



2.1.1 Coverings

**CURLING**

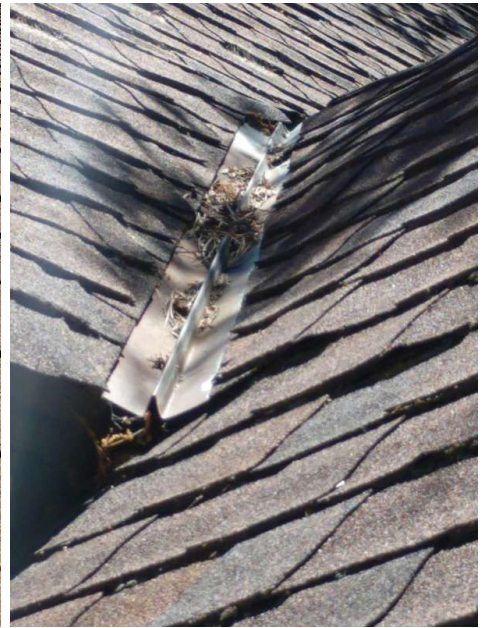
GARAGE, CARPORT, HOUSE

Observed the roof covering to be curling at the corners and edges. This is a sign of age and also the effects of moisture beneath.

Recommend further evaluation by a licensed roofing contractor.

Recommendation

Contact a qualified roofing professional.



2.1.2 Coverings

**DEBRIS**

AREAS UNDER AND NEAR TREES.

Debris observed on roof surface. Recommend removal.

Recommendation

Contact a qualified roofing professional.

 Maintenance Item



2.1.3 Coverings

**DAMAGED (GENERAL)**

RIDGES, LOWER PITCHED ROOFS.

Roof coverings showed moderate damage. Recommend a qualified roofing professional evaluate and repair.

Recommendation

Contact a qualified roofing professional.

 Recommendation





2.1.4 Coverings

**MULTIPLE LAYERS**

GARAGE, CARPORT, HOUSE

Observed at least 2 layers of roofing on the Garage and carport, and what appears to be a layer of roofing underneath the top layer covering the House. Roofing over an existing layer significantly reduces the lifespan of the material being installed.

Recommend monitoring and consulting a licensed roofing contractor for evaluation and repairs as needed.

Recommendation

Contact a qualified roofing professional.

 Recommendation



Green circle - bottom of fiberglass shingle  
 Red circle - previous roofing material, wood shingle or shake  
 Blue circle - metal drip edge

2.1.5 Coverings

**FASTENERS MISSING OR EXPOSED**

HOUSE, GARAGE, CARPORT

Observed missing or unsealed fasteners at ridge caps and roof to wall intersection. This could allow unwanted water entry below roof covering and underlayment, damage to these components, shortened life span of roof covering and sheathing, water intrusion into attic damaging insulation and interior ceilings.

Recommend licensed roofing contractor evaluate and correct.

Recommendation

Contact a qualified roofing professional.

 Recommendation



### 2.1.6 Coverings

## GRANULE LOSS

HOUSE, GARAGE, CARPORT



Maintenance Item

Roof covering material has experienced granule loss over the course of its life. These granules aid in protecting the body of the shingle. As they wear away, the shingle becomes more exposed, more moisture can pass through (they are designed to resist water not to be waterproof). This moisture is most of the cause for the curling effect.

Recommend monitoring and consulting a licensed roofing contractor when repair procedures are needed.

Recommendation

Contact a qualified roofing professional.

### 2.1.7 Coverings

## VISIBLE FIBERS

HOUSE, GARAGE, CARPORT



Maintenance Item

Fibers of the shingles are visible at the edges of a vast majority of the roof covering. This is a sign of age and weathering.

Recommend monitoring and consulting a licensed roofing contractor when the time comes for repairs.

Recommendation

Contact a qualified roofing professional.

### 2.1.8 Coverings

## VEGETATION



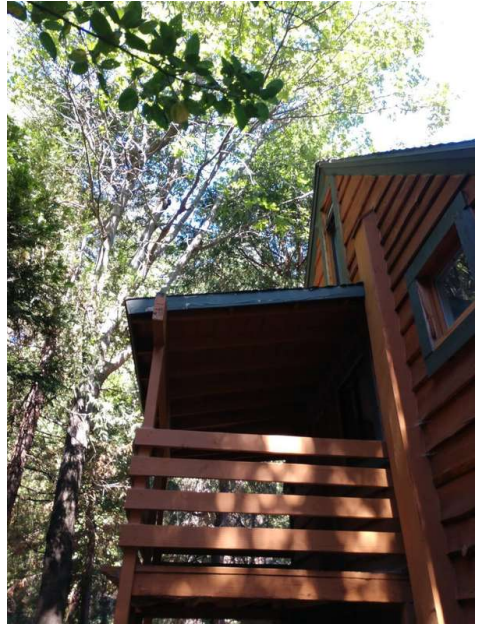
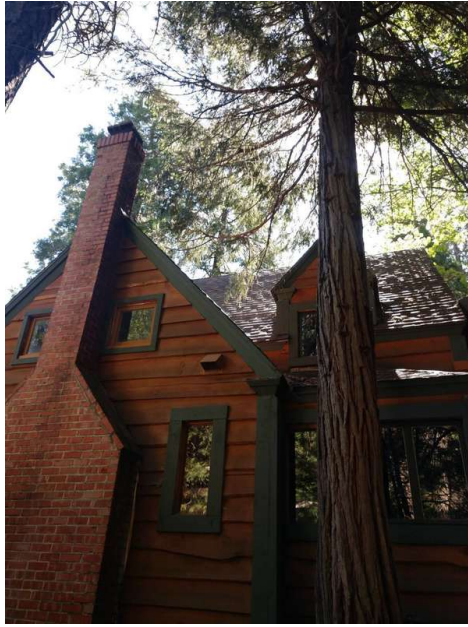
Recommendation

Tree branches are in contact with roof covering and structure. Tree limbs and branches can physically damage the wall coverings and roof coverings and can drop debris that can block valleys and gutters and hasten the deterioration of roof coverings. Tree limbs and entire trees can fall during high wind events.

Recommend evaluation and correction by licensed tree contractor.

Recommendation

Contact a qualified tree service company.



## 2.1.9 Coverings

### **PONDING**

#### CARPORT

Observed ponding in one or more areas of roof. Ponding can lead to accelerated erosion and deterioration.

Recommend a qualified roofing contractor evaluate and repair as needed.

#### Recommendation

Contact a qualified roofing professional.



Maintenance Item



### 2.1.10 Coverings

## BIOLOGICAL GROWTH

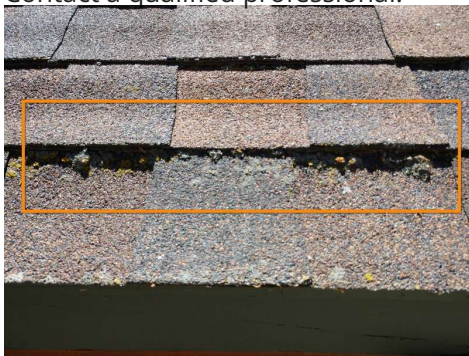
STEEP NORTH FACING ROOF SECTIONS AND UNDER TREES.

