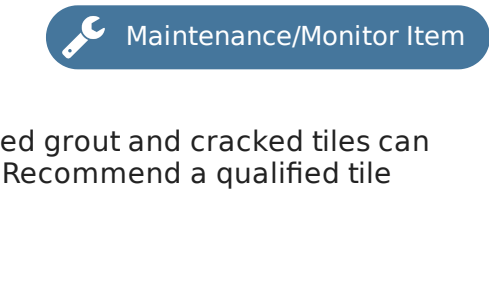
**TILE NEEDS MAINTENANCE**

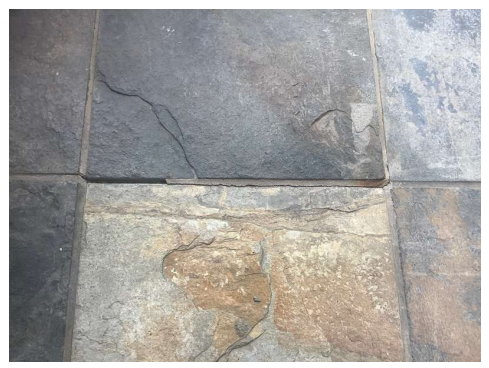
BACK PATIO

Exterior tile and grout is damaged and in need of repair. Deteriorated grout and cracked tiles can allow moisture beneath the tile, which can lead to further damage. Recommend a qualified tile contractor evaluate and repair.

Recommendation

Contact a qualified tile contractor





3.5.1 Eaves, Soffits & Fascia

**FASCIA PAINT DETERIORATED**

MULTIPLE LOCATIONS

Fascia paint is deteriorated. Deteriorated paint can allow fascia to become damaged and susceptible to rot. Recommend a qualified contractor repair.

Recommendation

Contact a qualified painting contractor.



3.6.1 Vegetation, Grading, Drainage & Retaining Walls

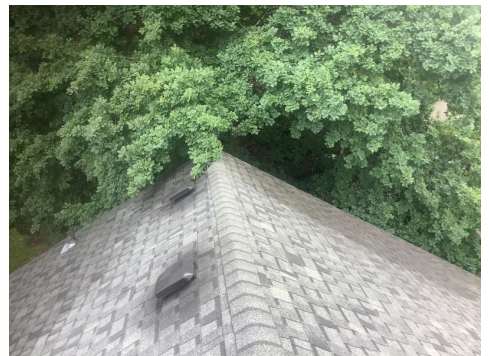
**TREE OVERHANG**

RIGHT SIDE

Trees observed overhanging the roof. This can cause damage to the roof and prevent proper drainage from clogged gutters. Additionally, tree overhang can allow access to the roof for pests. Recommend a qualified tree service trim as needed.

Recommendation

Contact a qualified tree service company.



### GATE SAGGING

BACKYARD

 Maintenance/Monitor Item



Gate is sagging. This can affect its function. Recommend a qualified contractor install tension device to repair.

[Heres a helpful link on repairing a sagging gate.](#)

Recommendation

Contact a handyman or DIY project

### FOUNDATION CRACKS - MINOR

NEAR CONDENSING UNIT, NEAR CRAWLSPACE ACCESS

 Maintenance/Monitor Item

Minor cracking was noted at the foundation. This is common as concrete ages -- shrinkage surface cracks are normal. Cracks should not exceed more than 1/4 inch in width, which may indicate more significant settling. Recommend monitoring for more serious shifting/displacement and having a qualified contractor seal cracks to prevent moisture intrusion.

[Here is an article](#) on identifying common issues with minor and serious foundation cracks.

Recommendation

Recommend monitoring.



### EFFLORESCENCE

LEFT SIDE, BACK

 Maintenance/Monitor Item

Efflorescence (white salt staining) on concrete wall indicates moisture is in contact with the foundation, which is typically caused by poor site drainage. Recommend ensuring the gutters and the downspout drain lines are functioning properly and the grading slopes away from the home appropriately. Efflorescence should alert you to the possibility that future steps may be needed. Recommend monitoring and having a qualified contractor repair drainage or grading issues.

Recommendation

Contact a qualified general contractor.



#### 4.1.3 Foundation

### CHIPPING (SPALLING)

FRONT LEFT, RIGHT SIDE

 Maintenance/Monitor Item

Chipping, or spalling, of the foundation was observed in areas around the home. Spalling can be caused by multiple effects, but water near the foundation is typically the most common source. This can be caused by inadequate site drainage that may allow water saturate the soil around the foundation, wick up the foundation, and freeze, leading to spalling. This underscores the importance of directing water away from the foundation. This can also be related to the concrete mixture when it was poured. Recommend monitoring and correcting drainage issues if needed.

