



SUMMARY

1234 Main St. Yorktown Heights NY
10598

Buyer Name
05/10/2018 9:00AM

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This Summary Report is meant to organize any **Recommendations** and **Significant and/or Safety Concerns** into a shorter, defect only format. It does not include Minor/Maintenance issues or Informational data that can be found in the Full Report.

2.1.1 Vegetation, Grading, Drainage & Retaining Walls

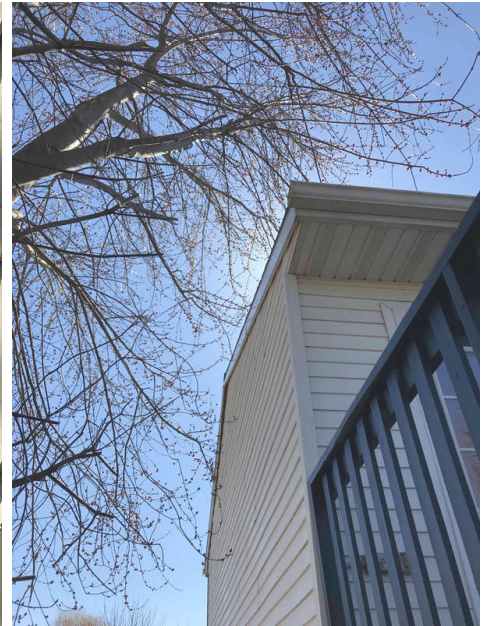
TREE OVERHANG



Trees observed overhanging the roof. This can cause damage to the roof and prevent proper drainage. Recommend a qualified tree service trim to allow for proper drainage.

Recommendation

Contact a qualified tree service company.



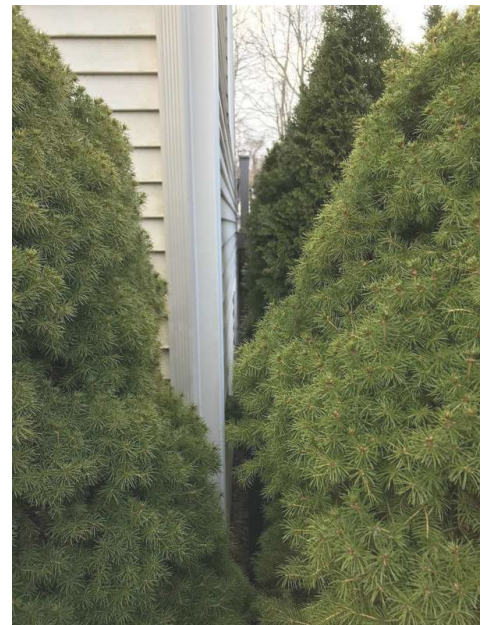
2.1.2 Vegetation, Grading, Drainage & Retaining Walls

SHRUB AND TREE GROWTH - TOO CLOSE

RIGHT

Shrub and tree growth were not far enough away from the siding of the house. Regular maintenance and pruning should be done on an ongoing basis to prevent contact with the house or roof which could lead to unwanted moisture contacting the siding of the house. Recommend trimming back shrubs so they are not touching the siding.

Recommendation
Contact a qualified landscaping contractor



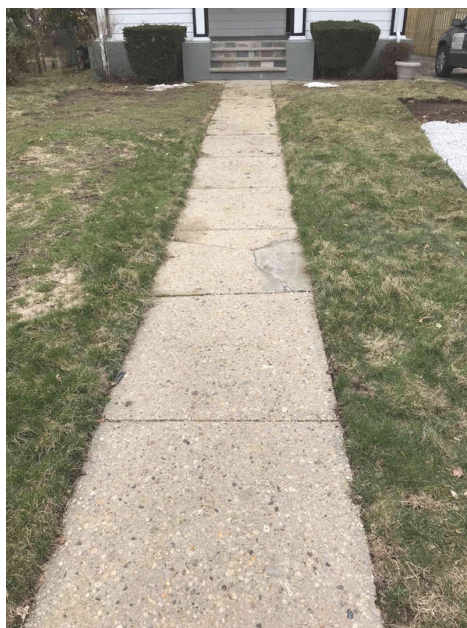
2.3.1 Walkways

WALKWAY CRACKING - MAJOR

FRONT

The walkway was cracked and deteriorated. Recommend having a qualified contractor repair.

Recommendation
Contact a qualified concrete contractor.



2.4.1 Steps

STEPS POOR CONDITION

RIGHT

The side steps were in poor condition with cracks, surface deterioration, settling/heaving and loose railings. Recommend hiring a qualified masonry contractor to evaluate and repair or replace as necessary.

Recommendation
Contact a qualified masonry professional.