Observed biological growth (moss) on the roof covering. It is there because there is enough moisture and shade to support its needs. It is neither a health hazard nor exceedingly damaging to the roof material per several manufacturers, however retained moisture on a roof is a potential issue.

Recommend evaluation by a licensed roofing contractor.

Recommendation

Contact a qualified professional.



### 2.1.11 Coverings

## BULGES



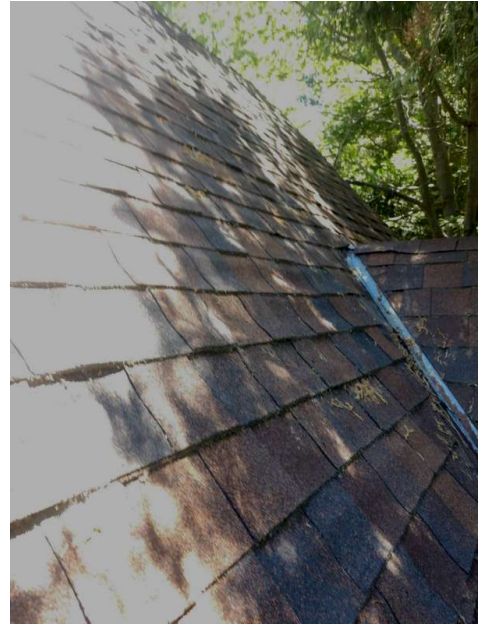
WEST FACING ROOF SECTION, BETWEEN DORMERS AND BACK OF HOUSE.

Observed bulges below the roof covering material. The ceiling covering inside is attached to the roof rafters, limiting access to view the inside of the roof sheathing.

Recommend evaluation by a licensed roofing contractor.

Recommendation

Contact a qualified roofing professional.



### 2.2.1 Roof Drainage Systems

#### **DEBRIS**



Debris has accumulated in the gutters. Recommend cleaning to facilitate water flow.

[Here is a DIY resource](#) for cleaning your gutters.

Recommendation

Recommended DIY Project



### 2.2.2 Roof Drainage Systems

#### **DOWNSPOUTS MISSING**



GARAGE, CARPORT

Building is missing downspouts in one or more areas. This can result in excessive moisture in the soil at the foundation, which can lead to foundation/structural movement. Recommend a qualified contractor install downspouts and extensions that drain at least 6 feet from the foundation.

Recommendation

Contact a qualified gutter contractor

2.2.3 Roof Drainage Systems

**GUTTER LOOSE**

 Recommendation

The gutter is loose and needs to be re-fastened to fascia and pitched properly.

Recommendation  
Contact a qualified gutter contractor



2.2.4 Roof Drainage Systems

**GUTTERS MISSING**

HOUSE

 Recommendation

Gutters and downspouts are recommended in that they collect rain water from the roof and direct it away from the building and foundation.

Recommend evaluation by and consultation with a licensed gutter contractor.

Recommendation  
Contact a qualified gutter contractor

2.3.1 Flashings

**CORRODED - MINOR**

 Recommendation

Roof flashings showed signs of minor corrosion and are still in working condition. Flashings should be cleaned and painted to prevent severe corrosion leading to moisture intrusion.

Recommend annual maintenance to all roof penetration flashings by a licensed roofing contractor.

Recommendation  
Contact a qualified roofing professional.





### 2.3.2 Flashings

 Recommendation

#### **LOOSE/SEPARATED**

Flashings observed to be loose or separated from the penetrating pipes, which can lead to water intrusion and/or mold.

Recommend a qualified roofing contractor patch and seal.

Recommendation

Contact a qualified roofing professional.



### 2.3.3 Flashings

 Recommendation

#### **VALLEY FLASHING - DEBRIS**

Observed debris in valleys. This will cause water to back up and penetrate below the roof covering and underlayment, creating conditions for deterioration and mold. Recommend removal of debris by qualified professional.

Recommendation

Contact a qualified professional.

### 2.3.4 Flashings

 Recommendation

#### **SEALANT CRACKS**

Observed sealant at flashing to be dried and cracked. Recommend a licensed roofing contractor to evaluate and correct.

Recommendation

Contact a qualified roofing professional.

### 3.1.1 Siding, Flashing & Trim

 Recommendation

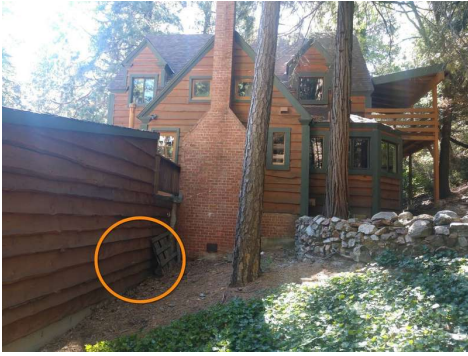
#### **INADEQUATE GROUND CLEARANCE**

Inadequate clearance between siding and ground. Recommend a minimum ground clearance between bottom of siding and ground of 2" to 4". Siding in contact with the ground or soil is a serious concern, the reasoning is that condition can provide direct access for wood destroying insects and excessive moisture absorption.

Recommend clearing soil and ground cover away from the siding where necessary, and trimming the siding as needed at concrete flat work. Consult a licensed siding contractor if this is not a DIY project.

Recommendation

Contact a qualified siding specialist.



3.1.2 Siding, Flashing & Trim

**SIDING - VISIBLE GAP**

DORMER ABOVE KITCHEN.

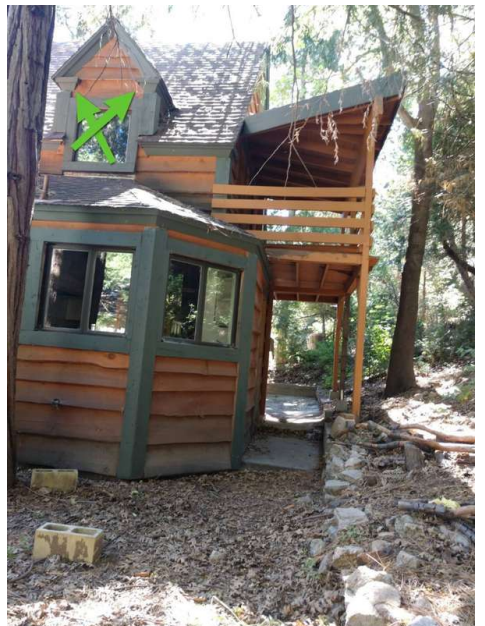


Recommendation

Observed a visible gap in the siding. This could allow excess moisture, as well as vermin into the structure. Recommend consulting a licensed siding contractor to evaluate and correct

Recommendation

Contact a qualified siding specialist.