Recommendation

Contact a qualified general contractor.



#### 4.2.1 Basements & Crawlspaces

### PESTS

CRAWLSPACE

 Maintenance/Monitor Item

Evidence of pests was observed in the crawlspace. Recommend removal of debris and evaluation, if necessary, by a qualified pest control professional.

Recommendation

Contact a qualified pest control specialist.



Paw prints

#### 4.2.2 Basements & Crawlspaces

### VARIOUS DEBRIS

CRAWLSPACE

 Maintenance/Monitor Item

Various debris was observed on the floor of the crawlspace, some of which could be a source of nutrients for wood-destroying organisms. Recommend removal of debris from crawlspace by a qualified professional.

Recommendation

Contact a qualified handyman.



#### 4.2.3 Basements & Crawlspaces

### **DAMAGED INSULATION**

#### CRAWLSPACE MULTIPLE LOCATIONS

Insulation is damaged in the crawlspace. This can lead to energy loss. Recommend a qualified insulation contractor repair.

#### Recommendation

Contact a qualified insulation contractor.



General Repair Item

#### 4.2.4 Basements & Crawlspaces

### **WEATHERSTRIPPING - CRAWLSPACE HATCH INADEQUATE**

#### CRAWLSPACE

The crawlspace hatch has missing or damaged weatherstripping. Weatherstripping helps improve energy efficiency. Recommend installation or repair of weatherstripping by a qualified contractor.

#### Recommendation

Contact a handyman or DIY project

Maintenance/Monitor Item



#### 4.3.1 Vapor Retarders (Crawlspace or Basement)

### **VAPOR BARRIER DAMAGED/MISSING**

#### CRAWLSPACE

The vapor barrier is damaged or missing in one or more areas. This can lead to moisture issues in the crawlspace and create conducive conditions for wood-destroying organisms. Additionally, a properly installed vapor barrier provides some protection from radon, a radioactive gas released from the soil that is common in many areas of the northwest. In elevated levels over extended periods of time, radon exposure can lead to lung cancer. I recommend a qualified contractor repair or replace vapor barrier.

[More information on radon.](#)

General Repair Item

Recommendation  
Contact a qualified insulation contractor.



#### 4.4.1 Floor Structure

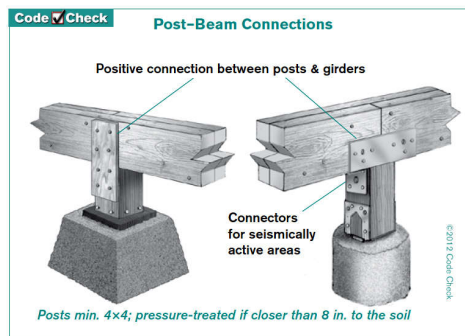
### INADEQUATE FOOTER, POST, AND BEAM CONNECTIONS

 Maintenance/Monitor Item

#### CRAWLSPACE

Posts and beams in one or more areas do not have adequate connections. All post and beam connections should have positive connections using appropriate fasteners. These connections help bolster structural integrity and are especially important in seismically active areas. Recommend further evaluation and repair by qualified contractor.

Recommendation  
Contact a qualified general contractor.