2.5.1 Decks, Balconies, Porches

IMPROPER DECK CONSTRUCTION PRACTICES

 Recommendation

Deck was observed to have general poor construction. Improper fasteners, lack of lag bolts and joist hangers, improper post to beam connections were noted. Recommend having a qualified deck contractor evaluate and repair all defects as necessary

Recommendation
Contact a qualified deck contractor.



2.5.2 Decks, Balconies, Porches

JOIST HANGERS

 Recommendation

Joist hanger(s) are missing or improperly installed. This could cause the deck structure to fail. Recommend that joist hangers be properly installed by qualified contractor.

Recommendation
Contact a qualified deck contractor.



2.5.3 Decks, Balconies, Porches

LEDGER BOARD IMPROPERLY INSTALLED

The ledger board is not properly attached to the building. This can cause the deck to pull away from the building and possibly collapse. Recommend that the deck and/or ledger board be properly attached by qualified contractor.

Recommendation

Contact a qualified deck contractor.



Recommendation



2.5.4 Decks, Balconies, Porches

RAILING UNSAFE

There is an unsafe opening in the railing. The spacing on the rail should not exceed 4". An opening greater than 4" is a serious safety hazard especially for children as their head or other body part can become trapped.

Recommendation

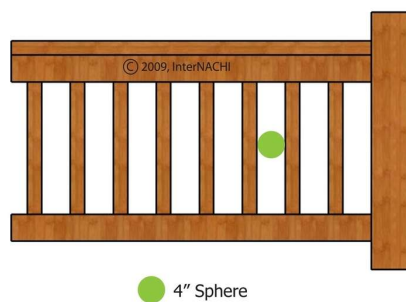
Contact a qualified deck contractor.



Recommendation



Railing



3.1.1 Siding, Flashing & Trim

WARPING/BUCKLING

RIGHT 2ND FLOOR

Vinyl siding was warping or buckling in areas. This is often as a result of nailing siding boards too tight to the home, preventing expansion/contraction. This can also be caused by excessive heat from sunlight reflecting off LowE windows/skylights. Recommend a qualified siding contractor evaluate and repair.

Recommendation

Contact a qualified siding specialist.



Recommendation



3.3.1 Exterior Doors

HARDWARE MISSING

 Recommendation

BACK

Rear entry door is missing one or more pieces of hardware. Recommend replacing or upgrading.

Recommendation
Contact a qualified door repair/installation contractor.



4.1.1 Coverings

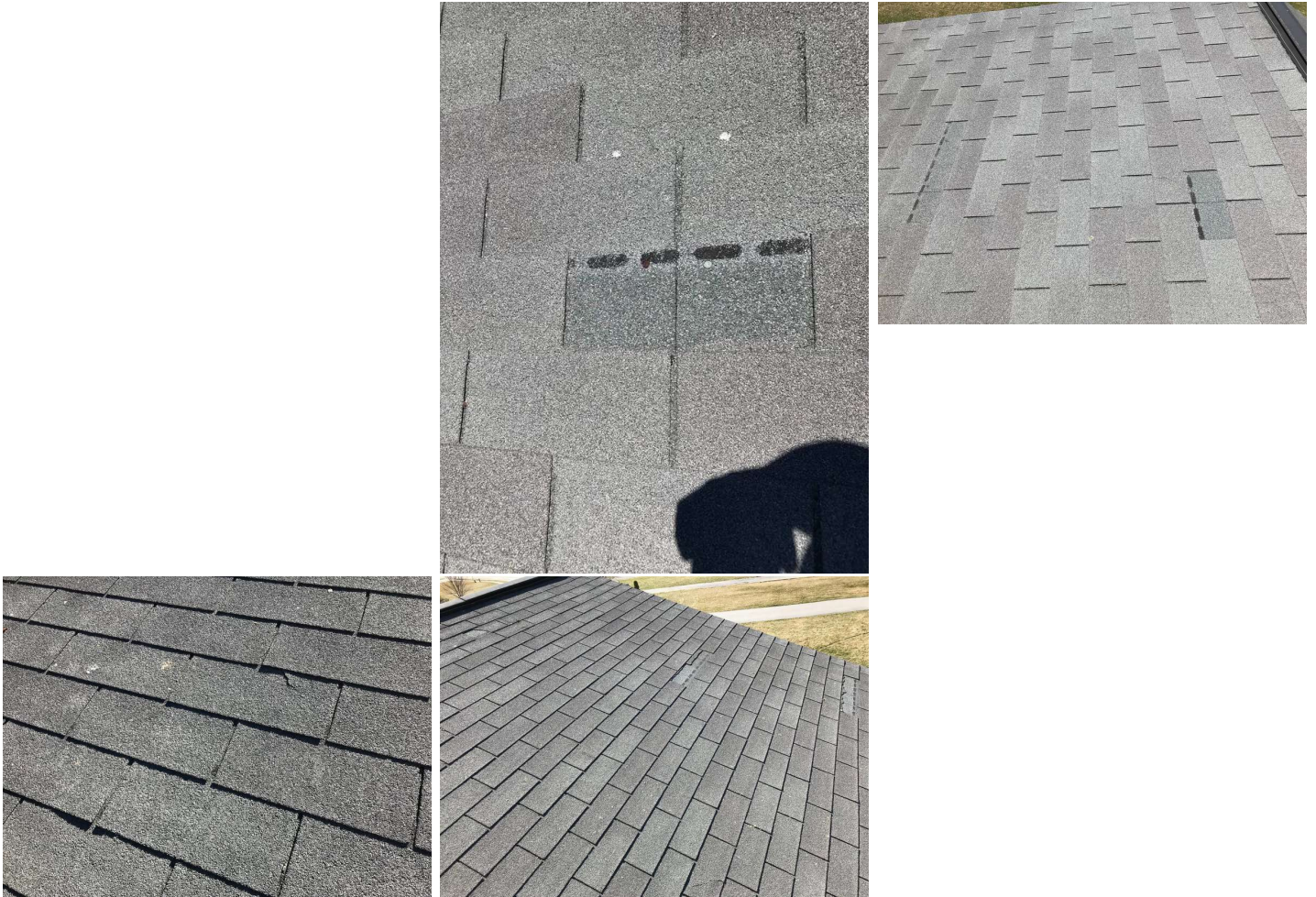
DAMAGED (GENERAL)