3.1.3 Siding, Flashing & Trim

**LOOSE BOARDS**

 Recommendation

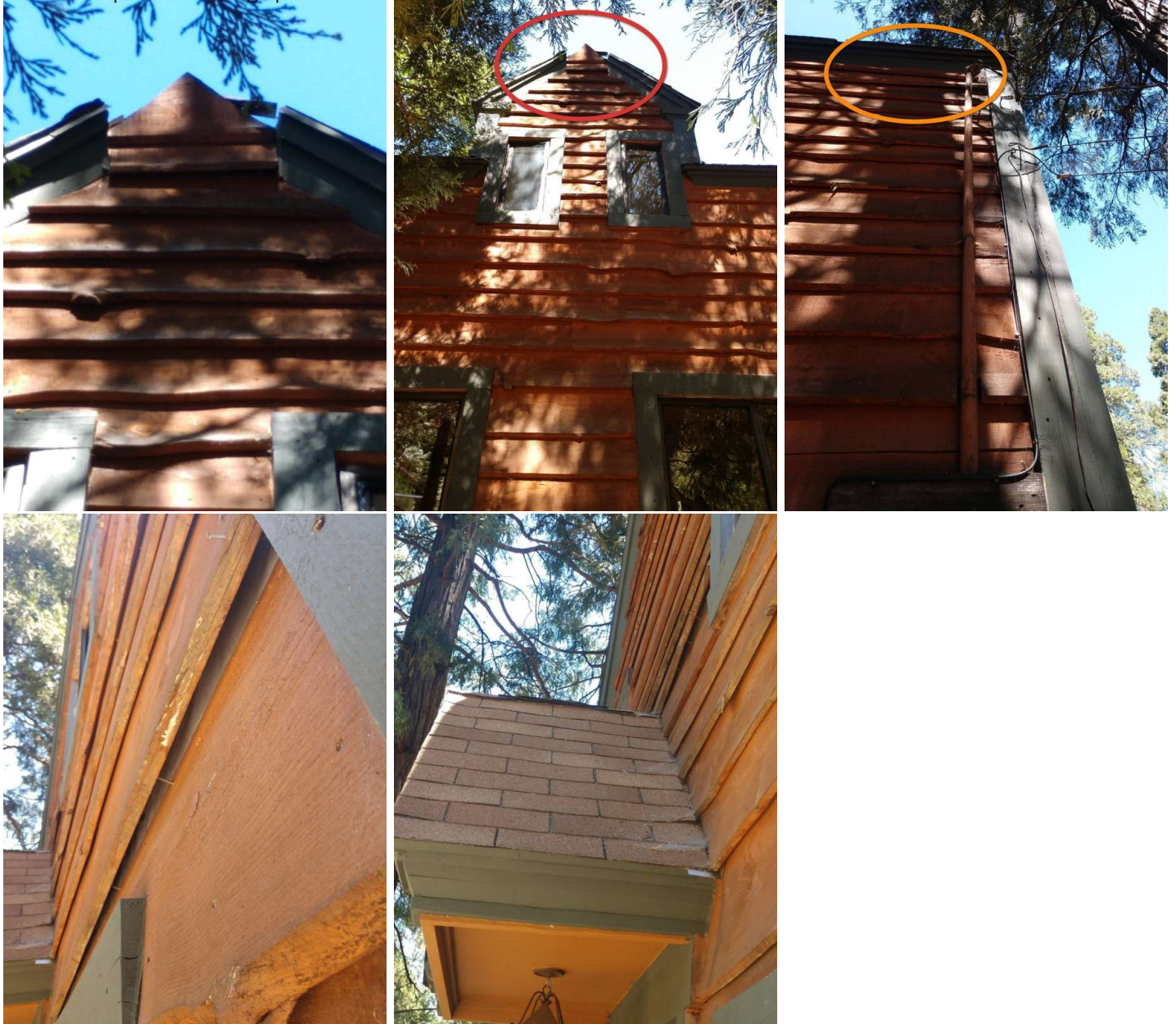
SEVERAL LOCATIONS AROUND THE PROPERTY.

One or more siding boards were loose, which could result in moisture intrusion. Slab siding continues to cure long after it is installed, this is a common occurrence.

Recommend consulting a licensed siding contractor with experience in slab wood siding to secure and fasten.

Recommendation

Contact a qualified siding specialist.



3.1.4 Siding, Flashing & Trim

**PAINT DAMAGE**

 Recommendation

REAR DECK AREA.

Observed damaged/aged paint on deck, siding and trim. A sound finish will extend the life of the materials.

Recommend evaluation and correction by a licensed painting contractor.

Recommendation  
Contact a qualified painter.



### 3.1.5 Siding, Flashing & Trim

#### **SPLITTING**

SEVERAL LOCATIONS.

Siding was splitting in one or more areas, which can lead to moisture intrusion and/or mold. Recommend sealing. For excessive splitting, consult a licensed siding contractor to evaluate and correct

Recommendation

Contact a qualified siding specialist.



Recommendation



3.1.6 Siding, Flashing & Trim

**MISSING SIDING**

DORMER ABOVE KITCHEN.



Recommendation

Observed missing siding boards. Exposure of exterior wall surface allows entry of water, which can become the cause of many unwanted issues. Recommend consulting a licensed siding contractor to evaluate and correct.

Recommendation

Contact a qualified siding specialist.



3.2.1 Eaves, Soffits & Fascia

**FASCIA - DAMAGED**

EAST SIDE OF HOUSE, LEFT SIDE OF ENTRY.



Recommendation

A section of the fascia and roof have been damaged and are now missing. This presents potential water infiltration issues.

Recommend qualified roofer evaluate & repair.

Recommendation  
Contact a qualified roofing professional.



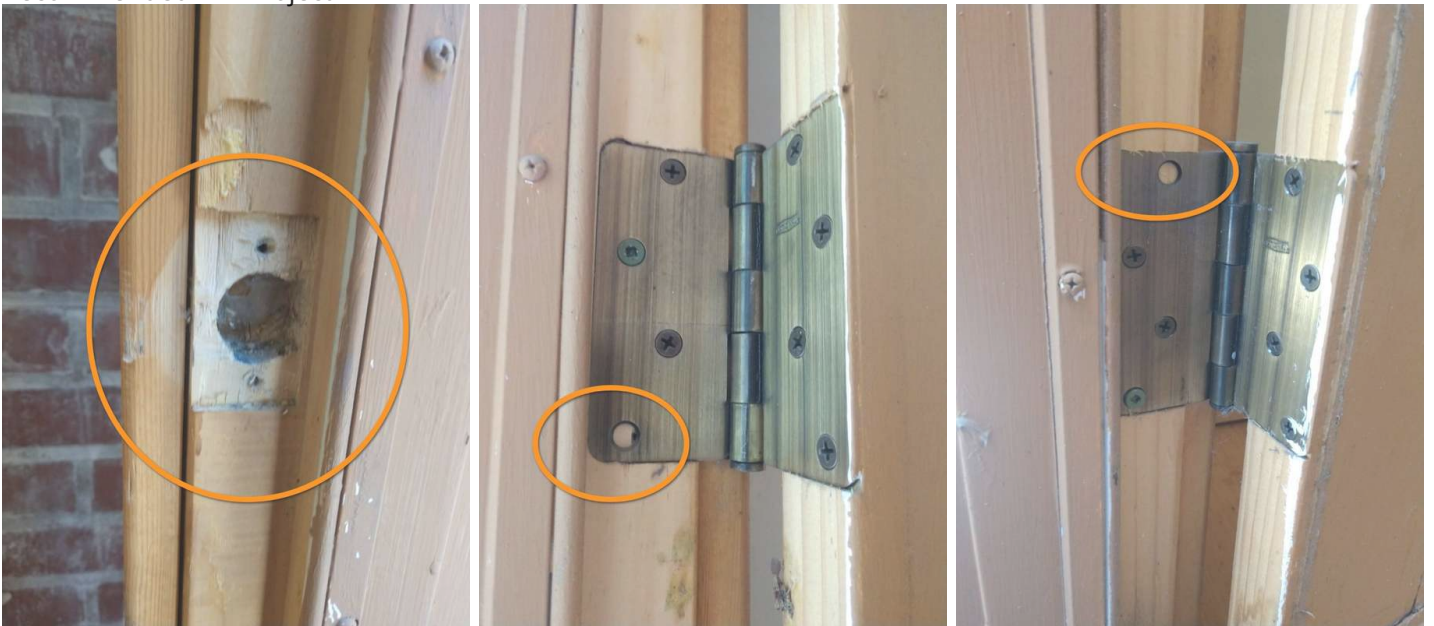
3.3.1 Exterior Doors

**HARDWARE MISSING**

LIVING ROOM, RIGHT OF FIREPLACE.