#### 4.5.1 Roof Structure & Attic

### DISCOLORATION - POSSIBLE MOLD

 Immediate Attention / Safety Item

GARAGE ATTIC, RIGHT SIDE ATTIC, MAIN ATTIC

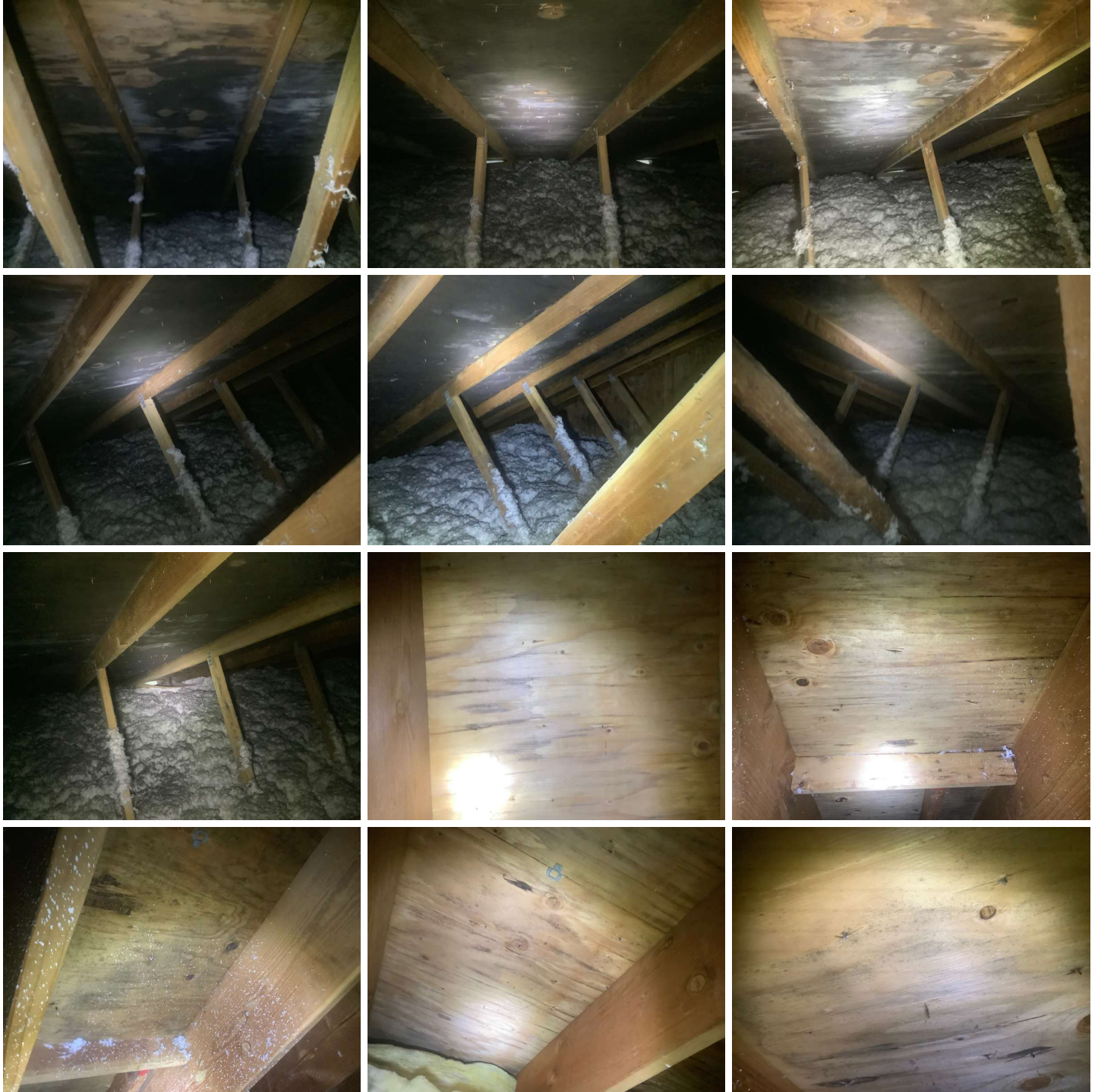
Discoloration - possible mold - was observed in the attic. This is typically caused by inadequate exhaust systems, ventilation issues, or moisture intrusion. Recommend a qualified contractor: clean and remove growth from affected areas to prevent spread and damage to home or health; find source of moisture, and ensure appropriate exhaust, ventilation, and moisture prevention practices.

Please contact me if a [mold air quality test](#) or [physical sample](#) is desired to determine mold presence, type, and quantity.

[Here's a link to a mold removal cleaning product.](#)

Recommendation

Contact a qualified environmental contractor







5.1.1 Heating Equipment

**CONDENSATE DRAIN NOT SECURE**

 Maintenance/Monitor Item

GARAGE

The furnace condensation line is not secure. This could lead to improper drainage of condensate and potentially make the pipe prone to damage. Recommend a qualified contractor repair.

Recommendation

Contact a handyman or DIY project



5.4.1 Distribution Systems

**REGISTER LOOSE**

 Maintenance/Monitor Item

DINING ROOM

Register is loose. Recommend a qualified contractor secure.

Recommendation

Contact a handyman or DIY project



5.4.2 Distribution Systems

**DUCTS NEED CLEANING**

 Maintenance/Monitor Item

ALL

Debris was observed in ducts around the home. This can impact air quality and the efficiency of the HVAC system. Recommend a qualified professional clean duct system at least annually.

Recommendation

Contact a qualified HVAC professional.



### 6.2.1 Drain, Waste, & Vent Systems

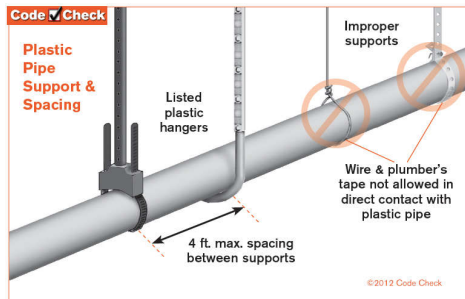
## **DRAINS HUNG W/ METAL STRAPPING**

### CRAWLSPACE

The ABS (plastic) drain lines are hung with metal straps. Metal straps can damage the ABS piping over long periods of time. Recommend a qualified maintenance person re-hang pipes with plastic material.