 Recommendation

Roof coverings showed moderate damage. Recommend a qualified roofing professional evaluate and repair.

Recommendation
Contact a qualified roofing professional.





4.3.1 Skylights, Chimneys & Other Roof Penetrations

 Recommendation

CHIMNEY POOR CONDITION

The chimney(s) had no spark arrestor or cap. The Inspector recommends that all chimneys have an approved spark arrestor installed by a qualified contractor to prevent pest entry and to help protect the roof-covering materials from potential chimney-source ignition. There was cracking in the brick and mortar and the flue pipe did not extend far enough out of the chimney. Recommend having a qualified contractor evaluate and repair.

Recommendation
Contact a qualified chimney contractor.



4.4.1 Roof Drainage Systems

DEBRIS

 Recommendation

Debris has accumulated in the gutters. Recommend cleaning to facilitate water flow.

[Here is a DIY resource](#) for cleaning your gutters.

Recommendation

Contact a handyman or DIY project



4.4.2 Roof Drainage Systems

DOWNSPOUTS DRAIN NEAR HOUSE



Recommendation

One or more downspouts drain too close to the home's foundation. This can result in excessive moisture in the soil at the foundation, which can lead to foundation/structural movement. Recommend a qualified contractor adjust downspout extensions to drain at least 4-6 feet from the foundation.

[Here is a helpful DIY link](#) and video on draining water flow away from your house.

Recommendation

Contact a handyman or DIY project



4.4.3 Roof Drainage Systems

DOWNSPOUT DISCONNECTED



Recommendation

One or more downspouts designed to discharge roof drainage needed to be re-connected in order to properly control roof run-off. This condition can result in excessively high moisture levels in soil at the foundation and can cause damage related to soil/foundation movement. Excessive moisture levels in soil near the foundation can effect the ability of the soil to support the weight of the structure above and can cause damage related to soil/foundation movement. The Inspector recommends re-connection of any disconnected downspouts to help protect the home structure. All work should be performed by a qualified contractor..

Recommendation

Contact a qualified roofing professional.



4.5.1 Roof Structure & Attic

ATTIC MOISTURE



Recommendation

There were signs of moisture staining and previous roof leaks in the attic. The plumbing stack was noted and through the roof. Recommend having a qualified roofing contractor evaluate and repair all defects as necessary.

Recommendation

Contact a qualified roofing professional.



5.1.1 Walls and Ceiling

NO DRYWALL



Recommendation

There was no drywall present on the garage ceiling. It is required to 5/8" fire rated drywall on garage ceilings when living space is directly above. Recommend having a qualified drywall contractor repair as necessary.

Recommendation

Contact a qualified drywall contractor.



5.5.1 Occupant Door (From garage to inside of home)



Recommendation

DOOR DOES NOT MEET SEPARATION REQUIREMENTS

Door separating garage and home does not meet safety standards. Doors must be at least 1 3/8-inch thick, solid wood/metal/steel, or a 20-minute fire-rated door with self-closing hinges. Recommend having a qualified contractor replace the door as necessary.

Recommendation

Contact a qualified door repair/installation contractor.