Door is missing one or more pieces of hardware. Recommend replacing or upgrading.

Recommendation  
Recommended DIY Project



3.3.2 Exterior Doors

**DOOR DRAGS - MINOR**

LIVING ROOM, RIGHT OF FIREPLACE.

Weatherstripping on bottom of door drags on the floor register. Recommend evaluation and correction by licensed contractor.

Recommendation  
Contact a qualified door repair/installation contractor.





### 3.3.3 Exterior Doors

#### **PAINT/REFINISH NEEDED**

LIVING ROOM, RIGHT OF FIREPLACE.

Door finish is worn. Recommend refinish and/or paint to maximize service life.

[Here is a DIY article](#) on refinishing a wood door.

Recommendation

Recommended DIY Project



### 3.3.4 Exterior Doors

#### **WEATHERSTRIPPING NOT PRESENT**

KITCHEN, BACK UPPER DECK FROM BEDROOM.

Door is missing any weatherstripping. This can result in significant energy loss and moisture intrusion. Recommend installation of standard weatherstripping as a DIY project or consult the services of a licensed contractor.

[Here is a DIY guide on weatherstripping.](#)

Recommendation

Contact a qualified door repair/installation contractor.





3.4.1 Walkways, Patios & Driveways

**DRIVEWAY CRACKING - MINOR**

 Maintenance Item

Minor cosmetic cracks observed, which may indicate movement in the soil. Recommend monitor and/or have licensed driveway contractor patch/seal.

Recommendation

Contact a qualified driveway contractor.



3.4.2 Walkways, Patios & Driveways

**EROSION**

 Maintenance Item

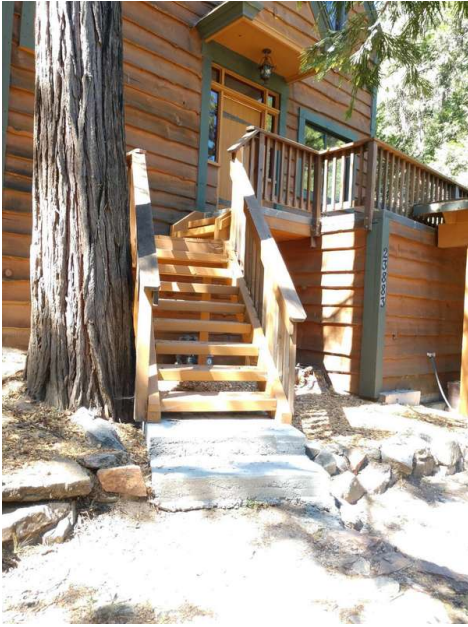
ENTRY STAIR CONCRETE LANDING PAD.

Observed erosion around concrete. Recommend installing erosion control measures to prevent future damage.

Recommendation

Recommended DIY Project





3.5.1 Decks, Balconies, Porches & Steps

**IMPROPER CONSTRUCTION PRACTICES**

 Recommendation

Observed general substandard construction practices employed. Recommend licensed deck contractor evaluate and correct as necessary.

Recommendation

Contact a qualified deck contractor.



No mechanical fastener securing base to post.



Post is not supporting the load of this framing member.



An extension was added to this post supporting the load of a deck.



The post to beam connection should be in a bracket that provides a more secure attachment. The stair stringers should be mechanically fastened by use of a bracket, lag or machine bolts.



Orange arrows indicate unsupported deck joists. The green arrow indicates a supported deck joist.

### 3.5.2 Decks, Balconies, Porches & Steps

#### **RAILING LOOSE**

ENTRY STAIR RAILING, LEFT SIDE.

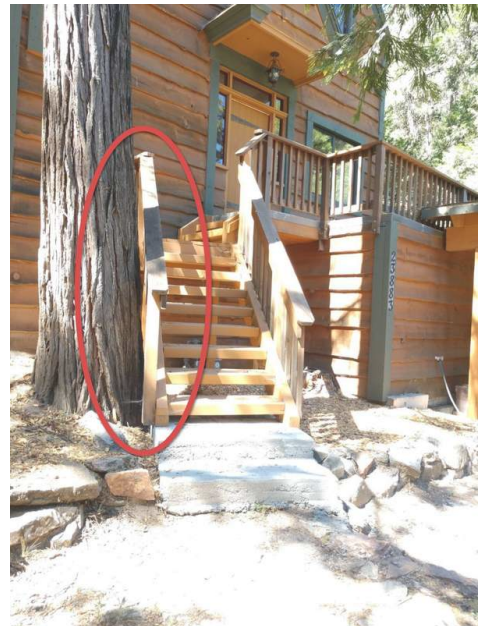
Observed stair railing to be loose. Recommend licensed contractor evaluate and correct.

Recommendation

Contact a qualified deck contractor.



Recommendation



### 3.5.3 Decks, Balconies, Porches & Steps

#### **UNTREATED WOOD**

ENTRY STAIRWAY.

Framing for deck is built from raw timber with no wood preservative applied. Wood within 12 in of the ground should be treated with a wood preservative to extend its life and deter wood destroying insects and organisms.

Recommend licensed contractor evaluate and correct.

Recommendation

Contact a qualified deck contractor.



Recommendation



### 3.6.1 Vegetation, Grading, Drainage & Retaining Walls

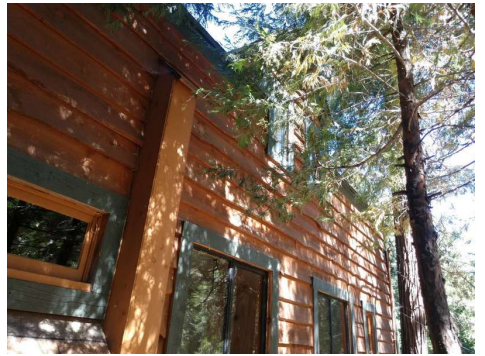
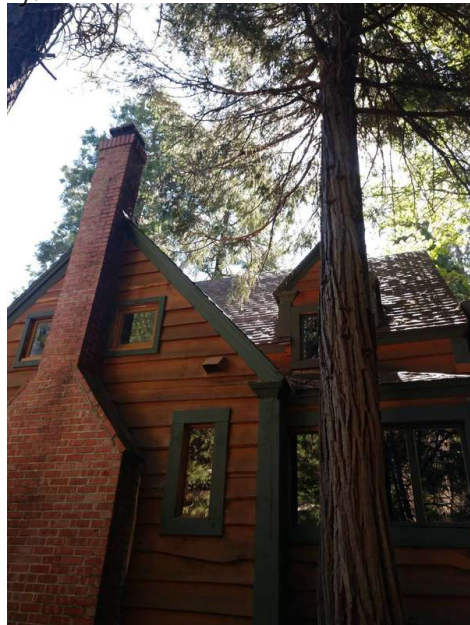
#### **TREE OVERHANG**

 Recommendation

Trees observed overhanging the roof. This can cause damage to the roof and prevent proper drainage. Recommend a licensed tree service trim to allow for proper drainage.