#### Recommendation

Contact a qualified handyman.



### 6.3.1 Water Supply, Distribution Systems & Fixtures

## **LOOSE FAUCET**

### LAUNDRY ROOM

One or more faucets are loose. This can cause damage to the fixture. Recommend a qualified contractor repair.

#### Recommendation

Contact a qualified professional.



### 6.3.2 Water Supply, Distribution Systems & Fixtures

## **LOOSE TOILET**

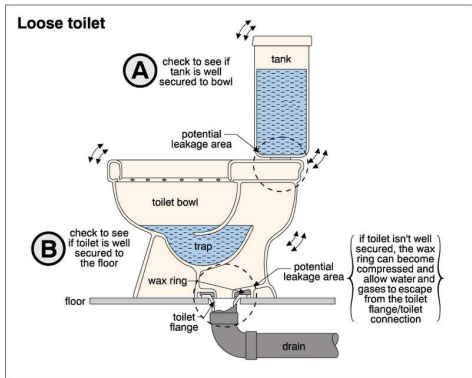
### MASTER BATHROOM

One or more toilets are loose. Loose toilets can leak and cause significant water damage to the subfloor if not repaired. Recommend a qualified contractor evaluate wax ring -- replace if necessary -- and tighten toilet.

#### Recommendation

Contact a handyman or DIY project





### 6.3.3 Water Supply, Distribution Systems & Fixtures

Maintenance/Monitor Item

## UNINSULATED PIPES

### CRAWLSPACE

The water distribution pipes are not insulated in portions of the home. This can be a significant source of energy loss. Additionally, cold temperatures can freeze the water in pipes in unconditioned spaces, expand, and cause the pipes to burst, typically at joints. Recommend a qualified contractor insulate all water supply plumbing.

**Recommendation**  
Contact a qualified plumbing contractor.



### 6.3.4 Water Supply, Distribution Systems & Fixtures

Maintenance/Monitor Item

## WATER PRESSURE

The water pressure was measured at about 100 psi; the recommended water pressure is between 40-80 psi. High water pressure can cause fixtures such as water heaters, faucets, shut-off valves, and toilet components to fail prematurely. Recommend a qualified contractor evaluate and recommend remedy, typically with a pressure-reducing valve.

**Recommendation**  
Contact a qualified plumbing contractor.



### 6.4.1 Hot Water Systems, Controls, Flues & Vents

Maintenance/Monitor Item

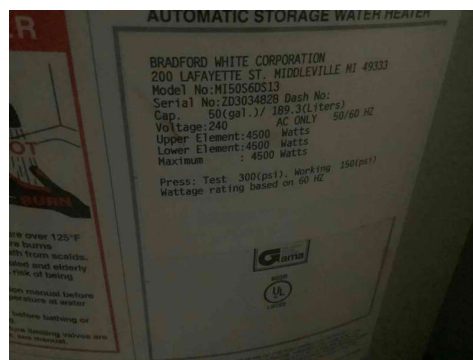
## AGE

### WATER HEATER

Bradford and White manufactured this water heater in 2003.

The water heater is near or past its typical life expectancy. In general, water heaters have a lifespan of between 8-12 years. The water heater was operational at the time of inspection and could continue to work for the foreseeable future. It could also fail tomorrow. Recommend monitoring, regular maintenance, and budgeting to replace in the near future.

**Recommendation**  
Recommend monitoring.



### INADEQUATE SEISMIC STRAPS

WATER HEATER

The water heater is not equipped with adequate seismic straps. Seismic straps, which help prevent tipping of the water heater in the event of an earthquake, should be installed on the upper and lower thirds of the tank. Recommend a qualified professional install seismic straps.

Recommendation

Contact a qualified handyman.



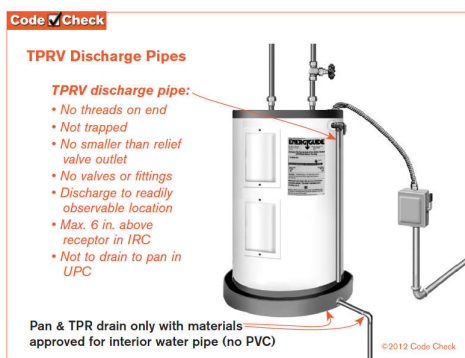
### TPR DISCHARGE INADEQUATE

WATER HEATER

The temperature pressure relief (TPR) valve pipe does not extend within six inches of the ground. If tripped due to high pressure or temperature, the steam released could scald someone nearby. Recommend a qualified professional extend the TPR valve pipe to prevent injury.

Recommendation

Contact a qualified plumbing contractor.



