



4.1.1 Coverings

DAMAGED COVERINGS

There is a small hole in the coverings at both ends of the ridge cap. There is not a sign of this causing a leak inside the house, but it should be replaced to prevent a future leak. These holes are over the eave.

Recommendation

Contact a qualified roofing professional.



4.2.1 Roof Drainage Systems

DEBRIS

Debris has accumulated in the gutters. Recommend cleaning to facilitate water flow.

[Here is a DIY resource](#) for cleaning your gutters.

Recommendation

Contact a qualified roofing professional.



4.3.1 Flashings

CORRODED - SEVERE

Roof flashing showed signs of severe corrosion, which can lead to moisture intrusion. Recommend a qualified roofing contractor evaluate and repair. All three of the flashings need to be replaced. This is common for flashings of this age and material.

Recommendation

Contact a qualified roofing professional.



5.1.1 Fixtures / Faucets

SHOWER DRAIN LEAKING

The drain in the master bathroom shower is leaking. It has not caused any damage, it is dripping into the crawlspace. Recommend tightening the drain or replacing the rubber grommet that secures the drain to the drain pipe.

Recommendation

Contact a qualified professional.



6.4.1 Connected Devices and Fixtures

COVER PLATES MISSING

One receptacle in the basement is missing its cover plate. The rubber/foam gasket that goes behind the cover plate is still present. Recommend installing a new cover plate.

Recommendation

Contact a qualified electrical contractor.



7.1.1 Heating Equipment

FILTER REQUIRES REPLACEMENT

The furnace filter appears to be beyond its expected lifespan. Recommend replacement.

Recommendation

Contact a qualified HVAC professional.



7.1.2 Heating Equipment

NEEDS SERVICING/CLEANING

Furnace should be cleaned and serviced. The upstairs HVAC unit has standing water in the condensate overflow pan. This can lead to a leak. I would also recommend installing an automatic cut off switch to turn the unit off in the event the condensate line stopped up again.

Recommendation

Contact a qualified HVAC professional.



9.6.1 Doors

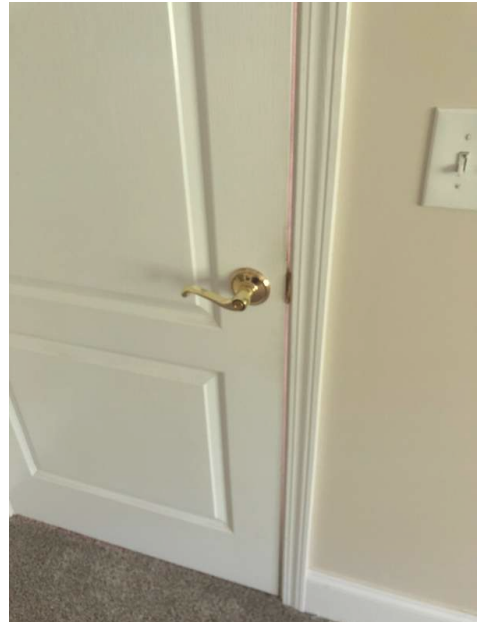
DOOR DOESN'T LATCH

Door doesn't latch properly. Recommend handyman repair latch and/or strike plate.

Master bedroom door.

Recommendation

Contact a qualified handyman.



9.7.1 Windows

SOFT WINDOW SILL

The window sill in the upstairs southeast bedroom is soft. It has experienced moisture intrusion at some point in the past. The sealant around this window appeared to be intact and in good condition. There was a small area of shingles above this area that have been replaced. So this damage is most likely from the apparent past leak. There is no evidence of a current leak and I did not see any other damage in this area.

Recommendation

Contact a qualified professional.



11.3.1 Ventilation

SUGGESTED RIDGE VENT REPLACEMENT

The ridge vent is allowing the drywall in the inside peak of the roof to absorb some moisture. The drywall in the peak is slightly discolored from being so close to exterior moisture and humidity. I would recommend removing the existing ridge vent and replacing it with A different type of ridge vent (Foam/rubber, versa-vent, etc.) . This would help prevent any further absorption of moisture from the outside. Then primer and paint would restore the inside.

The replacement of the ridge vent and the shingles over it, is just a suggestion, and should take a professional roofer about two hours to complete. The materials for this project should cost about \$250.00

Recommendation

Contact a qualified roofing professional.