Recommendation

Contact a qualified tree service company.

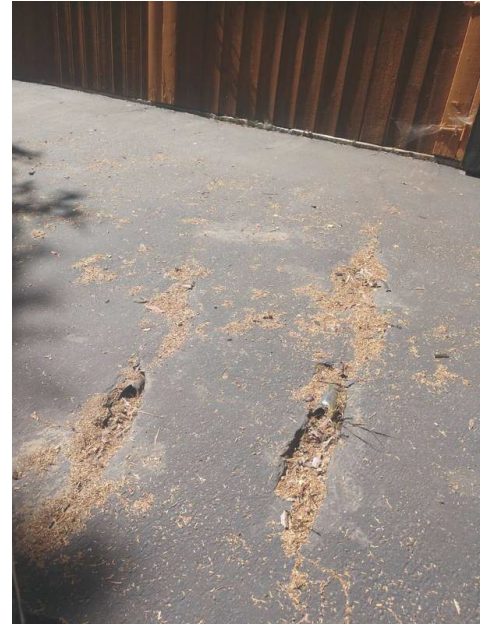


### OBSTRUCTED DRAIN

IN FRONT OF GARAGE.

Observed plastic drain line partially exposed at the end and nearly filled with material preventing the discharge of collected water. Recommend clearing away material to allow the emission of water, and directing the flow of water away from the building.

Recommendation  
Recommended DIY Project



### 4.1.1 Equipment CORROSION

Furnace was corroded in one or more areas. This could be the result of improper venting, which the source would need to be identified. Recommend a HVAC contractor evaluate and repair.

Recommendation  
Contact a qualified HVAC professional.



### 4.1.2 Equipment FILTER MISSING

The furnace filter was missing or there was no provision for one. Recommend installation of filter or consult a licensed HVAC contractor if there is no provision for one.

Recommendation  
Contact a qualified HVAC professional.

4.1.3 Equipment

**NEEDS SERVICING/CLEANING**

 Maintenance Item

Furnace should be cleaned and serviced annually. Recommend a licensed HVAC contractor clean, service and certify furnace.

[Here is a resource](#) on the importance of furnace maintenance.

Recommendation

Contact a qualified HVAC professional.

4.3.1 Distribution Systems

**DUCT - INSULATION DAMAGED**

 Maintenance Item

Observed insulation on ducting is loose, falling away or damaged. This will result in heat and energy loss. Recommend evaluation and repairs by licensed HVAC contractor or as a DIY project.

Recommendation

Contact a qualified HVAC professional.



4.3.2 Distribution Systems

**INADEQUATE SUPPORT**

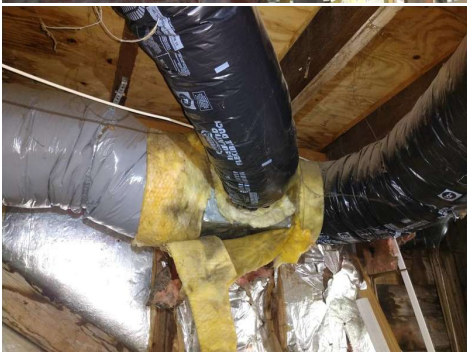
 Recommendation

Observed ducting support is over spanned or not present in more than one location. Air flows best in a straight line, air ducts should be installed in a straight line with as few turns, dips and crimps as possible. Proper support is important for achieving straight ducts. Flex duct should be supported by at least 1 inch wide material at least every 4 feet horizontally and every 6 feet vertically and within one foot or one duct diameter on all sides of bends and fittings.

Recommend consulting a licensed HVAC contractor for evaluation and correction.

Recommendation

Contact a qualified HVAC professional.



4.4.1 Vents, Flues & Chimneys

**CHIMNEY REPOINT NEEDED**

Recommendation

Joints in the masonry have deteriorated and should be repointed. (Repointing is the restoration of the mortar joints in the masonry).

Recommend consulting a licensed masonry contractor for evaluation and correction.

Recommendation

Contact a qualified masonry professional.



4.4.2 Vents, Flues & Chimneys

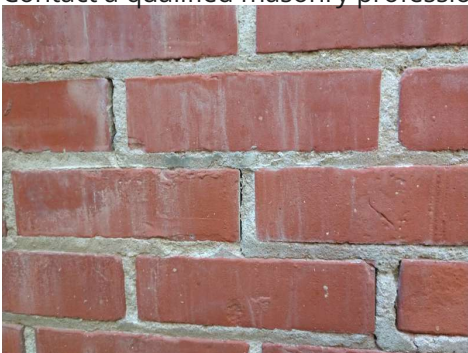
**CRACKING - MINOR**

Recommendation

Observed minor cracks in the exterior of the chimney. Recommend monitoring condition and consulting a licensed masonry contractor for evaluation and correction suggestions.

Recommendation

Contact a qualified masonry professional.



#### 4.4.3 Vents, Flues & Chimneys

### DAMAGED CROWN

 Recommendation

Observed damaged and missing mortar of the chimney crown. This sheds water away from the flue and is subjected to continuous cycles of freeze/thaw which weakens the cementitious mix. As water intrusion continues, more deterioration occurs.

Recommend consulting a licensed masonry contractor for evaluation and correction.

#### Recommendation

Contact a qualified masonry professional.



#### 4.4.4 Vents, Flues & Chimneys

### MISSING FLASHING

 Recommendation

Observed the absence of any flashing at the roof to chimney intersection. Roof sealing compound has been applied in an effort to redirect water but is no substitute for proper flashing. The best time to install the step and counter flashings are when a roof is installed. Recommend proper flashings be installed by a licensed roofing contractor at time of roof replacement.

Recommendation  
Contact a qualified roofing professional.



6.2.1 Drain, Waste, & Vent Systems  
**SINK - POOR DRAINAGE**  
BATHROOM.

 Recommendation

Sink had slow/poor drainage. Recommend a licensed plumber evaluate and correct.

Recommendation  
Contact a qualified plumbing contractor.

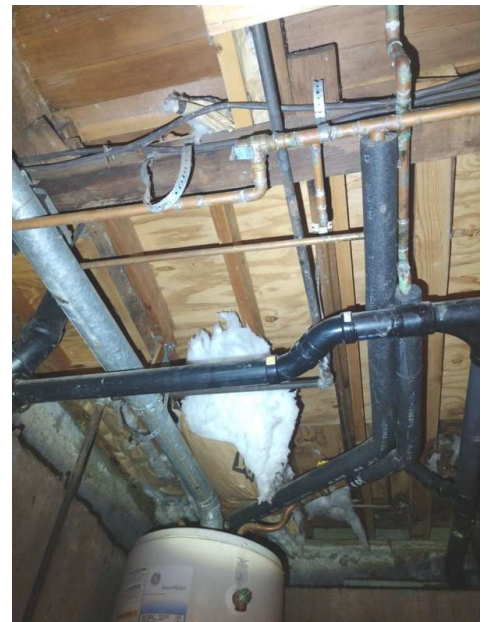
6.2.2 Drain, Waste, & Vent Systems  
**SUPPORT OVERSPACED**

 Recommendation

Observed drain lines in basement have over spaced supports. These drain lines carry water that weighs approximately 8 pounds per gallon. Over time the pipes will sag from the pull of gravity creating bellies in the overspanned sections. Supports should be placed every 4 feet horizontally at a minimum.