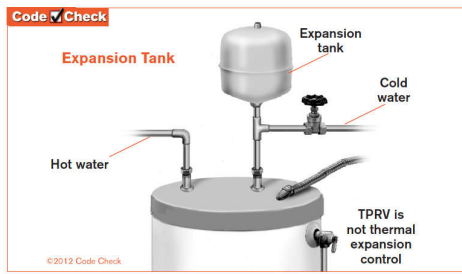
### NO EXPANSION TANK

WATER HEATER

An expansion tank is not installed on the water heater. Expansion tanks allow for the thermal expansion of water in the plumbing system -- basically water expands when heated. Without an expansion tank, thermal expansion can put stress on plumbing connections and fixtures and eventually lead to premature failure. These tanks are standard in new installations. Recommend a qualified plumber evaluate and install.

Recommendation

Contact a qualified plumbing contractor.



### 6.5.1 Bathtubs & Showers

## CAULK IN NEED OF REPAIR

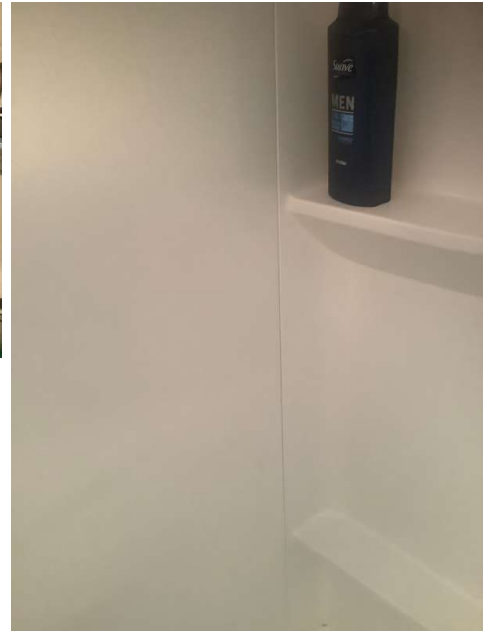
2ND FLOOR BATHROOM, MASTER BATHROOM

 Maintenance/Monitor Item

Shower/tub has missing or deteriorated caulk. This can lead to water damage behind the surround. Recommend a qualified contractor repair.

Recommendation

Contact a handyman or DIY project



**NOT SECURED**

## SERVICE METER

The electrical service meter box is not secure. This can lead to damage to the meter box and moisture intrusion in the box, panel, and underlying siding components. Recommend a qualified electrical contractor repair.

## Recommendation

Contact a qualified electrical contractor.



## 7.2.1 Main &amp; Subpanels, Service &amp; Grounding, Main Overcurrent Device

## Maintenance/Monitor Item

**MISSING, LOOSE BUSHING(S)**

## ELECTRICAL PANEL

One or more bushings are missing, loose, or open in an electrical panel box. Bushings help protect wires from becoming damaged by the sharp edges of knockouts. Additionally, bushings help prevent rodents from entering the panel box. Recommend a qualified contractor repair.

## Recommendation

Contact a qualified electrical contractor.



## 7.3.1 Branch Wiring Circuits, Breakers &amp; Fuses

## Maintenance/Monitor Item

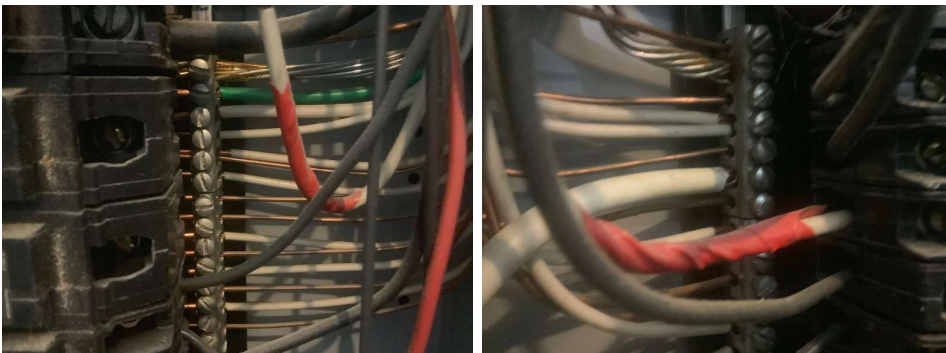
**BUS BAR - SHARED TERMINALS**

## ELECTRICAL PANEL

One or more neutral conductors are sharing terminals with grounding conductors. This can be a safety hazard as it can negate grounding of those power sources. Additionally, one or more neutral conductors are sharing terminals. This is typically a hazard for maintenance or repairs - conductors thought to be disconnected could still be energized. Recommend a qualified electrical contractor repair.

## Recommendation

Contact a qualified electrical contractor.