7.1.1 Attic Insulation

IMPROPER INSTALLATION



Recommendation

Thermal insulation in the attic was poorly-installed and had significant gaps which will result in unwanted heat gain or loss. This condition will increase heating and cooling costs and reduce comfort levels and may contribute to ice damming of the roof during the winter. The Inspector recommends that insulation be properly distributed to cover all portions of the attic located above the home living space.

Recommendation

Contact a qualified insulation contractor.





7.2.1 Ventilation

WHOLE-HOUSE FAN- NO INSULATED COVER

No cover was provided for sealing and insulating the whole-house fan penetration during the heating season. This condition will result in the loss of home heat and increased heating costs. The fan was also rubbing on the displaced fiberglass insulation.

Recommendation

Contact a handyman or DIY project



Recommendation



7.3.1 Exhaust Systems

BATHROOM VENTS INTO ATTIC

Bathroom fan vents into the attic, which can cause moisture and mold. Recommend having a qualified contractor properly install ductwork to terminate exhaust to the exterior.

Recommendation

Contact a qualified professional.



Recommendation



10.2.1 Water Supply, Distribution Systems & Fixtures

NON-SANITARY WELL CAP

The well cap was a non-sanitary cap and should be replaced with a sanitary cap to prevent bacteria from entering the well shaft. Recommend hiring a qualified well company to replace the cap with a sanitary one.

Recommendation

Contact a qualified well service contractor.



Recommendation



10.3.1 Sewage & Drain, Waste, & Vent (DWV) Systems

LEAKING PIPE



A drain, waste and/or vent pipe showed signs of a leak. Recommend a qualified plumber evaluate and repair.

Recommendation

Contact a qualified plumbing contractor.



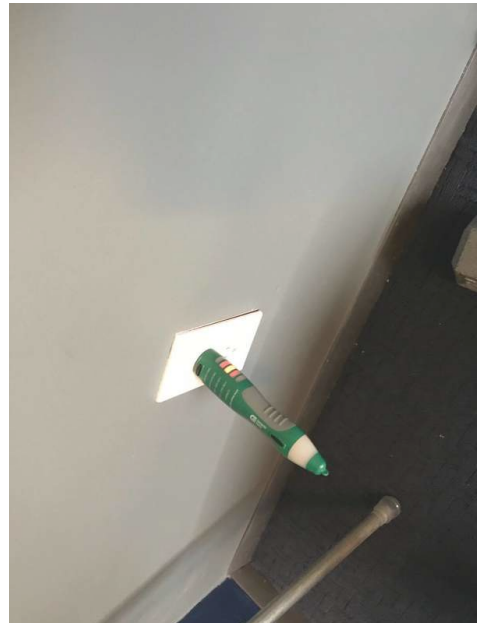
11.4.1 Lighting Fixtures, Switches & Receptacles

HOT-NEUTRAL REVERSED RECEPTACLE

An electrical receptacle had hot and neutral wires reversed. This condition should be corrected by a qualified electrical contractor

Recommendation

Contact a qualified electrical contractor.



11.4.2 Lighting Fixtures, Switches & Receptacles

OPEN GROUND RECEPTACLE(S)

BACK WALL LIVING ROOM

An electrical receptacle had an open ground. Other receptacles in the home were grounded. This receptacle should have a functional equipment grounding conductor installed by qualified electrical contractor.



Recommendation
Contact a qualified electrical contractor.



11.5.1 GFCI

GFCI PROTECTION - NOT PRESENT

 Recommendation

GFCI protection was not present at these locations: Washing machine, garage, exterior. Recommend having a qualified licensed electrician install GFCI protection as necessary.

11.6.1 Smoke and CO Detectors

SMOKE AND CARBON MONOXIDE DETECTORS

 Significant and/or Safety Concern

Smoke and carbon monoxide detectors are important safety devices designed to save lives. It is always recommended to install new detectors when moving into a home if they are 9-volt battery operated (not hard-wired systems). Hard-wired detectors are recommended to be replaced every 10 Years.

Recommendation
Contact a qualified professional.

13.6.1 Steps, Stairways & Railings

STAIRCASE- NO HANDRAIL

 Recommendation

BASEMENT

Although it had 4 or more risers, this staircase had no handrail installed. This condition is a potential fall hazard. In order to comply with generally-accepted current standards which require a handrail at staircases with 4 or more risers, this staircase would need a handrail installed. The Inspector recommends that a handrail be installed that complies with modern safety standards. All work should be performed by a qualified contractor.

Recommendation
Contact a qualified carpenter.



15.2.1 Washer

WASHING MACHINE HOSES

Washing machine supply hoses are standard black rubber non-pressure tested hoses. These hoses can rupture without warning and have been responsible for causing extensive damage from flooding. Recommend replacing with stainless steel braided pressure tested hoses.

Recommendation
Recommended DIY Project