Recommend consulting a licensed plumbing contractor for evaluation and correction.

Recommendation  
Contact a qualified plumbing contractor.



6.3.1 Water Supply, Distribution Systems & Fixtures  
**MISSING FROST-PROOF BIBB**

 Recommendation



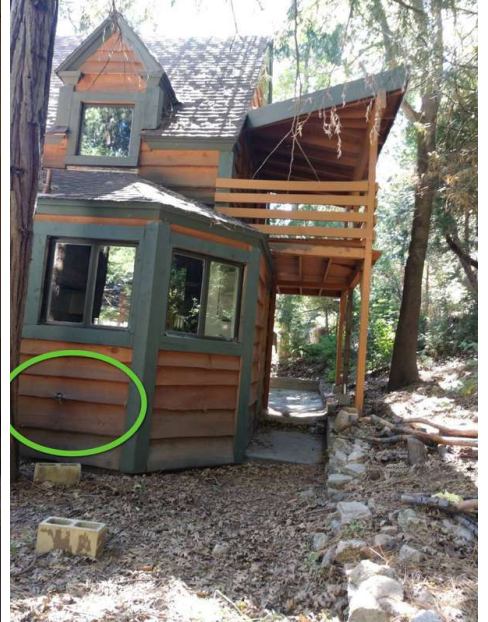
Missing frost-proof hose bibb at exterior locations. Here is a link to an explanation of its purpose and usefulness:

<http://www.woodfordmfg.com/woodford/HowAFaucet/How%20a%20Standard%20Frost-Proof%20Faucet%20Works.pdf>

Recommend consulting a licensed plumbing contractor to evaluate and install.

Recommendation

Contact a qualified plumbing contractor.



### 6.3.2 Water Supply, Distribution Systems & Fixtures

#### **SUPPORT OVERSPACED**

BASEMENT

Observed piping support is overspaced. Supply pipes should be supported every 6 feet horizontally for copper, 32 inch maximum for PEX (red and blue tubing). Recommend consulting a licensed plumbing contractor for evaluation and correction.

Recommendation

Contact a qualified plumbing contractor.



### SUPPLY DISCONNECTED

Recommendation

ATTIC BATHROOM.

Observed disconnected water supply at sink. Recommend inquiring with owner regarding the reason. Further evaluation and correction may be required of a licensed plumbing contractor.

Recommendation

Contact a qualified plumbing contractor.

### SHOWER HEAD LEAK

Recommendation

ATTIC SHOWER.

Observed leak at shower head connection. This can typically be corrected by replacing the Teflon tape at the connection as a DIY task. If not, recommend consulting a licensed plumbing contractor for evaluation and correction.

Recommendation

Contact a qualified plumbing contractor.

### BONDING ABSENT

Recommendation

Bonding of water supply piping was not observed at time of inspection. Recommend evaluation and correction by a licensed electrical contractor.

Recommendation

Contact a qualified electrical contractor.

### TPR VALVE - DISCHARGE

Safety Hazard

Missing discharge line from tpr valve. A discharge line terminating between 2 - 6 inches from the floor or receptor is required for safety reasons. In the event the valve discharges, very hot water with and steam are expelled and a person nearby could be injured.

Recommend installation by a licensed plumbing contractor.

Recommendation

Contact a qualified plumbing contractor.



### VENT HOOD

Recommendation

Missing Fasteners at vent hood. Exhaust gasses need direction to the exterior of the building due to their unhealthy nature. A secure attachment is needed between the vent hood and the appliance in order to ensure positive alignment and the proper removal of gasses.

Recommend correction by a licensed plumbing contractor.

Recommendation

Contact a qualified plumbing contractor.



#### 6.5.1 Fuel Storage & Distribution Systems

### **BONDING ABSENT**

 Recommendation

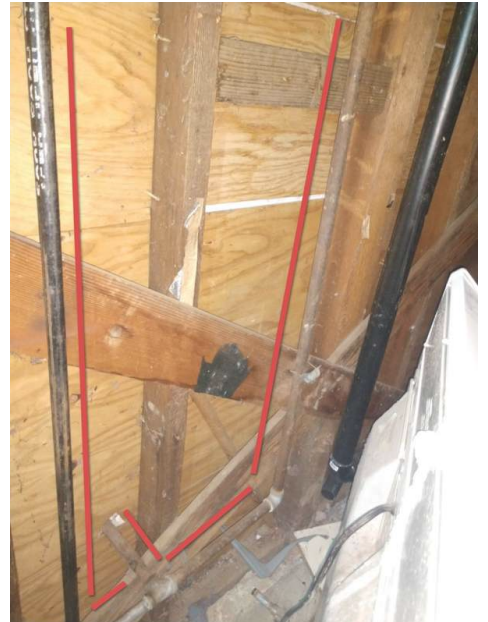
Electrical bonding was not observed at time of inspection. Here is a link to more information on the purpose of bonding from the American Gas Association:

<https://www.aga.org/research/fact-sheets/electrical-bonding-of-gas-piping-systems/>

Recommend evaluation and correction by licensed electrical contractor

Recommendation

Contact a qualified electrical contractor.



Red lines indicate location of natural gas line entering the building from the meter, branching in two, then rising. No electrical bonding present.

#### 7.1.1 Service Entrance Conductors

### **SUPPORT OVERSPACED**

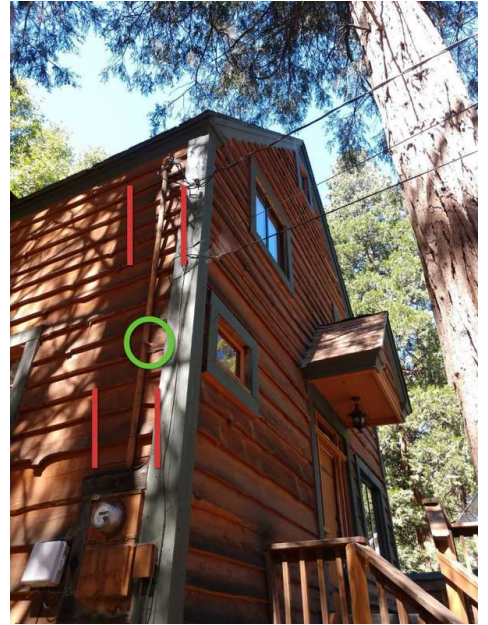
 Recommendation

Observed missing or over spaced service mast support anchors. These are required within a foot of the meter base, at the top, and every 5 - 6 feet in between. The service mast is leaning away from the wall and needs to be re-secured.

Recommend consulting a licensed electrician to evaluate and correct.

Recommendation

Contact a qualified electrical contractor.