**IMPROPER INSTALLATION**

BACK PATIO, NEAR PANTRY

Electrical receptacles, lights, or switches in one or more areas are installed improperly. This can be a short or shock hazard. Recommend a qualified contractor repair.

Recommendation

Contact a qualified electrical contractor.



## 7.5.1 GFCI &amp; AFCI

**NO AFCI CIRCUIT BREAKERS**

ELECTRICAL PANEL

Maintenance/Monitor Item

No AFCI breakers were observed. AFCIs break the circuit when an electrical arc is detected in the circuit. AFCIs are required in new construction, although may not have been required at the time this home's electrical system was installed. Recommend installation of AFCIs by a licensed electrician for arc protection.

[Read more about AFCIs and other common electrical issues here.](#)

Recommendation

Contact a qualified electrical contractor.

## 7.6.1 Smoke Detectors

**DEFECTIVE**

MASTER BEDROOM

General Repair Item

One or more smoke detectors are not functioning properly - this could be caused by dead batteries. Smoke alarms throughout the home should ideally be interconnected -- if one is triggered, all alarms should sound. Recommend replacing smoke alarm and evaluation by a qualified electrical contractor.

Recommendation

Contact a qualified electrical contractor.



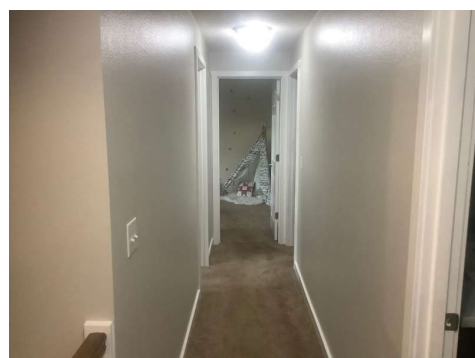
## 7.7.1 Carbon Monoxide Detectors

**INAPPROPRIATE LOCATION**

2ND FLOOR HALLWAY

Maintenance/Monitor Item

Carbon monoxide detector effectiveness may be compromised due to location -- detector should be 5 feet from the ground -- where CO floats -- to properly function. CO detectors are required in common areas outside of each sleeping room on every floor and living space. If this unit is a dual smoke/CO detector, consider installing a stand-alone CO detector in an appropriate location. Recommend relocating according to manufacturer's instructions.



### 8.1.1 Attic Insulation

## ATTIC HATCH -- INADEQUATE INSULATION



Maintenance/Monitor Item

RIGHT SIDE ATTIC, MASTER BEDROOM ATTIC

The attic hatch has inadequate insulation. This area can be a significant source of energy loss. Additionally, improperly sealed attic hatches can allow energy (hot/cold air) to leak into the attic. Recommend a qualified contractor properly secure insulation to the hatch and repair weatherstripping, if needed.

Recommendation

Contact a qualified insulation contractor.



### 8.2.1 Ventilation

## CRAWLSPACE VENTS BLOCKED



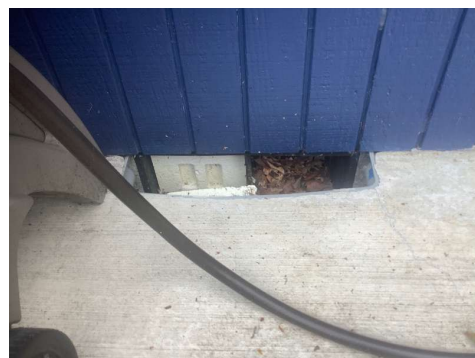
Maintenance/Monitor Item

MULTIPLE LOCATIONS

One or more of the crawlspace vents are blocked. This can create air "dead zones" which can promote increased moisture levels and conditions conducive to wood-destroying organisms. Additionally, this can direct radon gas -- a radioactive gas that can cause lung cancer found in elevated levels in about 25 percent of homes in this area -- inside the home. Recommend removing blocking material to allow proper ventilation of the crawlspace.

Recommendation

Contact a qualified concrete contractor.



### 8.2.2 Ventilation

## FOUNDATION VENT BELOW GRADE



General Repair Item

FRONT, LEFT SIDE

One or more foundation vents are below grade. This can allow water to enter the crawlspace. Recommend installation of foundation vent wells by a qualified professional.

Recommendation

Contact a qualified handyman.





### 8.3.1 Exhaust Systems

## DUCT-TAPED DUCTS

 Maintenance/Monitor Item

### ATTIC BATHROOM EXHAUST DUCTS

Exhaust ducts in the home are connected or sealed with duct tape. Counter-intuitively, duct tape as a duct sealer fails quickly, and often, quite catastrophically. This can promote moisture in the areas through which the ducting runs and create an environment conducive to mold, wood-destroying insects, and fungi. I recommend a qualified contractor properly seal or connect ducts with a product like mastic.