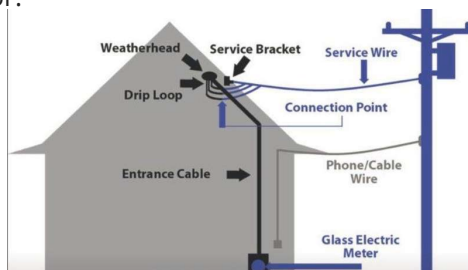
### 7.1.2 Service Entrance Conductors **WEATHER HEAD MISSING**

 Recommendation

Observed missing weather head. This component serves to protect the conductors from rubbing and chafing against each other and the metal parts of the mast as well as helping to keep water out. Included is a graphic depiction of what the utility companies service and what is the homeowner responsibility.

Recommend consulting a licensed electrical contractor for evaluation and correction.

Recommendation  
Contact a qualified electrical contractor.



Example of complete weather head.

Plastic protective insert is missing.

### 7.2.1 Main & Subpanels, Service & Grounding, Main Overcurrent Device

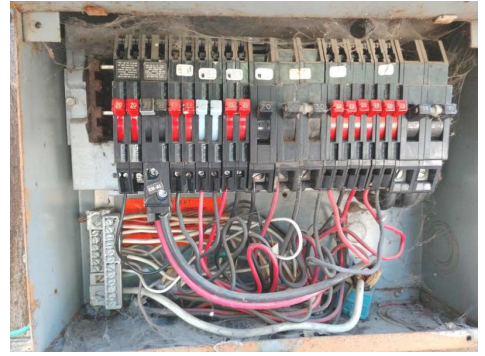
 Maintenance Item

### **DEBRIS**

Dirt, dust and debris were observed inside electrical panel. This could increase resistance and cause an electrical fire. Recommend a licensed electrician evaluate and correct.

Recommendation

Contact a qualified electrical contractor.



7.2.2 Main & Subpanels, Service & Grounding, Main Overcurrent Device



Maintenance Item

### LABELS - FADED / ILLEGIBLE

Labels are faded and almost unreadable. Recommend new labels be placed.

Recommendation

Recommended DIY Project



7.2.3 Main & Subpanels, Service & Grounding, Main Overcurrent Device

### CORROSION

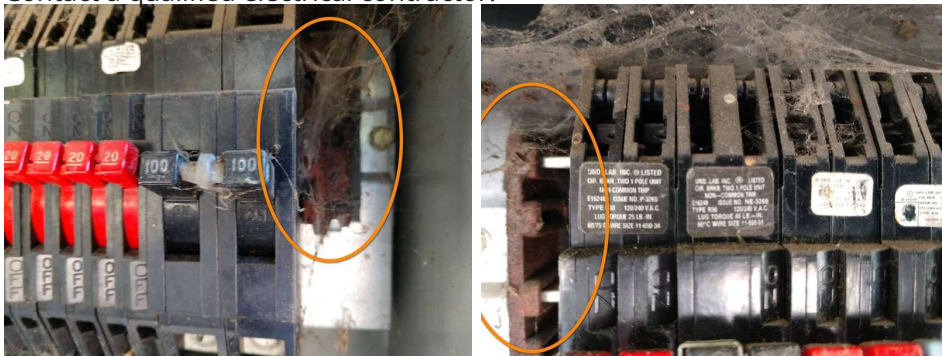


Recommendation

Observed corrosion in panel box. This is evidence of moisture intrusion. Water or moisture and electricity do not mix well. A full evaluation by a licensed electrical contractor is recommended.

Recommendation

Contact a qualified electrical contractor.



7.3.1 Branch Wiring Circuits, Breakers & Fuses

### IMPROPER WIRING



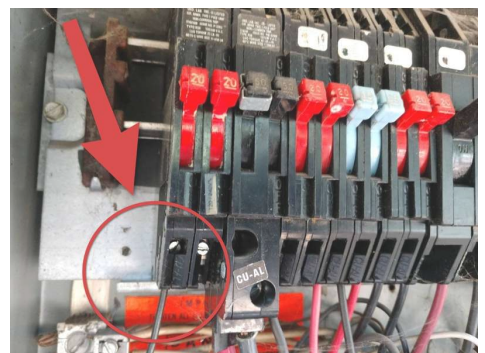
Safety Hazard

Observed 14 gauge wire attached a 20 amp breaker. The 14 gauge wire is rated for breakers up to 15 amps only. Overheating of the wiring could occur, creating a fire hazard.

Recommend consulting a licensed electrical contractor for evaluation and correction.

Recommendation

Contact a qualified electrical contractor.



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7.4.1 Lighting Fixtures, Switches & Receptacles

**COVER PLATES DAMAGED**

One or more receptacles have a damaged cover plate. Recommend replacement.

Recommendation

Recommended DIY Project

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7.4.2 Lighting Fixtures, Switches & Receptacles

**COVER PLATES MISSING**

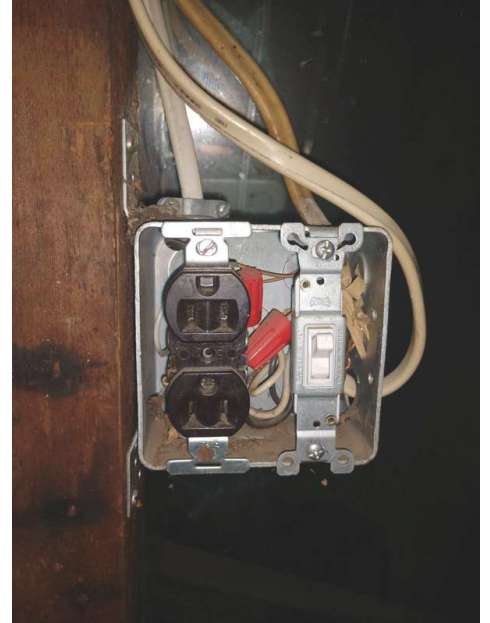
BASEMENT, READING ROOM

One or more receptacles are missing a cover plate. This causes short and shock risk. Recommend installation of plates.

Recommendation

Recommended DIY Project

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7.4.3 Lighting Fixtures, Switches & Receptacles

**REVERSE POLARITY**

One or more receptacles have been wired with reverse polarity. This can create a shock hazard. Recommend licensed electrician evaluate & correct.

Recommendation

Contact a qualified electrical contractor.

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7.4.4 Lighting Fixtures, Switches & Receptacles

**UNGROUND RECEPTACLE**

VARIOUS LOCATIONS ON ALL LEVELS.

One or more receptacles are ungrounded. To eliminate safety hazards, all receptacles in kitchen, bathrooms, garage & exterior should be grounded.

Recommend consulting a licensed electrical contractor for evaluation and correction.

Recommendation

Contact a qualified electrical contractor.

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7.4.5 Lighting Fixtures, Switches & Receptacles

**LOOSE RECEPTACLE**

READING ROOM



Observed loose receptacle with missing fasteners and cover plate. Recommend correction by licensed electrical contractor.

Recommendation  
Contact a qualified electrical contractor.



#### 7.5.1 GFCI & AFCI

### MISSING

GARBAGE DISPOSAL, BATHROOM, GARAGE, BASEMENT.

Observed missing GFCI outlets.

Recommend installation by licensed electrical contractor.

Recommendation  
Contact a qualified electrical contractor.

 Recommendation

#### 7.7.1 Carbon Monoxide Detectors

### INSUFFICIENT AMOUNT

Observed no carbon monoxide detector on upper levels (sleeping areas). Recommend installation.