Here is a [link to an article](#) on duct tape's failings.

Recommendation

Contact a qualified handyman.



### 8.3.2 Exhaust Systems

## DRYER DUCT DAMAGED

 General Repair Item

### LAUNDRY ROOM

The dryer duct is damaged. This could allow lint to become trapped and start a fire. Recommend a qualified professional repair or replace.

Recommendation

Contact a handyman or DIY project



### 8.3.3 Exhaust Systems

## DRYER VENT NEEDS CLEANING

 General Repair Item

### RIGHT SIDE

The dryer vent is obstructed with lint and does not close. Excessive lint can be a fire hazard and allow pest access. Recommend a qualified person clean.

Recommendation

Contact a handyman or DIY project



### 8.3.4 Exhaust Systems

## DUCTS NOT INSULATED

 Maintenance/Monitor Item

### ATTIC BATHROOM DUCTS

Exhaust ducts are not insulated. Insulation around these ducts helps minimize the condensation that will otherwise occur as typically warm, moist exhaust air passes through the ductwork. Recommend a qualified contractor insulate ducts.

#### Recommendation

Contact a qualified HVAC professional.



### 9.1.1 Doors

## DOOR STICKS

 Maintenance/Monitor Item

### RIGHT SIDE BEDROOM

One or more doors stick and are difficult to use. Recommend a qualified contractor repair.

#### Recommendation

Contact a qualified handyman.



### 9.1.2 Doors

## CLOSET DOOR GUIDE DAMAGED/MISSING

 Maintenance/Monitor Item

### FRONT BEDROOMS

Closet door guide is damaged or missing. This can lead to damage to the door from improper movement. Recommend installation of a guide by a qualified person.

#### Recommendation

Contact a handyman or DIY project



### 9.2.1 Windows

## DAMAGED SCREEN

 Maintenance/Monitor Item

Screen(s) in one or more windows are torn or have damaged frames. Screens should be replaced where necessary.

#### Recommendation

Contact a qualified window repair/installation contractor.



### 9.2.2 Windows

## MISSING SCREEN(S)

 Maintenance/Monitor Item

### RIGHT SIDE BEDROOM

One or more windows are missing screens. Recommend replacement.

Recommendation

Contact a qualified window repair/installation contractor.



### 9.2.3 Windows

#### **POSSIBLE FAILED SEAL**

SKYLIGHTS, MASTER BATHROOM

 General Repair Item

Observed evidence condensation is or has been between the window panes, which indicates a failed seal. Failed seals can promote mold growth and decrease energy efficiency. Recommend qualified window contractor evaluate & replace.

Be aware that evidence of broken seals may be more or less visible from one day to the next depending on the temperature, humidity, sunlight, etc. Windows or glass doors other than those that I identified may also have failed seals and need glass replaced, too.

Recommendation

Contact a qualified window repair/installation contractor.



### 9.2.4 Windows

#### **SEAL DETERIORATED**

MULTIPLE LOCATIONS

 Maintenance/Monitor Item

The window/door corner seals are deteriorated and in need of repair. This can lead to energy loss. Recommend a qualified contractor repair.

Recommendation

Contact a qualified handyman.



9.2.5 Windows

**WINDOW NEEDS ADJUSTMENT**

BACK LIVING ROOM, FRONT, DINING ROOM

One or more windows are difficult to use and need adjustment and/or lubrication. Recommend a qualified contractor repair.

Recommendation

Contact a qualified window repair/installation contractor.



9.3.1 Floors

**INTERIOR TRIM DAMAGED**



BACK DOOR

Interior trim is damaged in one or more areas. Recommend a qualified contractor repair or replace.

Recommendation

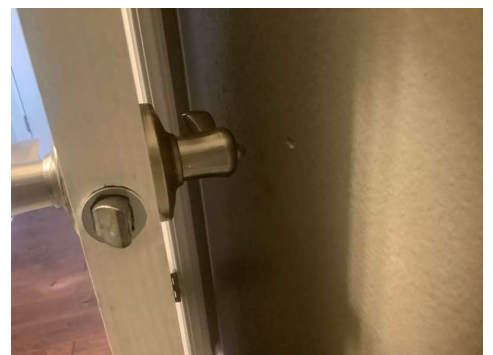
Contact your builder.



9.4.1 Walls

**DOORKNOB DAMAGE**

1ST FLOOR BATHROOM



Wall appears to be damaged from doorknob. Recommend a qualified handyman or drywall contractor repair.

Recommendation  
Contact a qualified drywall contractor.