Recommendation  
Recommended DIY Project

 Recommendation

#### 8.1.1 Doors

### LOOSE DOOR KNOBS

BATHROOM OFF KITCHEN

Observed loose door knobs on one interior door. Recommend correction as DIY project or handyman.

Recommendation  
Contact a handyman or DIY project

 Maintenance Item

8.2.1 Windows

**FAILED SEAL**

LOFT ABOVE BED AT NORTH END

Observed condensation between the window panes, which indicates a failed seal. Recommend consulting a licensed window contractor to evaluate & correct.

Recommendation

Contact a qualified door repair/installation contractor.

 Recommendation



8.2.2 Windows

**MISSING HANDLE**

NORTH BEDROOM, NORTH WALL

Observed broken handle on window. This is required to latch the window securely shut. Recommend consulting a licensed window contractor for evaluation and correction.

Recommendation

Contact a qualified window repair/installation contractor.

 Recommendation



8.3.1 Floors

**MODERATE WEAR**

Floors in the home exhibited moderate surface wear along major paths of travel. Recommend regular maintenance upkeep to extend life.

Recommendation

Recommended DIY Project

 Maintenance Item

8.6.1 Steps, Stairways & Railings

**NO HANDRAIL**

SPIRAL STAIRWAY

 Recommendation



Staircase had no continuous handrail. This is a safety hazard. Recommend consulting a licensed contractor to install a workable handrail.

Recommendation  
Contact your builder

8.6.2 Steps, Stairways & Railings

**LOOSE HANDRAIL**

LOFT, TOP OF STAIRS

Railing is loose and excessive space lies between uprights. Minimal to inadequate fall protection is provided.

Recommend consulting a licensed contractor for evaluation and correction.

Recommendation  
Contact your builder

 Recommendation

8.7.1 Countertops & Cabinets

**GROUT DETERIORATING**

KITCHEN COUNTER AT BACKSPLASH

Grout lines were cracked or greatly deteriorated. Recommend consulting a licensed contractor to evaluate and repair or replace grout if this is beyond a DIY project.

Recommendation  
Contact a qualified countertop contractor.

 Recommendation



9.3.1 Range/Oven/Cooktop

**BURNER NOT LIGHTING**

One or more burners did not light up when turned on. Electrical power was disconnected at time of inspection. Recommend licensed professional evaluate & correct.

Recommendation  
Contact a qualified appliance repair professional.

 Recommendation

10.2.1 Floor

**CRACKING - MINOR**

Observed minor cracks (less than 1/8 inch wide). Recommend they be monitored for any change, seal as necessary or consult a licensed contractor for evaluation and corrections.

Recommendation  
Recommend monitoring.

 Maintenance Item

11.1.1 Fireplace

**MISSING SMOKE DETECTOR**

Observed the absence of a smoke detector in the same room as the fireplace.

Recommend installation.

 Safety Hazard

11.1.2 Fireplace

**DAMPER ABSENT**



Observed absent damper where one should be. A properly operating damper allows the combustion gasses to exhaust to the chimney when open and restricts outside air entry into the house when the fireplace is not in use.

Recommend evaluation and correction by licensed fireplace contractor.

Recommendation

Contact a qualified fireplace contractor.

11.1.3 Fireplace

**GAP AT HEARTH**



Observed a gap between the firebox and the hearth. This could allow embers and hot material to fall through to create a fire hazard.

Recommend evaluation and correction by a licensed fireplace contractor.

Recommendation

Contact a qualified fireplace contractor.



11.1.4 Fireplace

**RUST**



Observed rust in fireplace due to water intrusion. Metal panels in the firebox with seams weakened by rust are a potential fire hazard.

Recommend evaluation and correction by a licensed fireplace contractor.

Recommendation

Contact a qualified fireplace contractor.



11.1.5 Fireplace

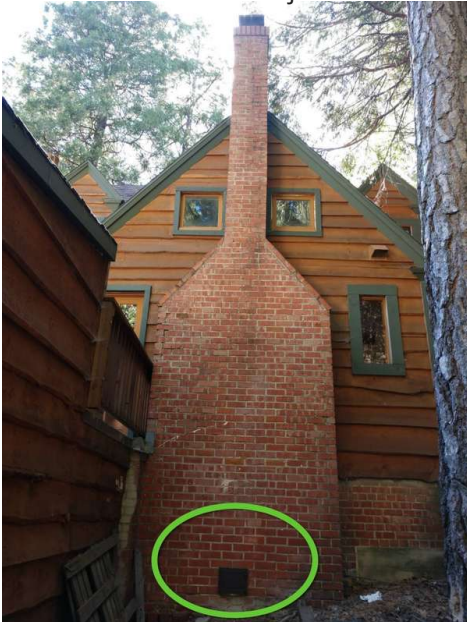
**CLEANOUT FULL**

 Recommendation

Observed the fireplace cleanout to be nearly full. Regular maintenance and emptying is recommended.

Recommendation

Recommended DIY Project



13.1.1 Foundation

**IMPROPER CONSTRUCTION PRACTICES**

 Recommendation

BASEMENT, GARAGE

Improper or sub-standard construction practices were observed. Recommend a licensed building contractor evaluate and advise on how to bring the construction up to standards.

Recommendation

Contact a qualified general contractor.



4x8 overspanned.



Inadequate number of and improper type of fasteners. Extension / shim inserted.



One bolt with no nut or fastener - green circle. No hold down bolts, posts not securely attached - red line



Undersized fasteners for this application.



Improper support member, inadequate fastening, poor placement.



Substandard building practices above garage door.

13.1.2 Foundation

**POOR VENTILATION OF FOUNDATION AREA**

 Maintenance Item

The foundation is poorly ventilated. Increased ventilation (introduction and movement of fresh air) is recommended. This can be accomplished by partially opening basement windows, doors and/or vents on opposite sides of the foundation on a regular basis (when weather is suitable). And by installing a dehumidifier to decrease moisture.

13.1.3 Foundation

**MOISTURE INTRUSION**

 Recommendation

Moisture intrusion was evident on the surface of the floor slab or walls in the basement/crawlspace. This can compromise the soil's ability to stabilize the structure and could cause damage. Recommend a licensed contractor identify the source of moisture and remedy.

Recommendation  
Contact your builder



13.1.4 Foundation  
**FOUNDATION HEAVE**

BASEMENT

Recommendation

Observed a heaved foundation wall. The edges and face of the break are rounded and weathered, indicating age and time. The likely cause is a former tree at the location. As the tree has been removed long ago and the stump is considerably decomposed, further movement is unlikely. Recommend monitoring condition or consult a licensed structural engineer to evaluate and recommend proper corrective action if needed.

Recommendation  
Recommend monitoring.



13.2.1 Basements & Crawlspace  
**INSULATION MISSING, DAMAGED OR FALLEN**

Recommendation

Observed missing, loose and fallen insulation. Recommend consulting a licensed insulation contractor to evaluate and correct.

Recommendation  
Contact a qualified insulation contractor.



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### 13.2.2 Basements & Crawlspace

#### **NO MOISTURE BARRIER**

 Recommendation

Observed no moisture barrier on floor of space. This is not a requirement to have, however reducing the intrusion of moisture from beneath the home improves air quality and comfort control management efforts.

Recommend installation of vapor barrier on basement floor as DIY project or consult a licensed contractor for evaluation and installation.

Recommendation  
Recommended DIY Project

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