### 9.6.1 Steps, Stairways & Railings

#### **OPEN RISERS**

GARAGE

Stairs have open risers. Open risers can be a trip hazard. Recommend a qualified contractor closes the risers.

Recommendation  
Contact a handyman or DIY project

 Maintenance/Monitor Item



### 9.8.1 Pests

#### **RODENTS**

GARAGE, CRAWLSPACE

Evidence of rodents was observed. Rodents can be a nuisance and also cause damage to the home. Recommend monitoring and evaluation by a qualified pest professional, if needed.

 Maintenance/Monitor Item



### 10.1.1 Refrigerator

## LIGHT

### REFRIGERATOR

Refrigerator light is inoperative. Recommend a qualified person replace or repair.

Recommendation

Recommended DIY Project



### 10.1.2 Refrigerator

## NEEDS FILTER CHANGE

### REFRIGERATOR

The refrigerator water filter should be replaced. Recommend replacement.

Recommendation

Recommended DIY Project



### 10.2.1 Range/Oven/Cooktop

## RANGE NOT FASTENED

### RANGE

Range was not fastened to the floor. This poses a safety hazard to children, who may pull the unit on top of themselves inadvertently. Recommend a qualified contractor secure range so it can't tip.

Recommendation

Contact a qualified professional.



### 10.3.1 Dishwasher

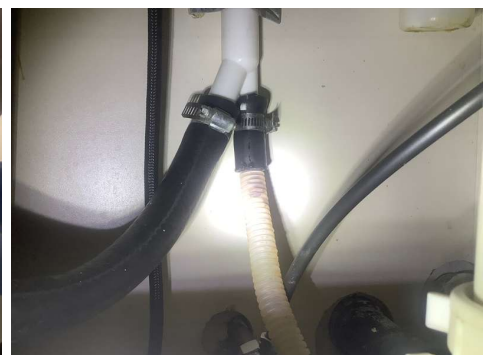
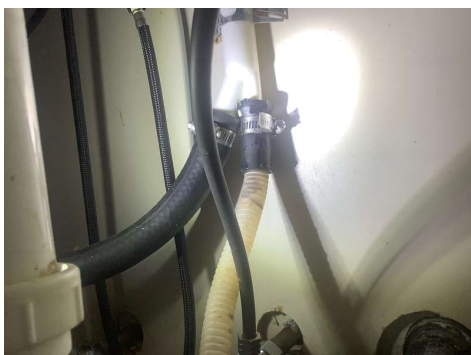
## DRAIN LINE LEAKING

### BENEATH KITCHEN SINK

The dishwasher drain line has a poor connection and is leaking. Recommend a qualified contractor repair.

Recommendation

Contact a qualified appliance repair professional.



### 10.6.1 Washer/dryer

## NO DRIP PAN

### WASHER

The washer is not equipped with a drip pan. Drip pans should be installed beneath washers to help protect finished areas and stored items in the event of a washer leak. The drip pan should drain to an appropriate drain or location on the exterior. Recommend a qualified contractor repair.

#### Recommendation

Contact a handyman or DIY project



### 11.2.1 Floor

## STAINING

### GARAGE

Garage floor shows visible staining from oil/grease. Recommend scrubbing with a degreaser or cleaning solution.

[Here is a DIY resource to help.](#)



### 11.3.1 Walls & Firewalls

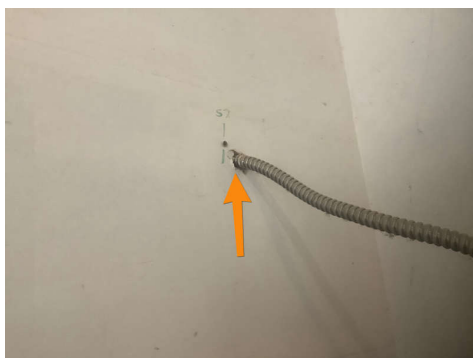
## FIREWALL COMPROMISED

### GARAGE

The firewall is compromised in one or more areas. This can allow a garage fire to spread more easily to the interior. Combustibles are more likely to be stored in the garage, and therefore, fires are more likely to start there. No gaps should exist and all firewall materials should be made of fire-resistant material. Gaps should be sealed with a fire-resistant sealant or other appropriate material. Recommend repair of compromised areas by a qualified contractor.

#### Recommendation

Contact a qualified professional.



### 11.6.1 Occupant Door (From garage to inside of home)

## WEATHERSTRIPPING

### GARAGE



The door into the home from the garage has inadequate and/or damaged weatherstripping. This can allow carbon monoxide produced by vehicles in the garage to enter the home and is a safety hazard. Additionally, this door should be sealed to prevent air from the garage, which often contains fumes from oil and other chemicals, from entering the house. Recommend repair or replacement of weatherstripping by a qualified contractor.

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